

WORCESTER COUNTY PLANNING COMMISSION AGENDA

Thursday, February 5, 2026

**Worcester County Government Center
One West Market St., Room 1102
Snow Hill, Maryland 21863**

The public is invited to view this meeting live: <https://worcestercountymd.swagit.com/live>

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order (1:00 p.m.)

II. Administrative Matters

- A. Planning Commission Meeting Minutes – January 8, 2026
- B. Board of Zoning Appeals Agenda – February 12, 2026
- C. Technical Review Committee Agenda – February 11, 2026

III. Site Plan Review

A. Major Site Plan Review – Bishopville Volunteer Fire Department

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Bishopville, MD 21813.

IV. Amendment of the Comprehensive Plan for Water and Sewerage System, Worcester County, Maryland

Request to expand the water and sewer planning areas for the Riddle Farm Sanitary Service Area to include multiple commercial properties on the south side of Route 50 (Ocean Gateway), west of Herring Creek, to include Parcels 133, 136, 137, 383, 471, and 256 of Tax Map 26), Hugh Cropper, applicant; on behalf of multiple property owners. Case No. SW 2026-01.

V. Adjournment

**WORCESTER COUNTY PLANNING COMMISSION
MEETING MINUTES – January 8, 2026**

Meeting Date: January 8, 2026

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission

Jerry Barbierri, Chair
Phyllis Wimbrow, Vice Chair
Marlene Ott
Alec French

Staff

Jennifer Keener, Director, DRP
Matt Laick, Deputy Director, DRP
Kristen Tremblay, Zoning Administrator, DRP
Ben Zito, DRP Specialist, DRP

I. Call to Order

II. Administrative Matters

A. Review and approval of minutes, December 4, 2025.

As the first item of business, the Planning Commission reviewed the minutes of the December 4, 2025, meeting.

Following the review, a motion was made by Ms. Ott to approve the minutes as written. Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

B. Board of Appeals Agenda, January 8, 2026.

As the next item of business, the Planning Commission reviewed the agenda for the Board of Zoning Appeals meeting scheduled for January 8, 2026. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Board.

C. Technical Review Committee Agenda, January 14, 2026.

As the next item of business, the Planning Commission reviewed the agenda for the Technical Review Committee meeting scheduled for January 14, 2026. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Committee.

III. Waivers

A. Delmarva Aces Expansion – Waiver for Automatic Landscape Irrigation System

Ms. Geri Votta of Delmarva Aces approached the table.

Ms. Votta explained that the site plan originally approved by the Planning Commission on May 1, 2025 proposed an automatic landscape irrigation system for the required landscaping, and that due to budgetary constraints, she was seeking a waiver. She stated that the landscaping will be maintained by Delmarva Aces staff manually, rather than an automatic irrigation system.

**WORCESTER COUNTY PLANNING COMMISSION
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Following a discussion, a motion was made by Ms. Wimbrow to grant a waiver for the automatic landscape irrigation system. Ms. Ott seconded the motion, and the motion carried with no opposition.

B. Delmarva Aces Expansion – Waiver for Vehicular Travelway Material (Gravel)

Ms. Geri Votta of Delmarva Aces remained at the table.

Ms. Votta explained that the site plan originally approved by the Planning Commission on May 1, 2025 proposed asphalt throughout all the proposed parking and vehicular travelways.

Ms. Votta explained that the development was to be done in two phases – the first being the building expansion, and the second being the outdoor ball fields. She explained that if all the parking and travelways were paved during the first phase, the pavement would need to be removed and then re-paved again during construction of the second phase. She believed, therefore, that it was best to temporarily use gravel until the second phase was completed, at which time the gravel will be paved over.

Following a discussion, a motion was made by Mr. French to grant a waiver for the vehicular travelway material. Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

IV. Site Plan Review

Mr. Eric Jones from Vista Design, Inc. approached the table.

Mr. Jones explained the site plan went before the Planning Commission in November 2023. The Planning Commission approved the site plan as submitted (subject to minor revisions), and the Planning Commission also granted waivers for gravel driveways and landscaping. Additionally, the Planning Commission granted eleven (11) waivers from the *Design Guidelines and Standards for Commercial Uses* (“Design Guidelines”) for the building.

Mr. Jones explained that the Planning Commission’s approval of the site plan in November 2023 expired, and the applicants resubmitted the site plan with the same site plan and Design Guidelines waivers.

Following a discussion, a motion was made by Ms. Ott to grant a waiver to the following site plan waivers:

- **§ZS 1-320(f)(1): All parking areas and vehicular travelways shall be constructed of materials that provide a hard and durable surface that precludes or limits particulate air pollution.**
- **§ZS 1-322(e)(4)(C): Landscape screening**
- **§ZS1-322(b)(7): Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors.**

**WORCESTER COUNTY PLANNING COMMISSION
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Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

Following a discussion, a motion was made by Ms. Ott to approve all of the waivers from the *Design Guidelines and Standards for Commercial Uses* that were outlined in the Planning Commission's Staff Report.

Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

V. Text Amendment - ZS 1-351(b)(5): Off-Street Parking Requirements for Short-Term Rentals

Ms. Christy Agnese, applicant, was present for the review. Ms. Agnese stated that she is seeking to change § ZS 1-351(b)(5) to change the effective date of the third parking space provision from January 1, 2020, to January 1, 2026. She noted that the language was developed in conjunction with county input to attempt to resolve an issue that the Landings community was facing for those who built homes post-2020 and had short-term rental licenses revoked. She highlighted key points from the detailed letter that was submitted with the application. She explained her process in purchasing the townhouse unit and applying for a short-term rental license.

Ms. Agnese claims that enforcement and code interpretation pertaining to the third parking space provision changed last summer, which resulted in short-term licenses being revoked within their community. She stated that this is financially impactful, as many rely on short-term rental income to make homeownership a reality. It was her opinion that for five years (between 2020 and 2025) short-term licenses were issued in several communities on the assumption that community parking met the third parking space requirement. A site plan with the overall parking layout for the community was provided as part of her short-term rental license application. Submitted as Applicant's Exhibit No. 1 were emails between her and the developer, and between her and the former Rental License Program Coordinator. While she alleges that this parking plan justifies the availability of a third parking space, there is no indication in the emails that this was a consideration. Staff state in the staff report that the licenses were issued in error.

Ms. Agnese stated that this is an economic hardship, that losing income threatens financial stability and property values. She claimed that everyone who built in the Landings believed that they could participate in short-term rentals if they wanted to. She said that there were 25 short-term rental licenses active in the Landings, and 18 affected properties with post-2020 builds. She claimed that this matter also affected Sea Oaks Village (staff note: Sea Oaks Village was not issued licenses in error). Within the townhouse parcels in the Landings, Ms. Agnese noted that there are 66 non-exclusive parking spaces over the minimum required.

Overall, she stated that requiring exclusive spots within the townhouse community parking, or having single-family homeowners build a third parking space on their lot creates financial hardship and places a burden on the homeowner's association. It also affects potential

WORCESTER COUNTY PLANNING COMMISSION
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homeowners who cannot make a financial decision without knowing that spaces have been assigned. She recommended that every home be built to require the third space or not. In closing, she stated that updating the effective date to January 1, 2026, restores fairness, and gives those whose licenses were revoked the ability to restore their short-term rental licenses. She would like to see more education and deeded third parking spaces so that homeowners know what they are purchasing.

For clarification, Mr. Barbierri noted that text amendments apply county wide, and are not geared towards a particular community, so they must keep that in the back of their minds.

Upon questions from the Planning Commission, staff clarified that the rental licenses were issued in error, not because of a change in the interpretation. The licenses that were issued to the single-family homes had no third parking space provided on the respective lot. Staff believe that the code provision was simply overlooked, because the policy for community space allocation for multi-family/ townhouse units was first established with the Sea Oaks Village development. The developer opted to build additional community parking to be able to accommodate 15 short-term rental licenses, though there were more homeowners that wished to rent short-term. The error in the application of the law affected 10 licenses in the Landings that were revoked, 8 single-family lots that were able to permit a third parking space, and 10 licenses in Seaside Village that were revoked. Within the Landings townhouse parcels, there are non-exclusive parking spaces available, but not enough for every unit to be assigned a third space. There had been discussions over the past few months on whether and how the homeowners/ condominium association would be willing to allocate the non-exclusive spaces, and ultimately, they decided not to.

Upon a question by Mr. French, staff confirmed that this amendment would not override a community's ability to prohibit short-term rentals as part of their declarations and covenants. Mr. French voiced concerns about the potential that the language as written could open the door to additional rental licenses beyond just the 20 that were revoked, where someone who didn't have a license previously could take advantage of an opportunity that hadn't existed. He acknowledged that it was a mistake that was relied on by these homeowners.

Mr. Barbierri explained that a lot of work went into the legislation in 2019. With his background in emergency services, he's concerned about accessibility to short-term rental areas and blocking emergency access with street parking. He stated that in his opinion, we shouldn't go backwards. He is sorry that this situation happened, but he couldn't vote in support of the amendment.

Upon several questions from the Planning Commission, staff confirmed that a variance couldn't be requested for this situation, nor could we simply grandfather those whose licenses were revoked because they were issued in error. There was discussion on the process for amending the language and narrowly tailoring it to the affected communities or properties.

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Following the discussion, Mrs. Wimbrow made a motion for an unfavorable recommendation to the text amendment as specifically written, which was seconded by Mr. Barbierri. Ms. Ott was opposed, and Mr. French abstained. Therefore, the motion failed for lack of a quorum.

A second motion was made by Mrs. Wimbrow to provide an unfavorable recommendation to the text amendment as specifically written; with a request that staff and the county attorney attempt to draft language that would accommodate the licensed properties that had short-term rental licenses revoked because of staff error in the enforcement of the code. The motion was seconded by Mr. French and carried unanimously.

VI. Work Session - Comprehensive Plan Revised Draft Chapters

The Planning Commission met with Michael Bayer from Wallace Montgomery to discuss the revised draft chapters of the Comprehensive Plan. Mr. Bayer gave a high level overview of the anticipated next steps for local and state review. The Planning Commission provided some comments on the revisions. Additional comments will be accepted in writing through next week before being consolidated into a working plan document.

VII. Adjourn

On a motion made by Ms. Ott and seconded by Ms. Wimbrow, the Planning Commission adjourned.

Mary Knight, Secretary

Ben Zito, DRP Specialist

**NOTICE OF PUBLIC HEARING
WORCESTER COUNTY
BOARD OF ZONING APPEALS
AGENDA**

THURSDAY FEBRUARY 12, 2026

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland. Audio and video recording will take place during this public hearing.

The public is invited to view this meeting live online at - <https://worcestercountymd.swagit.com/live>

6:30 p.m.

Case No. 26-8, on the lands of Amy and Scott Lawrence, requesting a variance to the front yard setback for a flag lot from 228 feet to 150 feet (to encroach 78 feet) for a proposed pole building in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-201(b)(5), ZS 1-201(d)(2), and ZS 1-305, located on the northwest side of Worcester Highway approximately 600 feet northeast of Johnson Neck Road, Tax Map 78, Parcel 81, Tax District 8, Worcester County, Maryland.

6:35 p.m.

Case No. 26-10, on the lands of Bryan Stefanic, on the application of Spencer Ayres Cropper, requesting an after-the-fact variance to the rear yard setback from 30 feet to 16.1 feet (to encroach 13.9 feet) for an existing open deck with a pool in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2) and ZS 1-305, located at 1100 Ocean Parkway, Tax Map 21, Parcel 224, Section 10, Lot 388, Tax District 3, Worcester County, Maryland.

6:40 p.m.

Case No. 26-12, on the lands of Adam Lockhart Showell, Sr., as Custodian, on the application of Mark Spencer Cropper, requesting a variance to the Atlantic Coastal Bays Critical Area Buffer Management Area from 50 feet to 3 feet (an encroachment of 47 feet) and a variance to the Ordinance prescribed front yard setback from 30 feet to 20 feet (an encroachment of 10 feet) associated with the proposed construction of a single-family dwelling in the R-2 Suburban Residential District, pursuant to Zoning Code Sections ZS 1-116(c)(4), ZS 1-116(m)(1), ZS 1-206(b)(2) and ZS 1-305 and Natural Resources Code Sections NR 3-104 (c)(4) and NR 3-111 located on the south side of Pond Road, approximately 130 feet west of Golf Course Road, Tax Map 22, Parcel 412, Lot A, Tax District 10, Worcester County, Maryland.

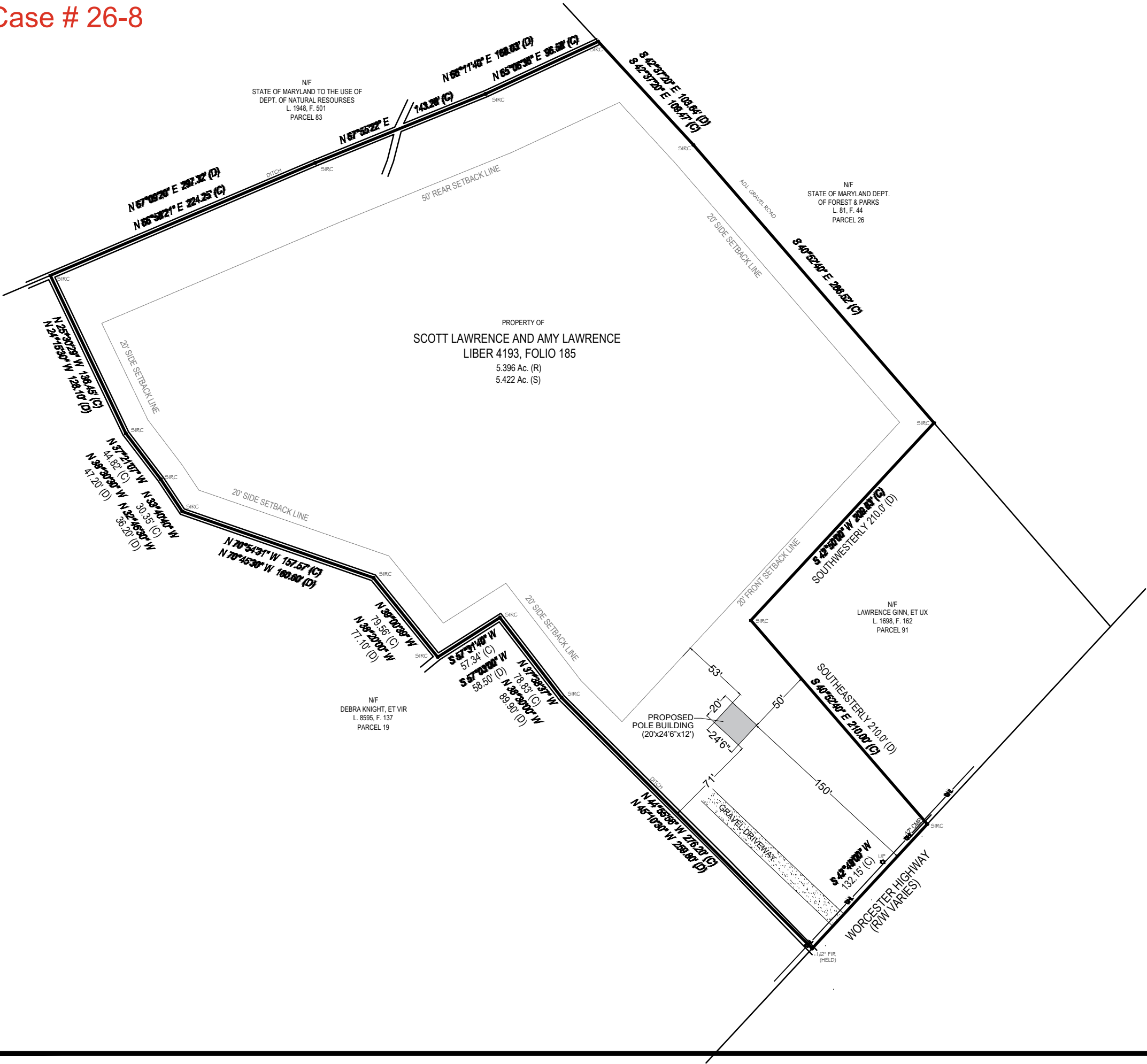
6:45 p.m.

Case No. 26-9, on the lands of Frederick Henry Eisenbrandt, on the application of Hugh Cropper IV, requesting two (2) special exceptions to allow (1) a sawmill and the manufacturing and processing of wood products in an agricultural structure, and (2) the accessory use of that principal agricultural structure for the commercial hosting of non-agricultural functions and events in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(3), ZS 1-201(c)(8), ZS 1-201(c)(32) and ZS 1-325, located at 11930 Ocean Gateway, Tax Map 26, Parcel 260, Tax District 10, Worcester County, Maryland.

IMPORTANT NOTICE

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BZA Case # 26-8



NOTE: FOR THE SCALE TO BE CORRECT SHEET MUST BE PRINTED ON 11" x 17"

NOTES:

SITE PLAN

ADDRESS:
WORCESTER HWY
POCOMOKE CITY, MD 21851

PARCEL ID: 2408000522

LOT AREA: 5.3946 ACRES

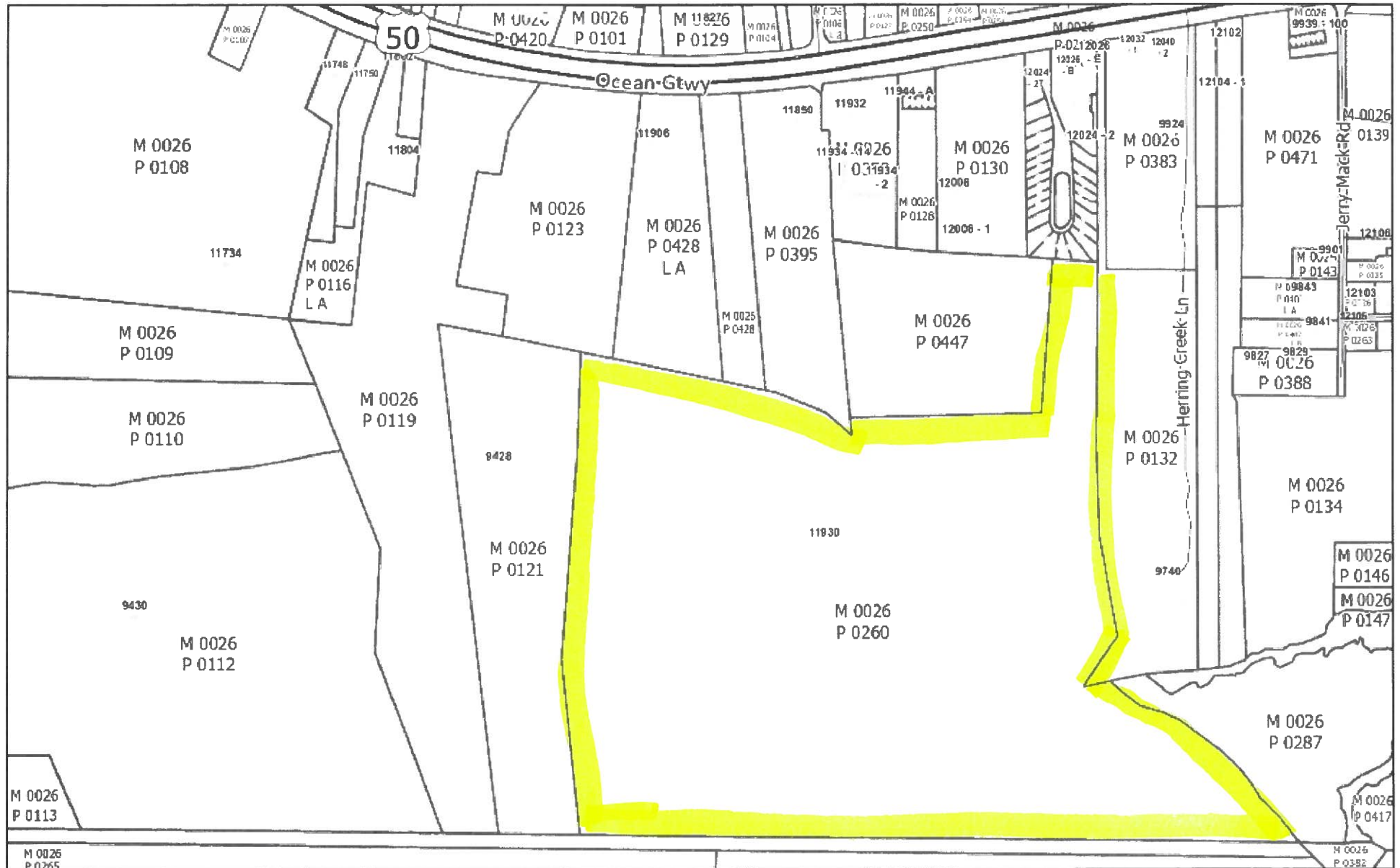
PLOT SIZE: 11" X 17"

WEBSITE: USASITEPLANS.COM

DRAWING SCALE: 1"=80'



DRP ArcGIS Web Map

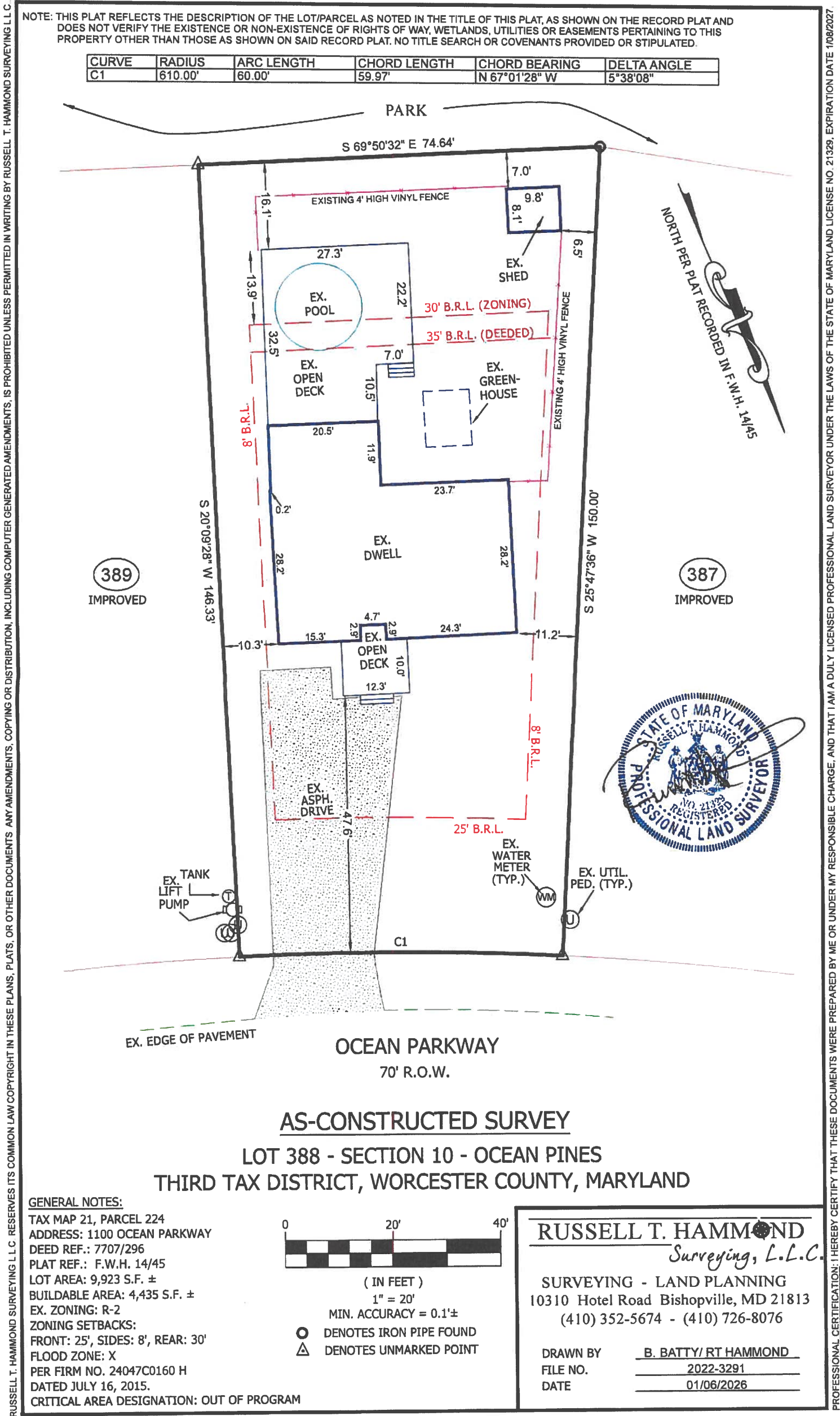


1/28/2026, 7:53:40 AM

Worcester Roads — Local Parcel Boundaries
 — Major Address number

Originally, 2007, Spatial Systems Associates, Inc. Then, Worcester County GIS. Then, in 2019/2020 Datamark Inc., for assistance with Next Gen

DRP ArcGIS Web Map
 This map is intended for planning purposes only and not for regulatory application.



SITE DATA:

Owner
Adam Lockhart Showell, Sr
As Grantee
3701 Atlantic Avenue
Ocean City, Maryland 21842

Premises Address:
5, Pond Rd.
Ocean City, Maryland 21842
Waterfront

Surveyor
Vista Design, Inc.
11634 Worcester Hwy.
Shoreline, MD 21862
Ph: 410-352-3674

Tax Map
TM 22 Grd 20 Parcel 412
Deed Book: 2306
Deed Book Page: 150
Plat 145, Page 2

Site Area
Area $\approx 190,793$ SF / ± 4.38 Acres

Flood Zone
Portion of This Site is Located Within Shaded and Unshaded
Flood Zone "X", Flood Zone "A", 5' & 6' per FIRM Map
24047C0100N Effective Date July 16, 2015

Zoning Information
Existing Zoning: R-2
Land Use: Residential, Single dwelling lot

Sewer Provider
Public Sanitary

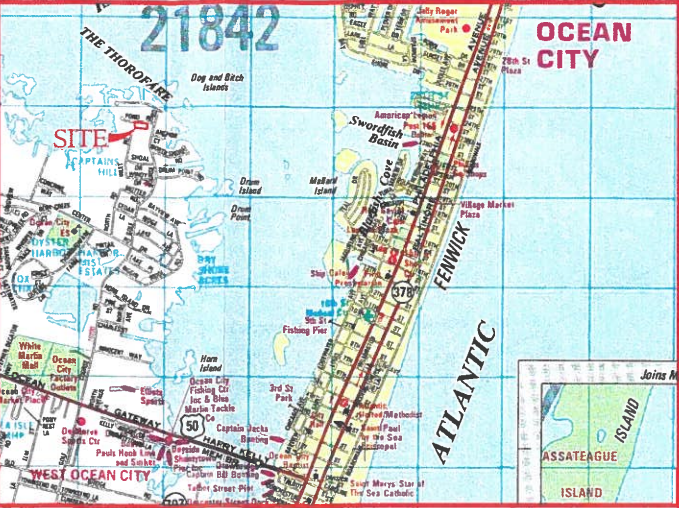
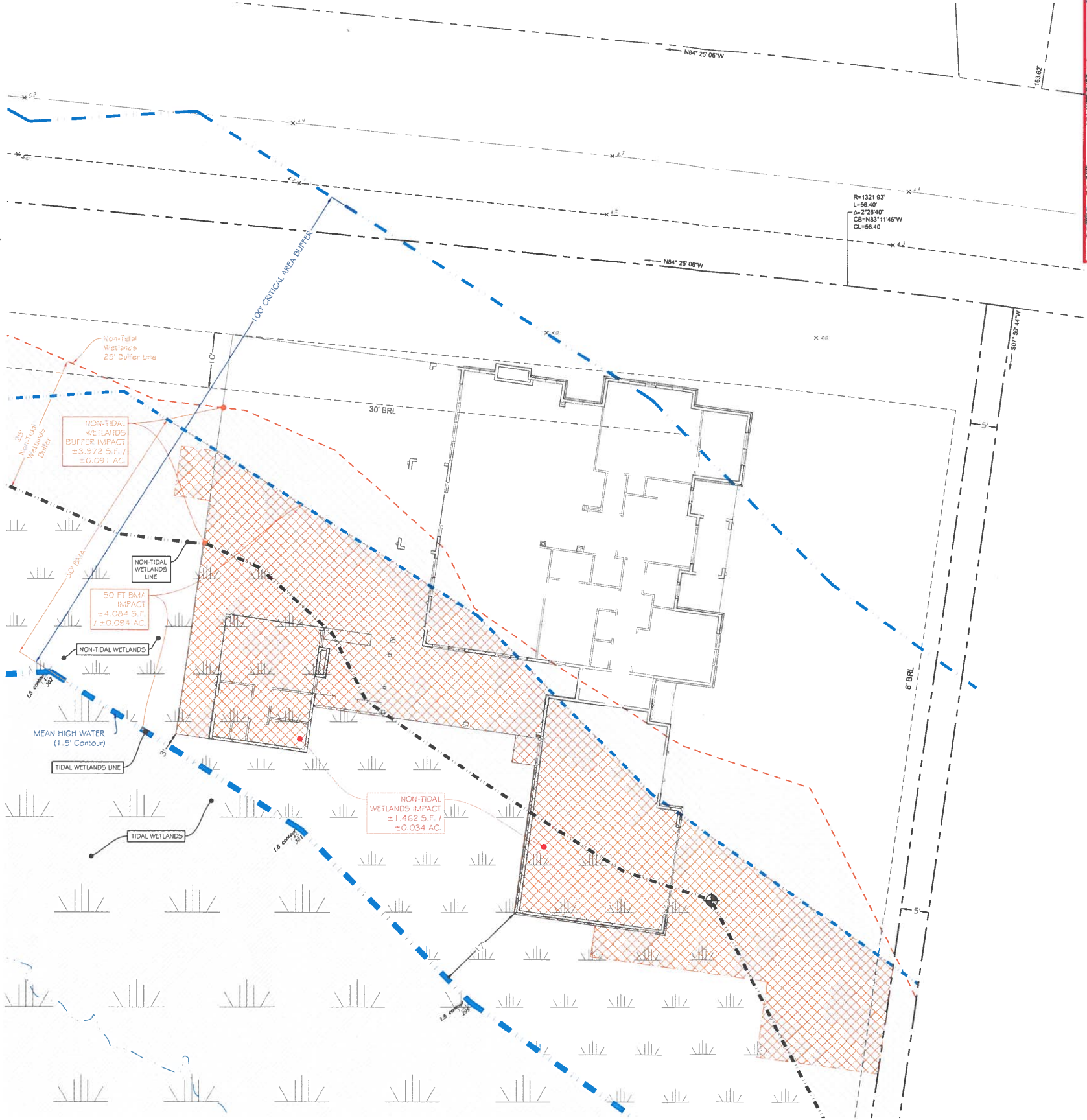
Water Provider
Public Water

Horizontal Datum
NAD 83 Maryland State Plane Grd

Vertical Datum
NAVD 88

Critical Area
This Site is Within the 1,000 feet
Coastal Dunes Critical Area Buffer

BZA Case #26-12



VICINITY MAP
SCALE: 1" = 2,000'

IMPACT AREA TABLE

NON-TIDAL WETLANDS IMPACT	$\approx \pm 1,462$ SF / ± 0.034 AC	
25' NON-TIDAL WETLANDS BUFFER IMPACT	$\approx \pm 3,972$ SF / ± 0.091 AC	
50 FOOT BMA IMPACT	$\approx \pm 4,084$ SF / ± 0.094 AC	

LEGEND:

Property Line	
Adjacent Property Line	
Existing 1x Contour	
Existing 5x Contour	
Existing Edge of Pavement	
Existing Coastal Dunes Critical Area	
Existing Points	
Existing Storm Culverts	
Existing Non-Tidal Wetlands	
Existing Non-Tidal Wetlands 25' Buffer	
Existing Afforestation Area	

NOTE:
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NOTE:
This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations therein apparent.



REVISIONS
01/00/00
01/00/00
01/00/00
01/00/00
01/00/00
01/00/00

PROJECT DATA
Project No.: 24-035
File Name: CE 062625 (OFF) .dwg
DISTRICT 18
OCEAN CITY, MARYLAND
Date: 10/13/25
Scale: 1" = 10'

PROPOSED
DETAIL SITE
PLAN

LANDS N/F
ADAM LOCKHART
SHOWELL, SR.
TM 22 GRD 20 PARCEL 482

VISTA
DESIGN INC.
Landscape Architects, Land Planning Consultants, Engineers, and Surveyors
11634 Worcester Hwy, Shoreline, MD 21862
Ph: 410-352-3674 email: vista@vistadesigninc.com

SITE DATA:

Owner

Adam Lockhart Showell, Sr.
As Custodian
3701 Atlantic Avenue
Ocean City, Maryland 21842

Promised Address:

5, Pond Rd.
Ocean City, Maryland 21842
Waterfront

Surveyor

Vista Design, Inc.
11634 Worcester Hwy.
Shawmut, MD 21862
Ph. 410-352-3874

Tax Map

TM 22 Grid 20 Parcel 412
Deed Book: 2306
Deed Page: 150
Plat 145, Page 2

Site Area

Area ±190,793 SF / ±4.36 Acres

Flood Zone

Portion of This Site is Located Within Shaded and Unshaded
Flood Zone "X", Flood Zone "AE" (EL. 4' - 5' & 6') per FIRM Map
24047C01801 Effective Date July 16, 2015

Zoning Information

Existing Zoning: R-2
Land Use: Residential, Single dwelling lot

Sewer Provider

Public Sewer

Water Provider

Public Water

Horizontal Datum

NAD 83 Maryland State Plane Grid

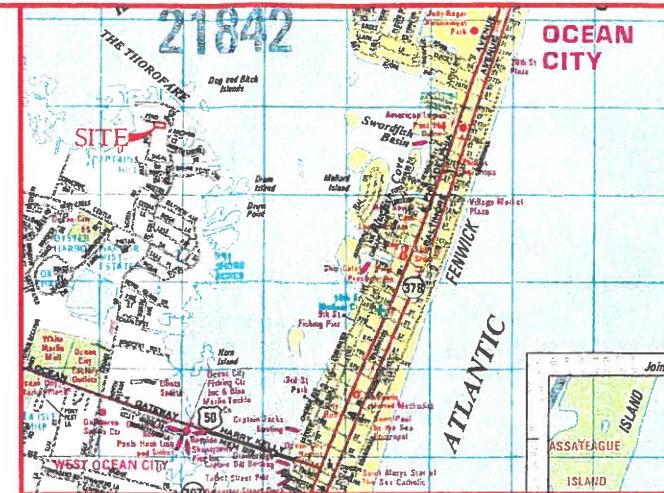
Vertical Datum

NAVD 88

Critical Area

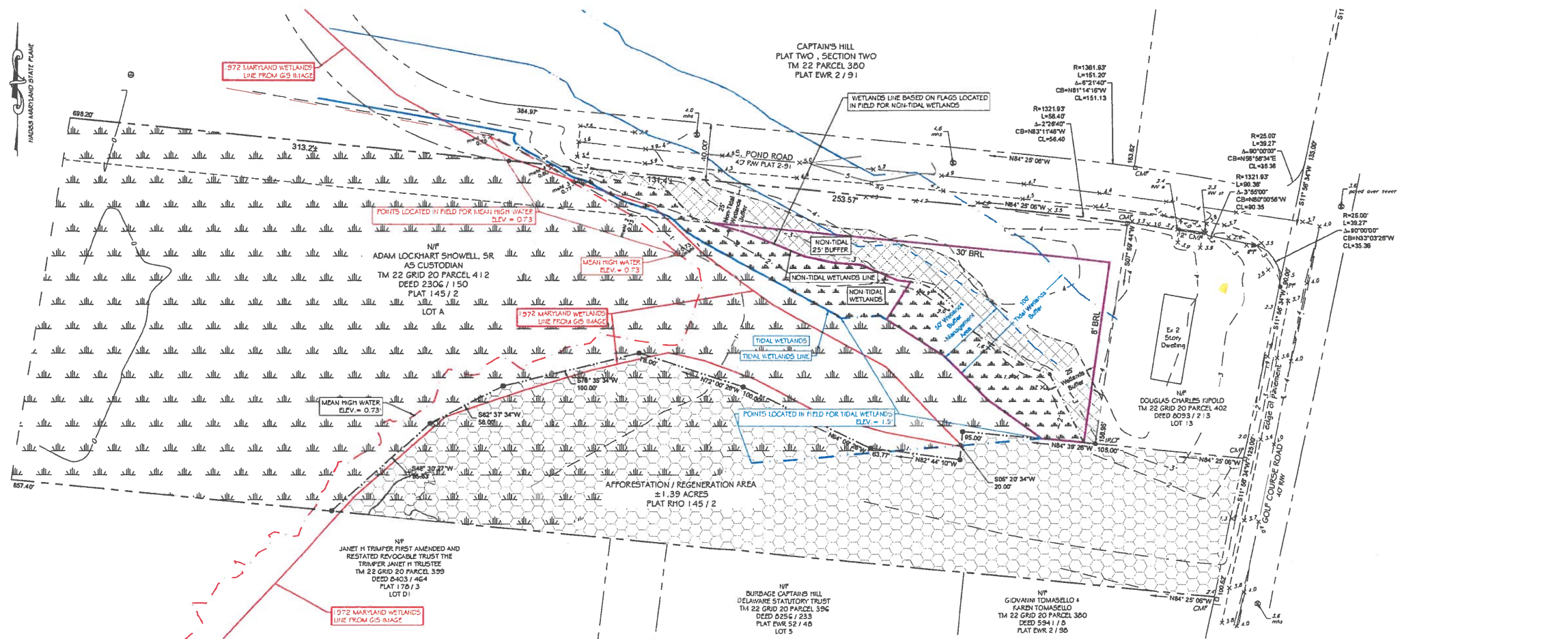
This Site is Within the 1,000 foot
Coastal Bays Critical Area Buffer

BZA Case #26-12



VICINITY MAP

SCALE: 1" = 2,000'



LEGEND:

Property Line	---
Adjacent Property Line	---
Existing 1x Contour	-3-
Existing 5x Contour	-5-
Existing Edge of Pavement	---
Existing Coastal Bays Critical Area	---
Existing Ponds	---
Existing Storm Culverts	---
Existing Tidal Wetlands	---
Existing Non-Tidal Wetlands	---
Existing Non-Tidal Wetlands 25' Buffer	---
Existing Afforestation Area	---
Existing Area Below 2.4' Elevation	---

AREA TABLE

UPLANDS AREA BASED ON FIELD LOCATED FLAGS	13,252 S.F.
BUILDABLE UPLANDS AREA MINUS SETBACKS	5,260 S.F.
±5,000 S.F. AREA OF NON-TIDAL WETLANDS IMPACT	---
WETLANDS BUFFER AREA: ±9,496 S.F.	---
BUILDABLE AREA, WETLAND & BUFFER IMPACTS	---
TOTAL ±16,715 S.F.	---

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NOTE:
This drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appertaining.



REVISIONS

NO.	DATE	DESCRIPTION
1	07/07/00	Original
2	07/07/00	Revised
3	07/07/00	Revised
4	07/07/00	Revised
5	07/07/00	Revised

PROJECT DATA	1" = 40'
Project No.	24-025
File Name	3.1 025 Shoreline Lake 1
DATE/REV	07/07/00
OCEAN CITY, MARYLAND	7/27/24
Date	07/07/00
Scale	07/07/00

EXISTING CONDITIONS PLAN

LANDS N/F
ADAM LOCKHART
SHOWELL, SR
TM 22 GRID 20 PARCEL 482

VISTA
DESIGN, INC.
Landscape Architects, Land Planning Consultants, Engineers, and Surveyors
11634 Worcester Hwy, Shawmut, MD 21862
ph. 410-352-3874
email: vista@vistadesigninc.com

WORCESTER COUNTY PLANNING COMMISSION

MEETING DATE: February 5, 2026

PURPOSE: Major Site Plan Review

DEVELOPMENT: Bishopville Volunteer Fire Department

PROJECT: Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces.

LOCATION: Located at 10709 Bishopville Road, Bishopville, MD 21813.

ZONING DESIGNATION: V-1 Village.

BACKGROUND: The Bishopville Volunteer Fire Department is proposing to construct a new building in the same general footprint as the existing building.

SIGNS: Any signage shall meet the requirements of §ZS 1-324 and Section 14 of the *Design Guidelines and Standards for Commercial Uses* and shall be reviewed at permitting stage for compliance.

PARKING: The minimum parking requirements have been met, as 45 standard parking spaces have been provided, as well as two (2) handicapped spaces and four (4) apparatus stalls.

Parking spaces shall be demarcated with painted stripes and parking bumpers where shown. Handicap accessible parking spaces have been provided as required under the Maryland Accessibility Code. Also, all handicap accessible signs shall be posted a minimum of 84" from grade to the bottom of the reserved sign. All handicap spaces shall also be a minimum of 20' in depth, and where required, depressed curbing will need to be provided.

LOADING SPACES: No loading spaces are proposed for the site.

TRAFFIC CIRCULATION: The site is currently accessed from Bishopville Road (MD Route 367), and the site plan indicates that property will be accessed from the same existing entrance.

PEDESTRIAN AND BICYCLE CONNECTIVITY: §ZS 1-320 requires one (1) rack, and one (1) rack is provided.

REFUSE REMOVAL: A dumpster or refuse collection container is not proposed in this area of

the overall site.

LANDSCAPING: Landscaping is proposed within the parking area, and the applicant is proposing an automatic irrigation system for the maintenance as required per §ZS1-322(b)(7).

FOREST CONSERVATION LAW: This property is not subject to Forest Conservation Law.

STORMWATER MANAGEMENT/ SEDIMENT EROSION CONTROL: This project has obtained Stormwater Concept approval. Final Plan approval must be provided prior to signature approval.

CRITICAL AREA LAW: This property is located within the Atlantic Coastal Bays Critical Area (ACBCA) program boundary. Written confirmation will be required from Environmental Programs Natural Resources Division prior to receiving signature approval.

WATER SUPPLY AND WASTEWATER SERVICES: This project is served by on-site well and septic. Written confirmation will be required from Environmental Programs prior to the site plan receiving signature approval.

ARCHITECTURAL JUSTIFICATION: The building elevations have been designed and reviewed under the *Design Guidelines and Standards for Commercial Uses*. This development is located within the Agricultural tradition.

The items requiring a waiver from the Planning Commission have been itemized below under “Planning Commission Considerations.” The applicant is required to justify their waiver request based upon the criteria outlined in Section 2(b) of the *Design Guidelines and Standards*.

PROPERTY OWNER: Bishopville Volunteer Fire Department, Inc.

APPLICANT: Davis, Bowen, & Friedel, Inc.

ENGINEER: Davis, Bowen, & Friedel, Inc.

PREPARED BY: Ben Zito, DRP Specialist

PLANNING COMMISSION CONSIDERATIONS – DESIGN GUIDELINES

Design Guidelines: Waivers Requested

Section 10	Facades
Section 16	Pedestrian and Bicycle Circulation
Section 19	Community Features & Spaces

Section 10(b)(1)(A): Elements within each segment of the facade shall be symmetrical. Facade elements and openings shall be repeated in the same positions on either side of an imaginary central vertical line of that segment. Minor variations to a symmetrical condition can be absorbed while maintaining an overall sense of the balance.

Section 10(b)(1)(C): Facades greater than sixty feet in width shall be provided with wall plane projections or recesses that:

1. Have a depth of at least two feet or three percent of the facade width, whichever is greater; and
2. Extend at least twelve feet or twenty percent of the facade width, whichever is greater.

Section 10(b)(1)(H): Facades shall incorporate transparent features such as windows and doors over a minimum of twenty-five percent of the surface area of facades but shall not exceed forty percent.

Section 16(b)(2): Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. Sidewalks shall be provided with human-scale lighting to create a safe and attractive pedestrian atmosphere.

Section 16(b)(3): Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site.

Section 16(b)(8): Seating areas for pedestrians shall be provided near the entry and under protective coverings. Seating should be provided at least every one hundred feet of sidewalk along building facades having customer entrances.

Section 16(b)(10): Bicycle lanes shall be provided on ingress and egress routes. These lanes shall be appropriately signed or otherwise demarcated.

Section 19(b)(1): Each commercial structure shall contribute to the improvement of public spaces by providing a community space that is centrally located, connected to the pedestrian walkway and placed in areas with the highest pedestrian traffic. It should be constructed of materials that are similar to the principal materials of the building and landscaped compatibly. This community space shall provide seating and at least one of the following:

- A. Patio.
- B. Pedestrian plaza.
- C. Transportation center.
- D. Window shopping walkway.
- E. Outdoor playground area.
- F. Kiosk area.
- G. Water feature.
- H. Clock tower.
- I. Other such deliberately shaped area or focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces.

Section 19(b)(2): Required community spaces shall be at least eight hundred square feet in size with no side less than twelve feet long.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

January 27, 2026

Davis, Bowen, & Friedel, Inc.
c/o Timothy M. Metzner
601 E. Main Street, Suite 100
Salisbury, MD 21804

Re: Bishopville Volunteer Fire Department Major Site Plan Review

Dear Mr. Metzner:

This is to advise you that the Department has completed a review of the site plan dated December 12, 2025 associated with the above-referenced project. The plan has been reviewed in accordance with the pertinent sections of the Worcester County *Zoning and Subdivision Control Article* and the *Design Guidelines and Standards for Commercial Uses*. The following requirements have yet to be addressed:

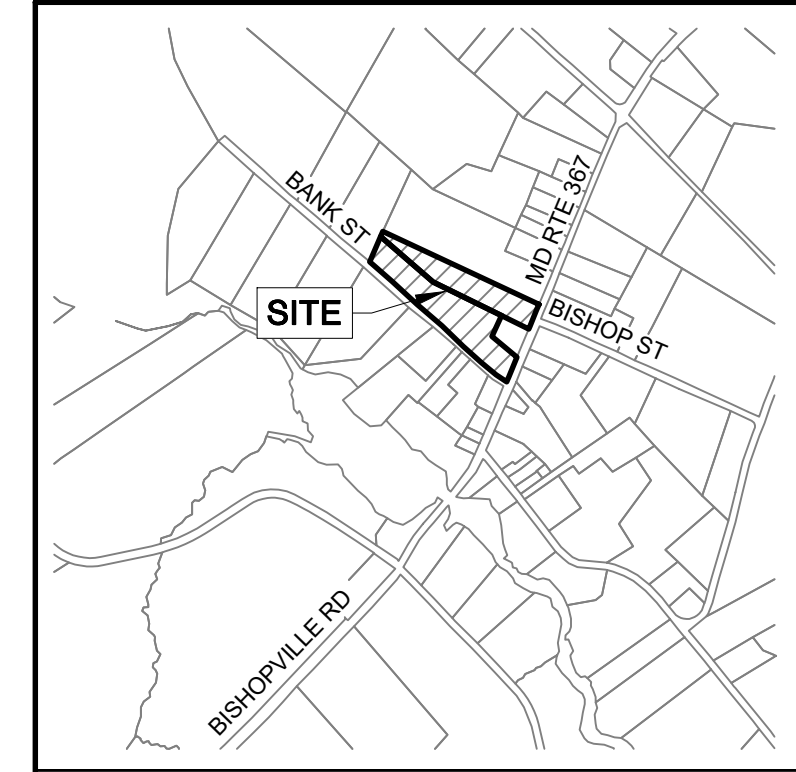
GENERAL:

1. Sheet C101: Please add the monument signage and label that is to remain on the site.
2. Sheet C101: Please confirm that the curbing for the parking spaces will be at least three feet away from the landscaping features to prevent damage as outlined in §ZS 1-320(f)(5).
3. Sheet L101: Please add a note that an automatic irrigation system will be installed for the landscape maintenance per §ZS 1-322(b)(7).

A copy of the Staff Report associated with this project is attached for your reference. Please do not hesitate to contact me at 410-632-1200 ext. 1131 with any questions or comments you may have concerning this matter.

Yours,

Kristen M. Tremblay, AICP
Zoning Administrator



LOCATION MAP
1"=800'



FEMA FLOOD MAP
PANEL#: 24047C0030H (7/16/2015) 1"=500'



NWI WETLAND MAP
1"=500'



SOILS MAP
1"=200'

SOILS DATA		
LABEL	SOIL NAME	TYPE
FsdA	FALLSINGTON SANDY LOAMS, 0-2% SLOPES, NORTHERN TIDEWATER AREA	B/D
FmB	FORT MOTT LOAMY SAND, 2-5% SLOPES	A
WddA	WOODSTOWN SANDY LOAM, 0-2% SLOPES, NORTHERN TIDEWATER AREA	C

BISHOPVILLE VFD

TOWN OF BISHOPVILLE

WORCESTER COUNTY, MARYLAND

DBF # 4339A002

OCTOBER, 2025

DATA COLUMN

1	TAX MAP ID	MAP: 9, GRID: 5, PARCEL: 214 & 216	TAX DISTRICT: 5
	TAX ACCOUNT ID NO.	3806 & 3652	
	PREMISES ADDRESS	10709 BISHOPVILLE ROAD, BISHOPVILLE, MARYLAND, 21813	
2	APPROXIMATE PROJECT CENTER	LATITUDE 38°26'40.3228"	LONGITUDE -75°11'38.7570"
3			
4	DATUM	HORIZONTAL NAVD 83 (MD STATE PLANE)	VERTICAL NAVD 88
5	ZONING	EXISTING V-1 (VILLAGE DISTRICT)	PROPOSED V-1 (VILLAGE DISTRICT)
6	LAND USE	EXISTING FIRE STATION	PROPOSED FIRE STATION
7	BUILDING CONSTRUCTION	IBC TYPE II	NEPA 220
8	UTILITY PROVIDERS	SEWER PRIVATE ON SITE	WATER PRIVATE ON SITE
9	POSTED SPEED LIMIT	BISHOPVILLE ROAD (SCR 367) 30 MPH	
10	FLOODPLAIN	THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 24047C0030H, DATED JULY 16, 2015.	
11	WETLANDS	THE PROPERTY IS NOT IMPACTED BY STATE AND/OR FEDERALLY REGULATED WETLANDS.	
12	CRITICAL AREA	THIS SITE IS LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA, INTENSELY DEVELOPED AREA (DA)	
13	CODE COMPLIANCE	REQUIRED	PROPOSED
	FRONT SETBACK	25 FT	25 FT
	SIDE SETBACK	8 FT	8 FT
	REAR SETBACK	30 FT	30 FT
	MAXIMUM BUILDING HEIGHT	NO FLAT-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE FEET, NO PITCHED-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED A HEIGHT OF FORTY-FIVE FEET, AND NO FLAT, OR PITCHED-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED FOUR STORIES. IN ADDITION, NO ACCESSORY STRUCTURE SHALL EXCEED EITHER TWO STORIES OR TWENTY-FIVE FEET IN HEIGHT.	35 FT
	MINIMUM DISTANCE BETWEEN BUILDINGS		10 FT
	OPEN SPACE		2.438 AC. (65%)
		EXISTING	PROPOSED
	SITE AREA	164,425 SF. (3.775 AC.) (100%)	164,425 SF. (3.775 AC.) (100%)
	WOODS	15,562 SF. (0.357 AC.) (10%)	15,562 SF. (0.357 AC.) (10%)
	REMAINING OPEN SPACE	100,593 SF. (2.309 AC.) (61%)	82,849 SF. (1.902 AC.) (50%)
	IMPERVIOUS COVER	48,270 SF. (1.108 AC.) (29%)	58,227 SF. (1.337 AC.) (35%)
	SWM POND	0 SF. (0 AC) (0%)	7,787 SF. (0.179 AC.) (5%)
	LIMIT OF DISTURBANCE		82,764 SF. (1.900 AC.)
14	PARKING	SPACES REQUIRED	MAXIMUM SPACES ALLOWED
	FIRE STATIONS WITH VOLUNTARY STAFF	4 PER EACH PIECE OF APPARATUS = 28	6 PER EACH PIECE OF APPARATUS = 42
	PUBLIC BUILDINGS	1 PER EACH 400 SQUARE FEET OF PUBLIC FLOOR AREA, WITH A MINIMUM OF 10 SPACES = 3078 SF + 400 = 8	1 PER EACH 200 SQUARE FEET OF PUBLIC FLOOR AREA, WITH A MINIMUM OF 10 SPACES = 3078 SF + 200 = 16
15	FOREST CONSERVATION	THIS SITE IS SUBJECT TO THE WORCESTER COUNTY FOREST CONSERVATION LAW. THIS SITE IS SUBJECT TO FOREST CONSERVATION PLAN NO. XX-XX. THIS SITE HAS BEEN SUBJECT TO A REGULATED ACTIVITY UNDER THE WORCESTER COUNTY FOREST CONSERVATION LAW. ANY FUTURE APPROVAL OF THIS SITE FOR A REGULATED ACTIVITY SHALL BE SUBJECT TO THE COUNTY FOREST CONSERVATION LAW. A FOREST CONSERVATION EASEMENT PLAT HAS BEEN APPROVED AND IS ON FILE WITH THE DEPARTMENT OF ENVIRONMENTAL PROGRAM. A PERPETUAL PROTECTIVE AGREEMENT, DEED OF FOREST CONSERVATION EASEMENT, WILL BE RECORDED SIMULTANEOUSLY WITH THIS PLAT IN THE LAND RECORDS OF WORCESTER COUNTY, MARYLAND.	



INDEX OF SHEETS	
SHEET NUMBER	SHEET TITLE
C001	CIVIL TITLE
C002	CIVIL LEGEND
C051	DEMOLITION PLAN
C101	SITE PLAN
C201	SITE DETAILS
C301	GRADING PLAN
L101	LANDSCAPE & LIGHTING PLAN

ENGINEER'S STATEMENT

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31100, EXPIRATION DATE: 01/21/27.

JASON LOAR, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
601 E. MAIN STREET, SUITE 100
SALISBURY, MARYLAND, 21804

OWNER'S STATEMENT

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

OWNER'S REPRESENTATIVE
BISHOPVILLE VOLUNTEER FIRE DEPARTMENT, INC.
PO BOX 350
BISHOPVILLE, MD 21813

APPROVED WORCESTER COUNTY

NAME
AGREEMENT #

DATE

DAVIS
BOWEN &
FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BALTIMORE, MARYLAND
410.770.1441

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

Date: JANUARY 2026

Scale: AS SHOWN

Dwn.By: ADM

Proj.No.: 4339A002

CIVIL TITLE

Dwg.No.:

C001

P:\4339A\4339A-BISHOPVILLE VFD\4339A002-BISHOPVILLE VFD\CADD\SHEET\4339A002-C002-Civil Legend.dwg Jan 16, 2026 - 2:52pm mtl

CIVIL PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION.
2. BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC, JULY 10, 2025.
3. CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF MARYLAND.
4. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.

DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES

1. ALL STORM DRAIN PIPING, INLET, MANHOLE, AND ENDESECTION INSTALLATION SHALL BE IN ACCORDANCE WITH DELDOT STANDARDS AND SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
2. ALL STORM DRAIN DESIGNATED AS RCP IS TO BE REINFORCED CONCRETE PIPE, MEETING ASTM DESIGNATION: C-76 REINFORCED CONCRETE CULVERT, STORM DRAIN AND SEWER PIPE. FOR PIPE CLASSIFICATION, SEE PIPE SCHEDULE.
3. ALL STORM DRAIN DESIGNATED AS HDPE IS TO BE HIGH DENSITY POLYETHYLENE PIPE. HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294, MP1, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE PIPE SHALL HAVE WATERTIGHT CONNECTIONS
4. PIPE SPAN LENGTHS ARE MEASURED FROM CIL OF STRUCTURE TO CIL OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
5. ALL SEALS MUST BE WATERTIGHT AND CONCRETE STRUCTURES MUST BE PRECAST OR POURED IN PLACE.
6. CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
7. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
8. EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE AREA OF ANY TREE.
9. IF THE APPROVED PLAN NEEDS TO BE MODIFIED DUE TO THE SITE CONDITION DURING CONSTRUCTION, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE WORCESTER CONSERVATION DISTRICT. ALL COSTS FOR THE ADDITIONAL MEASURES TO INCLUDE FLOCCULANTS SHALL BE AT THE SOLE COST OF THE CONTRACTOR.
10. IF LARGE AMOUNTS OF SEDIMENT HAVE ENTERED INTO THE STORM DRAIN SYSTEM, THE COUNTY ENGINEER, PROJECT ENGINEER OR WORCESTER CONSERVATION DISTRICT MAY REQUIRE THE PIPES BE FLUSHED AND VIDEO INSPECTED. ALL COSTS FOR THE PIPE FLUSHING AND VIDEO INSPECTION SHALL BE AT THE SOLE COST OF THE CONTRACTOR.

DEMOLITION AND SAFETY GENERAL NOTES

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. MARYLAND REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

EXISTING SYMBOLS

	BOUNDARY LINE
	PROPERTY LINE
	EASEMENT
	ROAD CENTERLINE / BASELINE & STATIONING
	CONTOUR ELEVATION AND LABEL
	CATCH BASIN
	STORM PIPE
	STORM MANHOLE
	SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
	SANITARY SEWER CLEANOUT
	WATER MAIN, W/ VALVES
	FIRE HYDRANT ASSEMBLY
	FORCE MAIN
	UTILITY POLE
	MAILBOX
	TELEPHONE
	SIGN
	FENCE STOCKADE
	FENCE CHAINLINK
	FENCE SPLIT RAIL
	SWALE
	ELEVATION
	HEDGEROW
	PAVEMENT
	TREE LINE
	UNDERGROUND GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SHRUB
	SOIL BORING LOCATION
	CURB
	GUARDRAIL -- STEEL BEAM
	GUARDRAIL -- WIRE ROPE
	TREE

PROPOSED SYMBOLS

	RIGHT-OF-WAY / BOUNDARY LINE
	PROPERTY LINE
	EASEMENT
	BUILDING SETBACK LINE
	FORESTED BUFFER
	WETLANDS BUFFER
	STREAM BUFFER
	ROAD CENTERLINE / BASELINE & STATIONING
	CONTOUR ELEVATION AND LABEL
	DRAINAGE INLET
	STORM PIPE
	STORM MANHOLE
	MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
	SANITARY SEWER LATERAL
	FORCE MAIN
	WATER MAIN, TEE W/ VALVES, PIPE SIZE
	FIRE HYDRANT ASSEMBLY
	WATER LATERAL

PROPOSED SYMBOLS

	LOT IDENTIFICATION NUMBER
	SIGN
	SWALE
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	SIDEWALK
	PAVERS
	IRON ROD WITH CAP SET
	CONCRETE MONUMENT SET
	RIP-RAP
	RAISED DOMES
	ALTERNATE IMPROVEMENTS
	TREE LINE
	GAS
	LIMIT OF DISTURBANCE
	LOD/SILT FENCE
	LOD/REINFORCED SILT FENCE
	LOD/SUPER SILT FENCE
	FLARED END SECTION
	UTILITY POWER POLE
	FLOW ARROW
	SOIL BORING LOCATION
	TAX DITCH RIGHT OF WAY
	WETLANDS BUFFER
	BENCHMARK
	FENCE STOCKADE
	FENCE CHAINLINK
	FENCE SPLIT RAIL
	TREE (DECIDUOUS)
	TREE (EVERGREEN)
	SHRUB
	RIPRAP
	CATCH BASIN
	OUTFALL STRUCTURE
	ADJUST BY CONTRACTOR
	RELOCATE BY CONTRACTOR
	REMOVE BY CONTRACTOR
	ADJUST BY OTHERS
	RELOCATE BY OTHERS
	REMOVE BY OTHERS
	CURB OPENING
	DND
	FLARED END
	JUNCTION BOX
	CONVERT TO JUNCTION BOX
	UNDERDRAIN
	CURB
	CURB RAMP
	BARRIER
	GUARD RAIL
	MONUMENT
	SILT FENCE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer in the laws of the State of Maryland License No. 31109. Expiration Date: 9/1-21-27

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BALTIMORE, MARYLAND 410.241.1411
SALESBURG, MARYLAND 410.241.1411

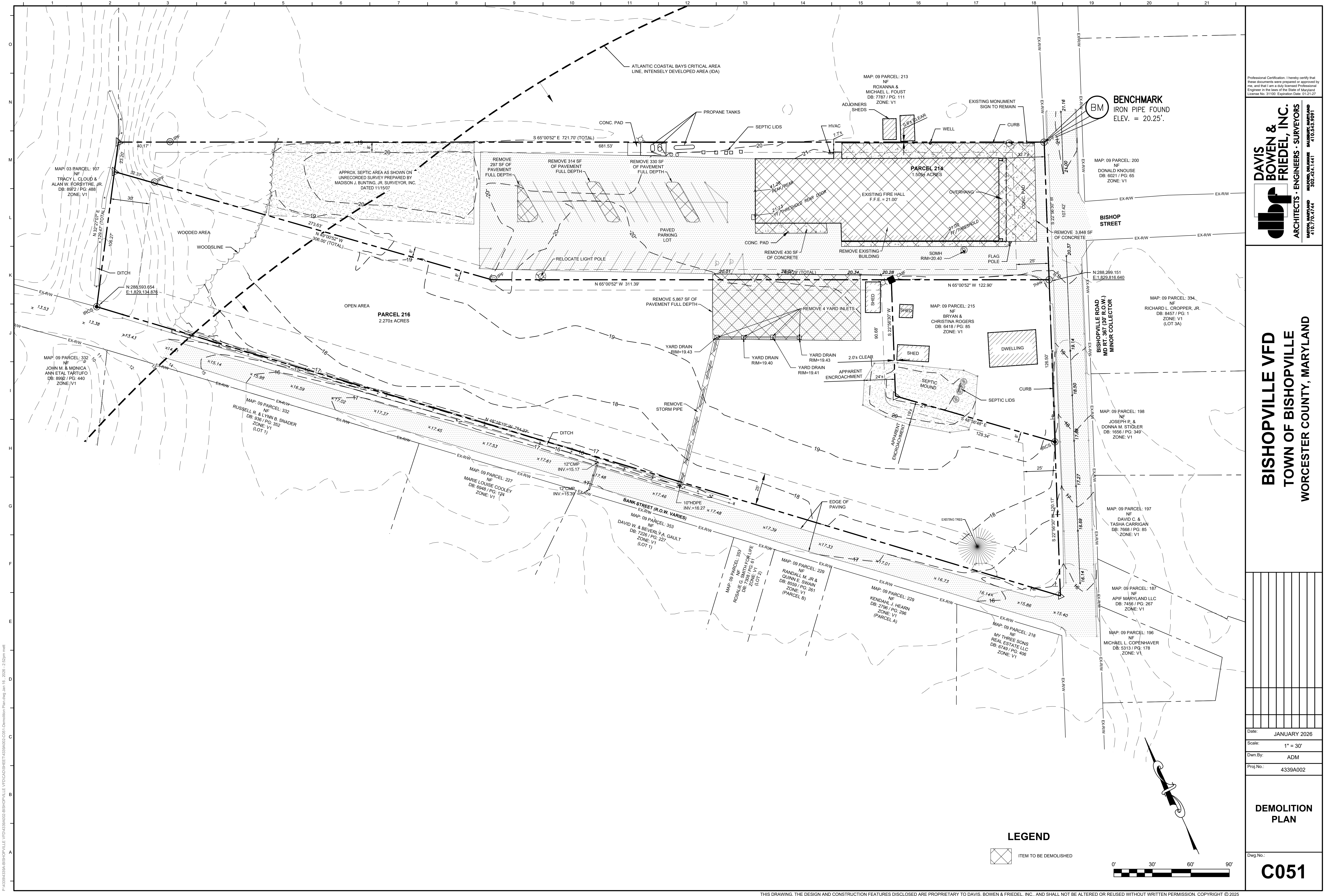
BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

Date: JANUARY 2026
Scale: NONE
Dwn.By: ADM
Proj.No.: 4339A002

CIVIL LEGEND

Dwg.No.:

C002



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer in the laws of the State of Maryland License No. 31109. Expiration Date: 01-21-27

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BALTIMORE, MARYLAND
410.742.1441

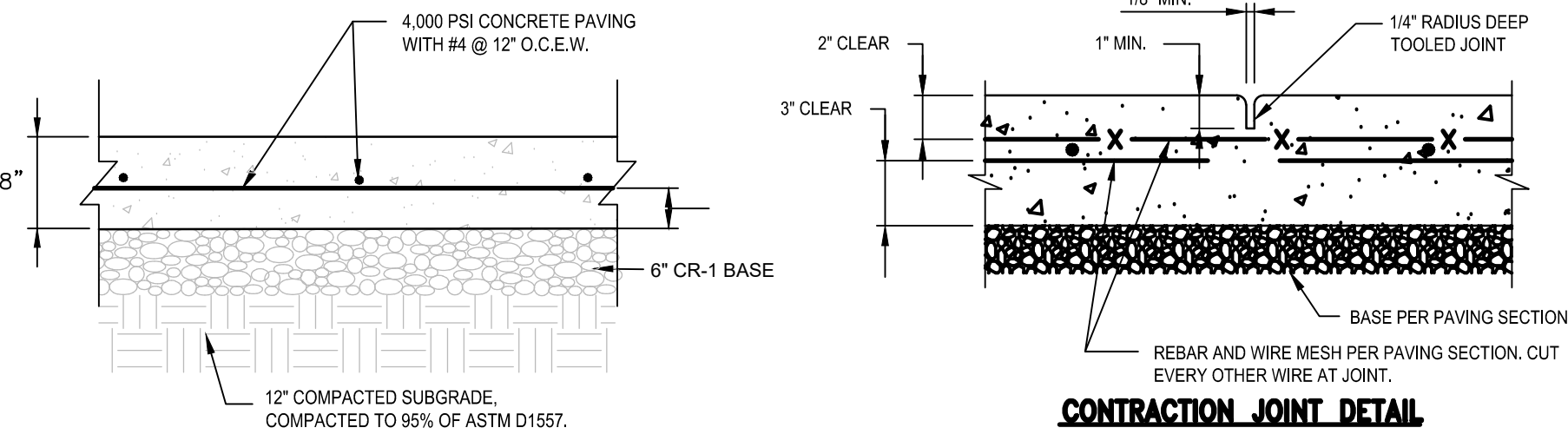
**BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND**

Date:	JANUARY 2026
Scale:	1" = 30'
Dwn.By:	ADM
Proj.No.:	4339A002

**DEMOLITION
PLAN**

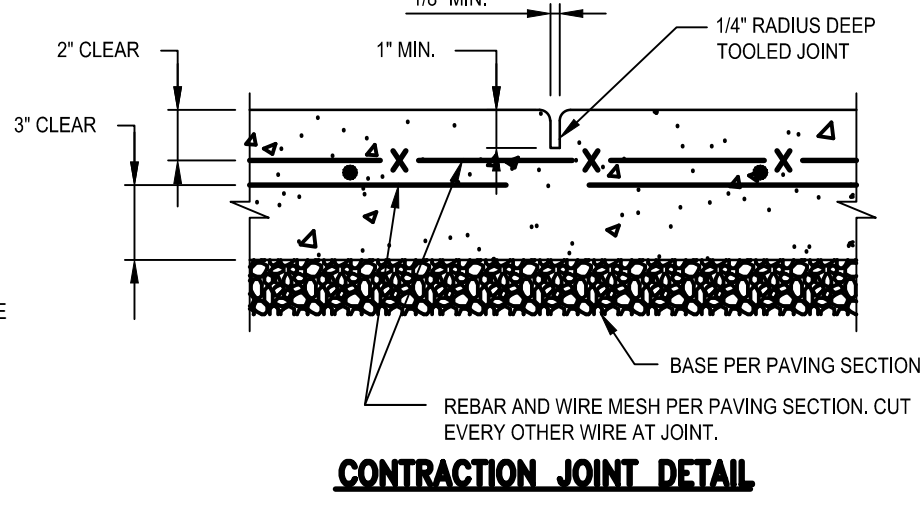
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C051

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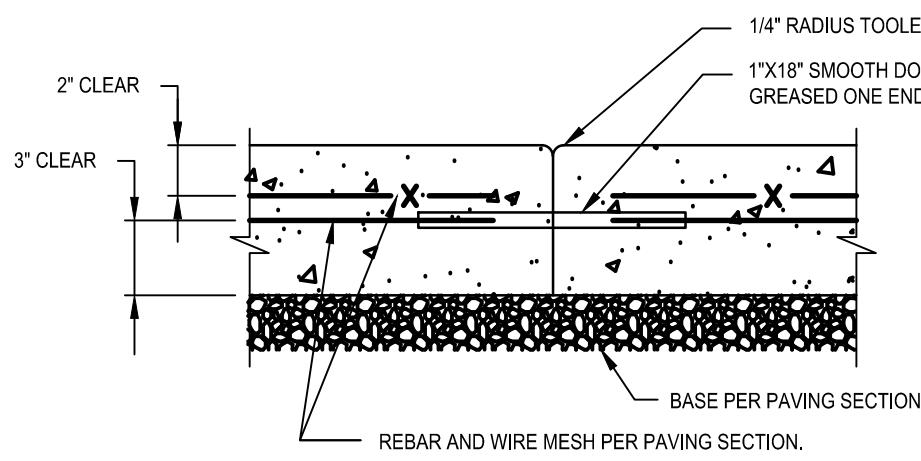


HEAVY DUTY CONCRETE PAVING SECTION

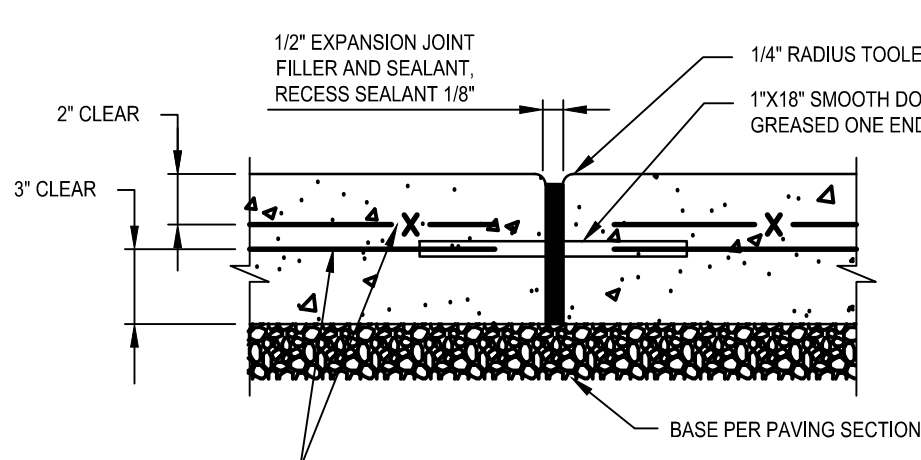
NOT TO SCALE



CONTRACTION JOINT DETAIL



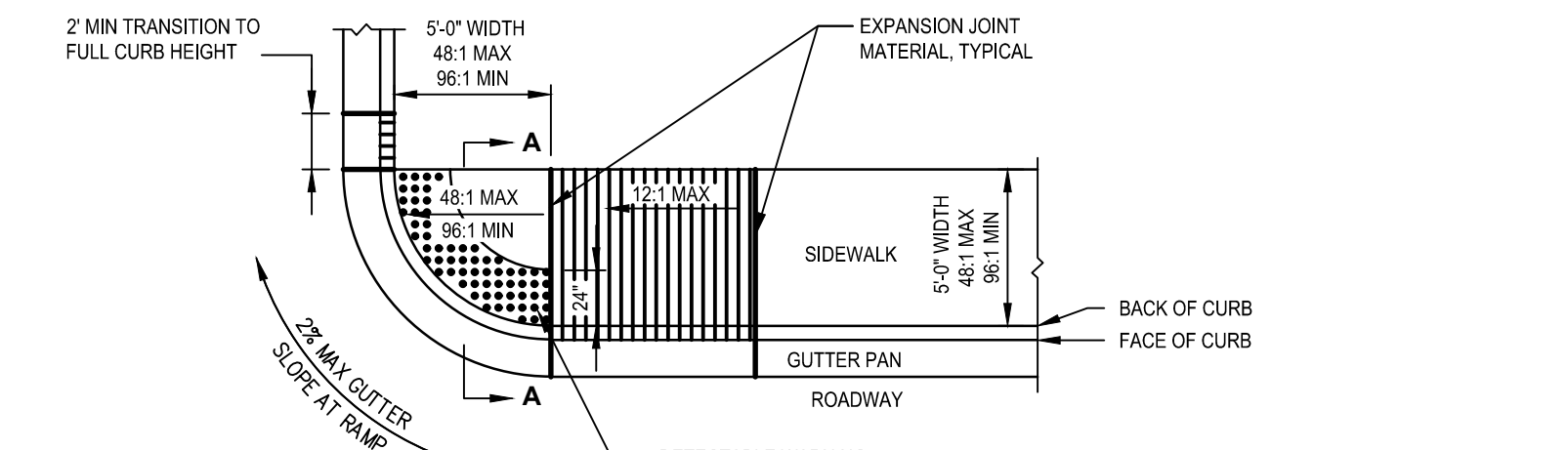
CONSTRUCTION JOINT DETAIL



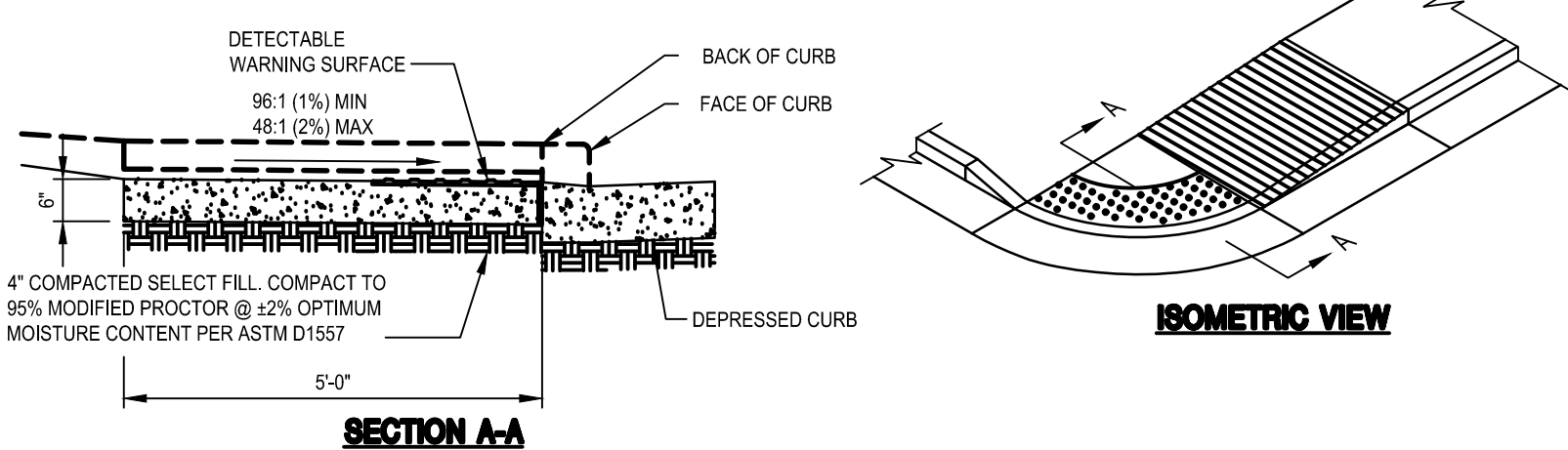
EXPANSION JOINT DETAIL

CONCRETE JOINT DETAILS

NOT TO SCALE



PLAN

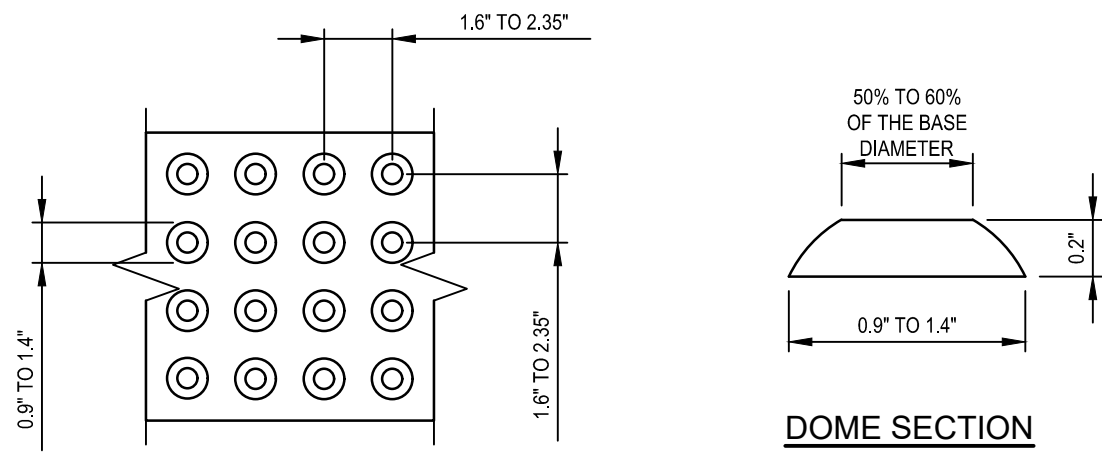


SECTION A-A

- NOTES:
1. SURFACE TEXTURE OF RAMPS SHALL BE COARSE BROOMING OR NON-SKID TYPE SURFACE.
 2. NO TRAVERSABLE SLOPE ON THE RAMP OR SIDEWALK SHALL EXCEED 12:1 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 48:1 (2%) PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
 3. TO BE USED WHERE SIDEWALK IS DIRECTLY ADJACENT TO THE CURB IN A PARKING LOT AND ENDS AT THE INTERSECTING CURB.
 4. HANDICAPPED RAMPS SHALL BE REINFORCED WITH 6x6 WELDED WIRE MESH AND BE 4,000 PSI CONCRETE.
 5. AT NO POINT SHALL THE SLOPE OF THE LANDING BE GREATER THAN 48:1 (2%), INCLUDING DIAGONAL.
 6. THERE SHALL BE A LANDING PRIOR TO THE RAMPS. THE LANDING SHALL BE 36" IN LENGTH, MINIMUM.

HANDICAP RAMP TYPE 'E'

NOT TO SCALE

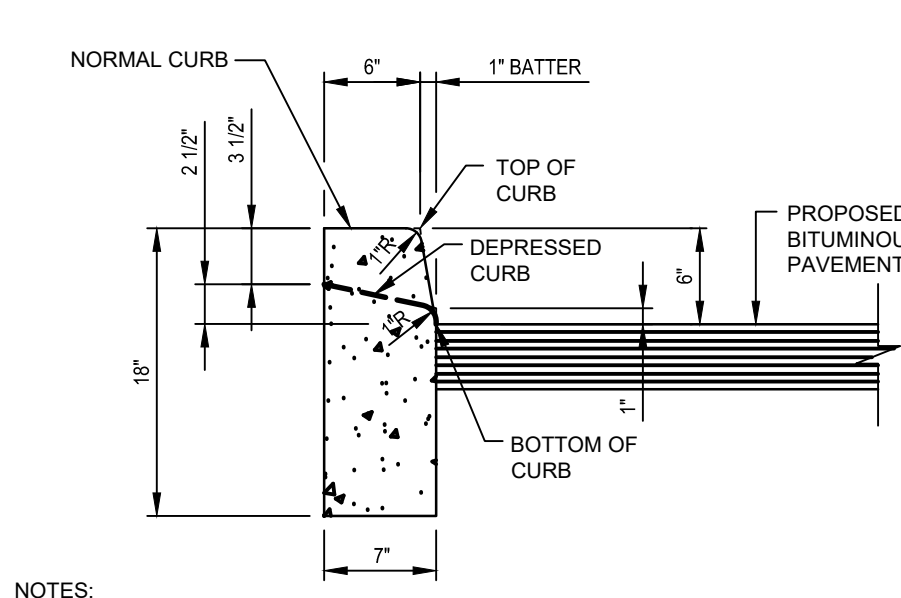


DOME SECTION

- NOTES:
1. THE DETECTABLE WARNING SURFACE SHALL BE LOCATED AT THE BACK OF CURB AND PROTRUDE A MINIMUM OF 24" UP THE RAMP.
 2. FOR SKEWED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 0.5' AND NO MORE THAN 3.0' FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
 3. DOMES MAY BE CAST IN PLACE OR MAT TYPE - ALL YELLOW OR CONTRASTING COLOR ON BRICK RAMPS.
 4. THE DETECTABLE WARNING SURFACE SHALL BE PLACED ACROSS THE ENTIRE WIDTH OF THE RAMP, EXCLUDING FLARED SECTIONS.

DETECTABLE WARNING SURFACES

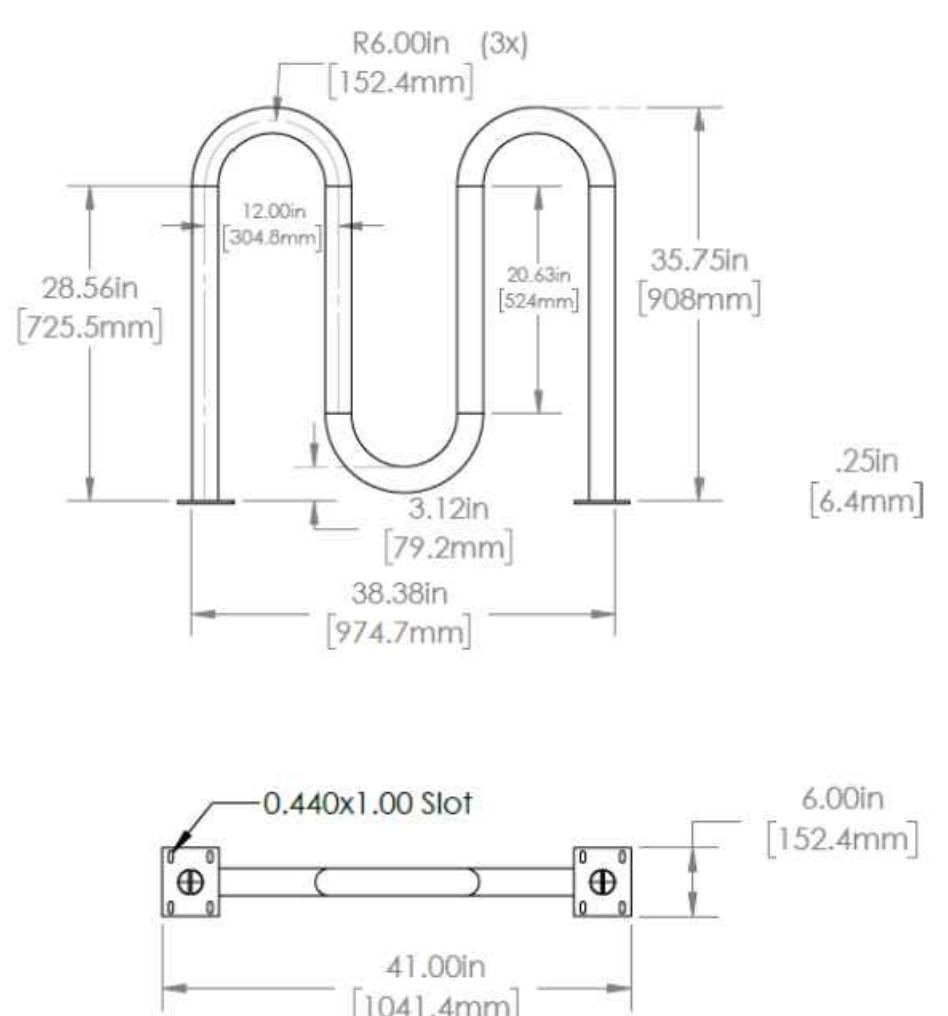
NOT TO SCALE



- NOTES:
1. ALL CONCRETE USED FOR CURB SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 7.
 2. CURB & GUTTER SHALL HAVE CONTRACTION JOINTS EVERY 10'-0", AND EXPANSION JOINTS EVERY 40'-0". EXTRUDED CONCRETE CURB & GUTTER SHALL HAVE CONTRACTION JOINTS EVERY 10'-0", AND EXPANSION JOINTS EVERY 100'-0" AND AT POINTS OF TANGENCY OR POINTS OF CURVATURE.
 3. DEPRESSED CURB AND GUTTER SHALL BE UTILIZED AT HANDICAP RAMPS WHEN TRANSITIONING FROM STANDARD CURB AND GUTTER.
 4. MAXIMUM GUTTER SLOPE ON CURB RETURNS SHALL BE 1% WHERE HANDICAP RAMPS ARE REQUIRED.
 5. WHEN ADJACENT TO CONCRETE SIDEWALK, PAVEMENT OR OTHER STRUCTURE INSTALL APPROVED EXPANSION JOINT.

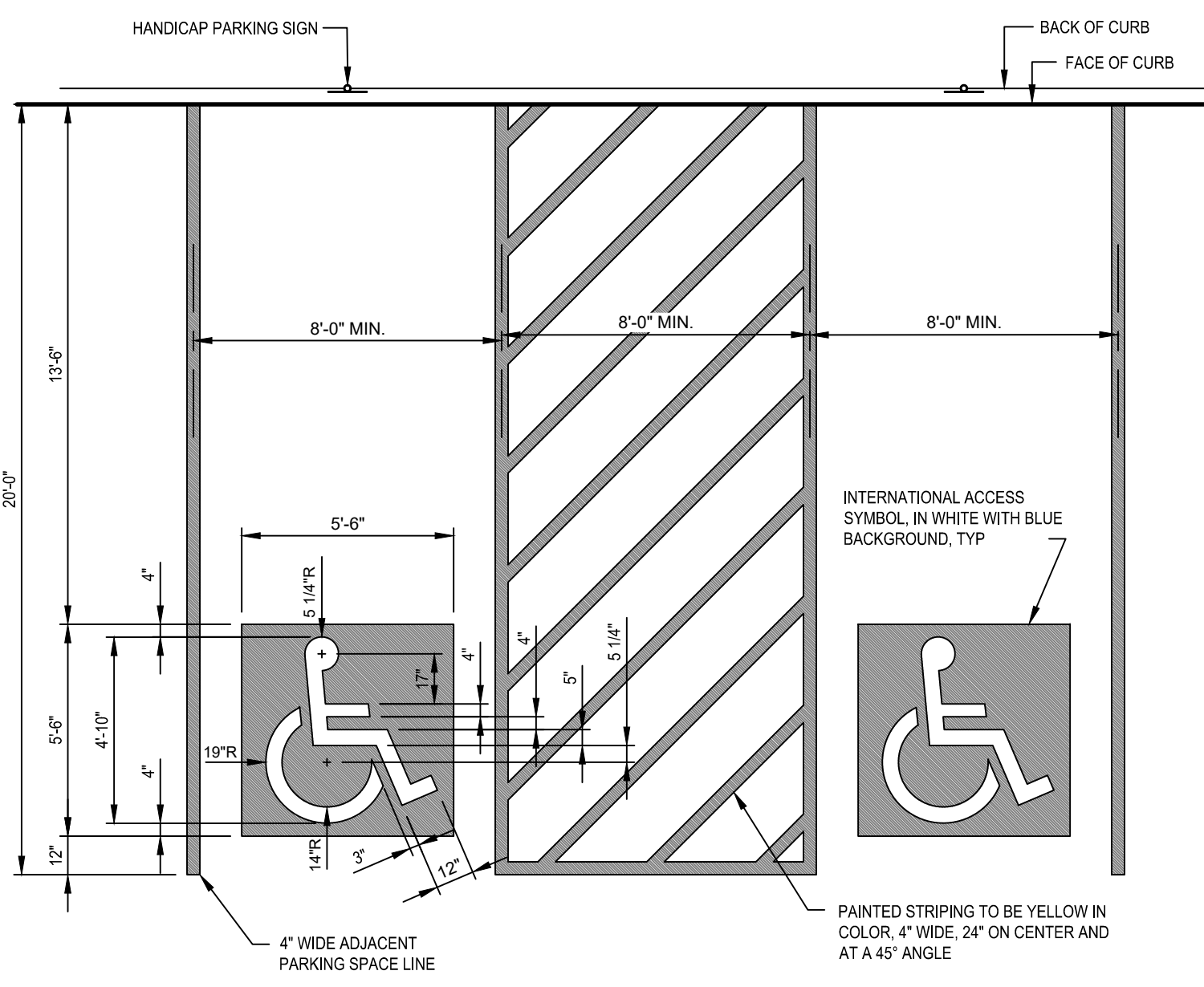
6" VERTICAL CURB

NOT TO SCALE



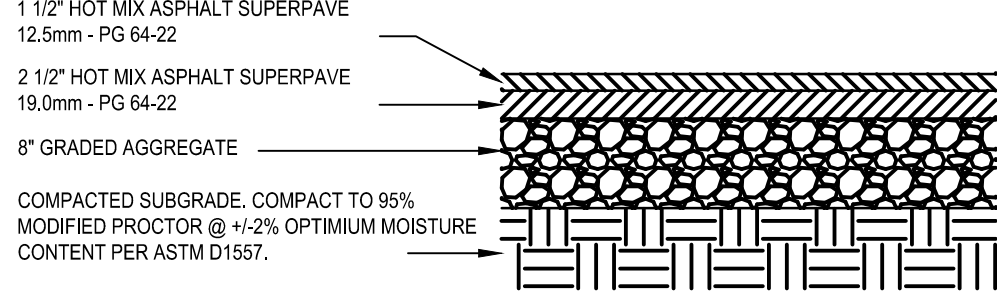
5 BIKE SONIC WAVE RACK MODEL 536-1408 - SURFACE MOUNT

NOT TO SCALE



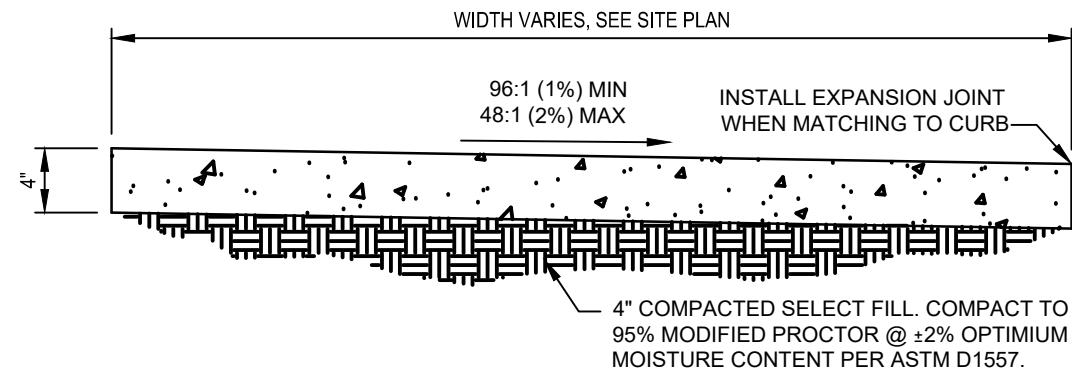
VAN ACCESSIBLE HANDICAP PARKING LAYOUT - AT CURB

NOT TO SCALE



TRUCK AND HIGH TRAFFIC AREAS PARKING LOT PAVING SECTION

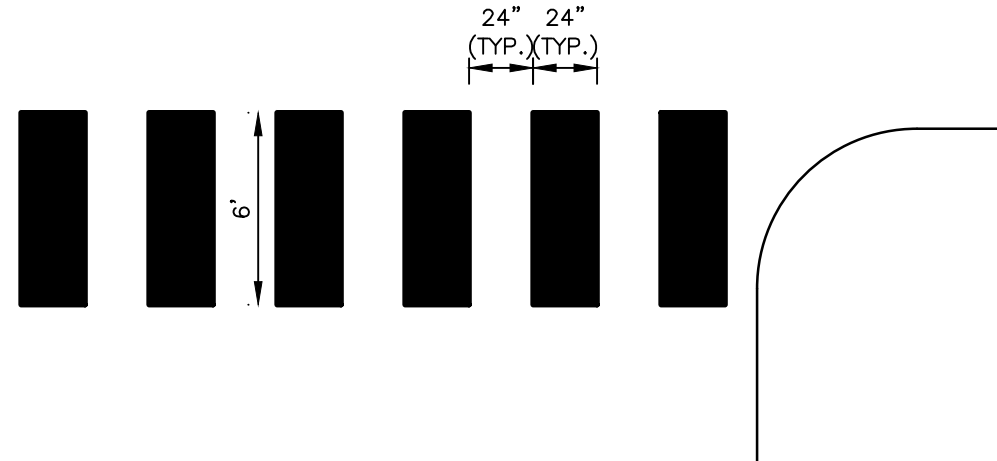
NOT TO SCALE



- NOTES:
1. ALL CONCRETE USED FOR SIDEWALK SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 3.
 2. TOOLED CONTRACTION JOINTS TO BE PLACED EVERY 5'-0" FOR WIDTHS EQUAL TO OR GREATER THAN 5'-0", AND EVERY 4'-0" FOR WIDTHS LESS THAN 5'-0".
 3. EXPANSION JOINTS ARE TO BE INSTALLED EVERY 20'-0".
 4. WHEN ADJACENT TO FOUNDATION WALL, CONCRETE CURB, CONCRETE PAVEMENT OR OTHER STRUCTURE INSTALL APPROVED EXPANSION JOINT.

CONCRETE SIDEWALK DETAIL

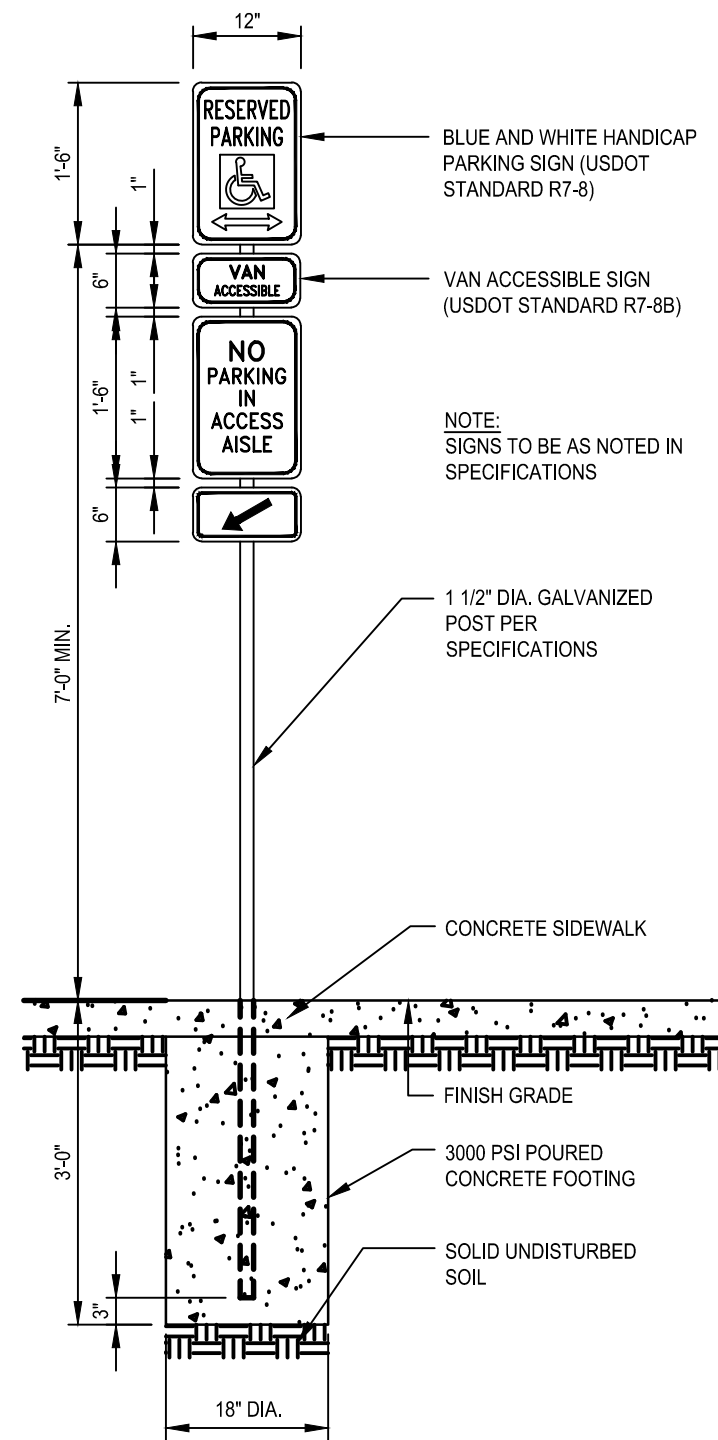
NOT TO SCALE



1. CROSSWALK STRIPING SHALL BE CENTERED ON THE SIDEWALK.
2. CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
3. CROSSWALKS ARE TO BE INSTALLED PERPENDICULAR TO THE STREET.
4. CROSSWALK PANELS SHALL BE PLACED PARALLEL WITH THE ROAD CENTERLINE.
5. ALL MARKINGS SHALL COMPLY WITH THE CURRENT EDITION OF THE MUTCD.

CROSSWALK STRIPING DETAIL

NOT TO SCALE

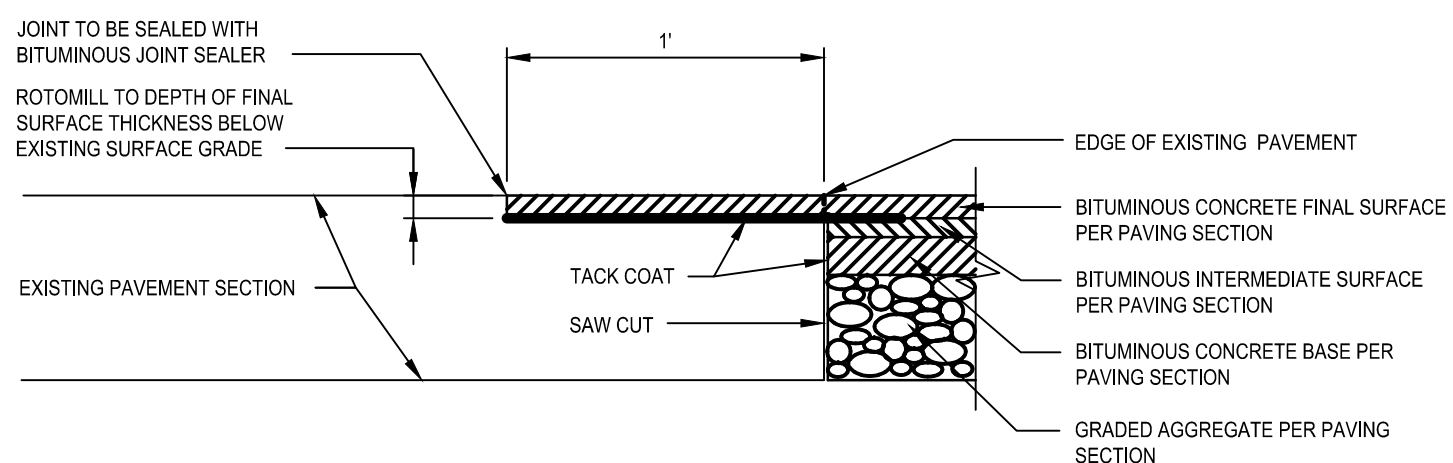


VAN ACCESSIBLE HANDICAP PARKING SIGNAGE - AT CURB

NOT TO SCALE

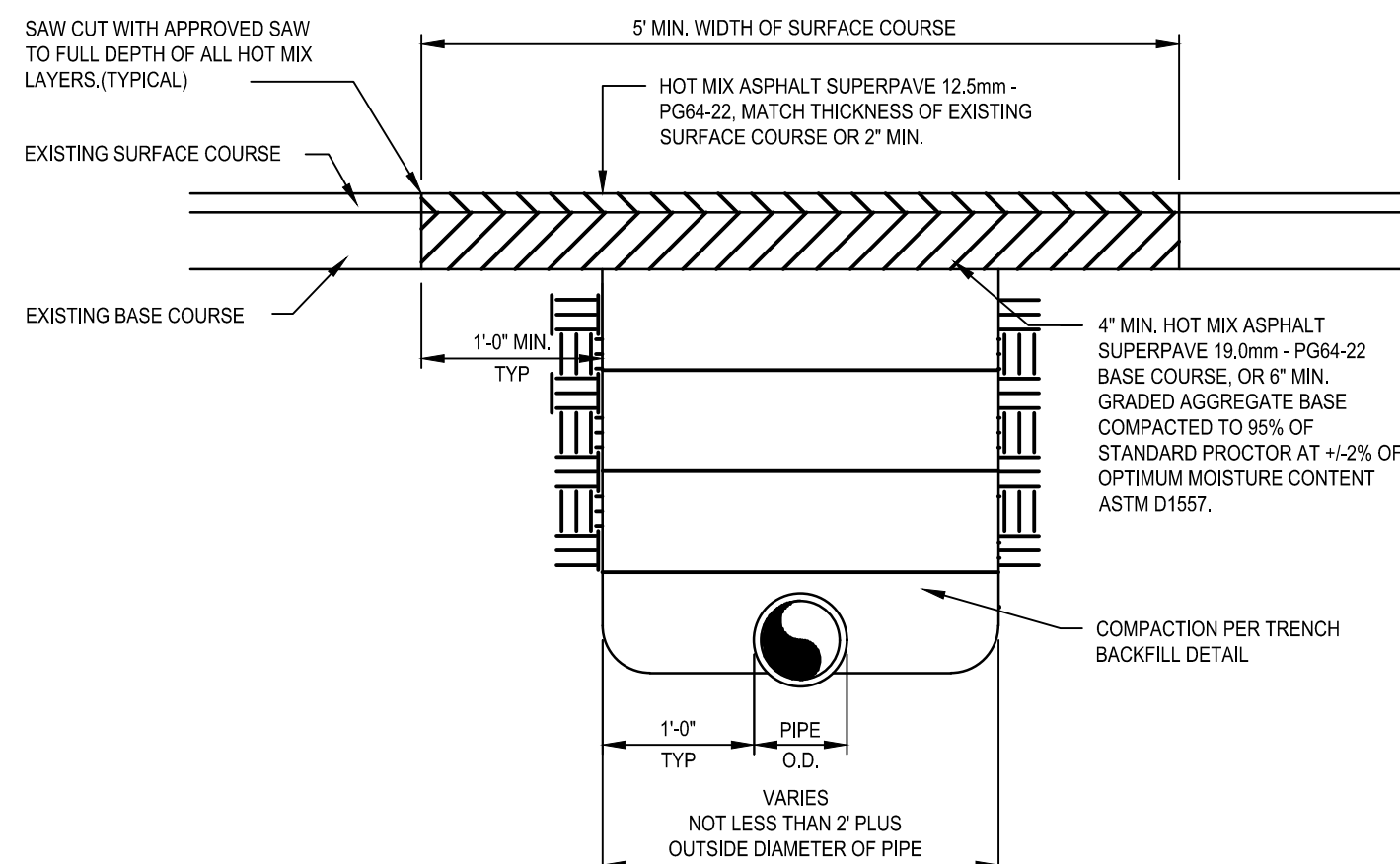
PORTLAND CEMENT CONCRETE MIXTURES						
MIX NO.	28 DAY SPECIFIED DESIGN COMPRESSIVE STRENGTH (PSI)	MIN. CEMENT FACTOR	COARGE AGGREGATE AASHTO M43 SIZE	MAX WATER CEMENT RATIO	SLUMP (IN)	TOTAL AIR CONTENT (%)
1	2500	455	57 OR 67	0.55	2-5	5-8
2	3000	530	57 OR 67	0.50	2-5	5-8
3	3500	580	57 OR 67	0.45	2-4	5-8
7	4200	611	57 OR 67	0.45	2-4	5-8

NOTE: STATE CERTIFIED CONCRETE MANUFACTURER.



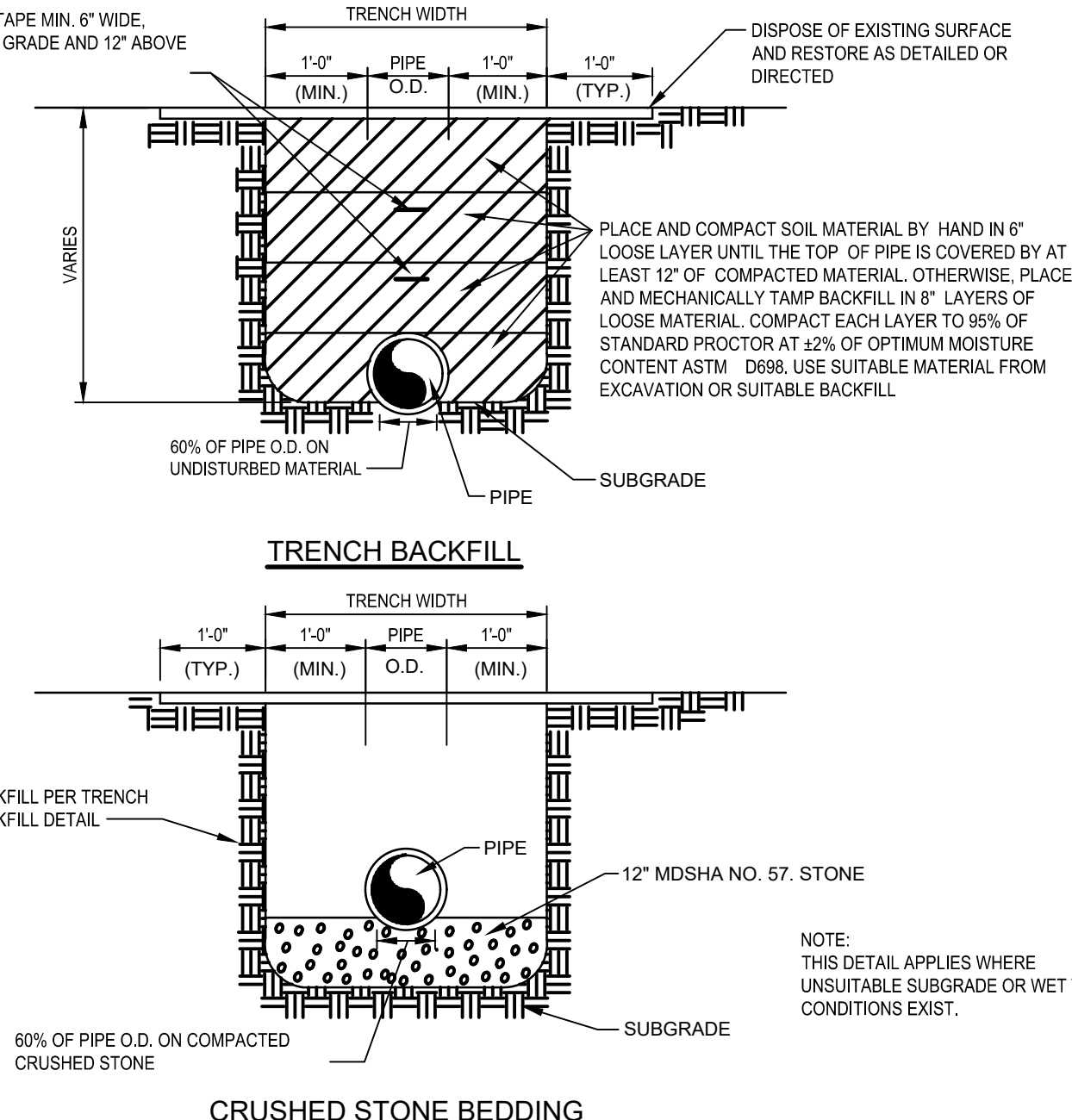
TYPICAL PAVEMENT TIE-IN FOR PRIVATE PROPERTY

NOT TO SCALE



CROSS-ROAD PAVEMENT RESTORATION DETAIL

NOT TO SCALE



TRENCH BACKFILL & PIPE BEDDING DETAILS

NOT TO SCALE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer in the laws of the State of Maryland License No. 31100 - Expiration Date: 01-21-27

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BALTIMORE, MARYLAND
410.770.1441

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

Date: JANUARY 2026
Scale: 1" = 30'
Dwn.By: ADM
Proj.No.: 4339A002

SITE DETAILS

Dwg.No.:

C201



SCALE: $1/4" = 1'-0"$

NOTES:

1. PROVIDE ACROSS THE LINE STARTING FIRE PUMP CONTROLLER RATED PER FIRE PUMP CAPACITY.
2. PROVIDE JOCKEY PUMP CONTROLLER RATED PER JOCKEY PUMP CAPACITY.
3. SCHEDULED FLOW, HEAD, AND HORSEPOWER ARE NOMINAL; ACTUAL FLOW, HEAD, AND HORSEPOWER SHALL BE BASED ON THE HYDRAULIC CALCULATIONS PERFORMED BY THE SPRINKLER CONTRACTOR IN ACCORDANCE WITH NFPA REQUIREMENTS.

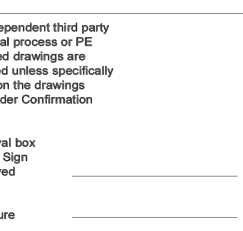
FIRE SUPPRESSION STORAGE TANK - FEST-1 - HIGHLAND TANK MODEL#300000AV5WHDPT10 ABOVE GROUND VERTICAL STORAGE TANK CONSTRUCTED PER NFPA 22; 30,000 GALLON CAPACITY, SINGLE WALL, CONSTRUCTION MADE FROM MIL CARBON STEEL; TANK TO BE 12'-6" Ø X 32'-9" H; TANK SHALL HAVE THE FOLLOWING: INTERNAL LADDER, 8" FLANGE WITH VORTEX BREAKER PUMP CONNECTION, 8" FLANGE WITH GOOSENECK (VENT), 2" Ø TAPPED DRAIN OPENING AT LOW POINT; 2" TAPPED OPENING FOR MANUAL FILL CONNECTION, 2" TAPPED OPENING FOR LOW LEVEL FLOAT DEVICE, 1" TAPPED OPENING FOR LOW TEMPERATURE PROBE, 2" Ø MANWAY WITH BOLTED AND GASKETED LID, EXTERNAL LADDER AND PLATFORM, INTERIOR COATING TANK COATING PER NFPA 22 AND EXTERIOR EPOXY COATING; INSTALL 2" DOMESTIC SERVICE WITH ASSE 1015 FPM BACKFLOW PREVENTER TO 2" Ø FILL CONNECTION ON TANK; FIRE PUMP ROOM SHALL BE CONSTRUCTED TIGHT TO THE FACE OF THE FIRE SUPPRESSION STORAGE TANK

NOTE: ALL RIGHTS RESERVED. THIS DRAWING MUST NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF HIGHLAND TANK®. HIGHLAND TANK® SHALL BE RESPONSIBLE ONLY FOR ITEMS INDICATED ON THIS FABRICATION DRAWING UNLESS OTHERWISE NOTED. CUSTOMER IS RESPONSIBLE FOR VERIFYING CORRECTNESS OF SIZE AND LOCATION OF FITTINGS, ACCESSORIES, AND COATINGS SHOWN ON THIS DRAWING.

TOUCH UP OF FINISHED PAINT IS REQUIRED BY INSTALLATION CONTRACTOR. TOUCH UP PAINT SHIPPED WITH TANK.

 <h1>Highland Tank®</h1>	
<h2>HighDRO® WATER STORAGE TANK</h2>	
30,000 GAL 12'-6" AV FIRE PROTECTION TANK	
CUSTOMER:	
PROJECT:	
QUOTE NO:	CHCD BY:
SCALE: (DATE)	DWG BY:
1/4"=1'-0"	30000AVSWDHP150

- INCLUDED OPTIONS:
4'-3"W X 2'-4 1/8"L X 5'-6"H EXTENSION.



SCALE: NONE

TABLE 1. *Continued*

[illegible]

SheltersDirect
8880 LAURELDALE DR. LAUREL, MD 20724
TOLL FREE: 1.800.865.5555
FAX: 301.517.8265
WEBSITE: www.sheltersdirect.com

SheltersDirect
88880 LAURELDALE DR. LAUREL, MD 20724
TOLL FREE: 1.800.466.5555
FAX: 301.317.8265
WEBSITE: www.sheltersdirect.com

TITLE:	11'-9" x 7'-9" ALUMINUM BUILDING
JOB NO.:	0110107
LOCATION:	MARDELA SPRINGS, MD
WCD NO.:	ALB812N1FC
COLOR:	CLEAR ANODIZED
DATE:	03.23.11
DRAWN BY:	CMS
APPROVED BY:	
SCALE:	1:48
SHEET:	2 of 2

**DAVIS
BOWEN &
FRIEDEL, INC.**

ARCHITECTS • ENGINEERS • SURVEYORS

BARTON, HARTLAND 410.770.4744

MILFORD, DELAWARE 302.424.1441

SALISBURY, MARYLAND 410.543.2091

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

[illegible]

Date:	JANUARY 2026
Scale:	AS SHOWN
Dwn.By:	ADM
Proj.No.:	4339A002

SITE DETAILS

Dwg.No.:

C202

DESCRIPTION

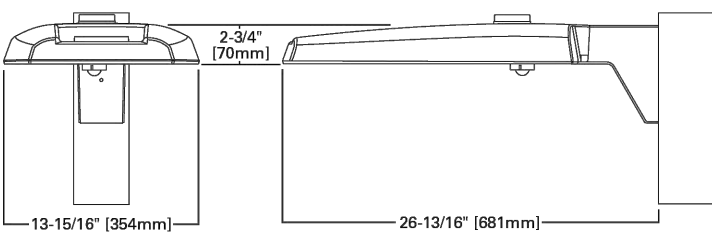
The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 62%, the Prevail fixture replaces 150-450W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

SPECIFICATION FEATURES

Construction
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136-31) to insure strength of construction and longevity in the selected application.

Optics
Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type I, III, IV and V distributions with lumen packages ranging from 6,100 to 16,900 nominal lumens. Light engine configurations consist of 1 or 2 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to 152,600,000 hours at 25°C per IESNA TM-21). For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

DIMENSIONS



EATON
Powering Business Worldwide

Catalog #	Type
Project	
Comments	Date
Prepared by	

Electrical
LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Thermal management incorporates both conduction and convection to transfer heat rapidly away from the LED source for optimal efficiency and light output. Class I electronic drivers have a power factor >80%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 10kV/10 kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options.

Controls
The Prevail LED luminaire control options are designed to be simple and cost-effective. ASHRAE and California Title 24 compliant solutions. The ANSI C136-41 compliant NEMA 7-PIN receptacle enables wireless dimming when used with compatible photocontrol. An integrated dimming and occupancy sensor is a standalone control option available in on/off (MSP) and hi-level dimming.

Finish
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

Warranty
Five-year warranty.

CERTIFICATION DATA
UL and cUL Wet Location Listed
3 Standard 4000K CCT and 10 CRI
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 and 60Hz,
347V/60Hz, 480V/60Hz
-40°C Minimum Temperature Rating
+40°C Ambient Temperature Rating

EPA
Effective Projected Area (Sq. Ft.): 0.75

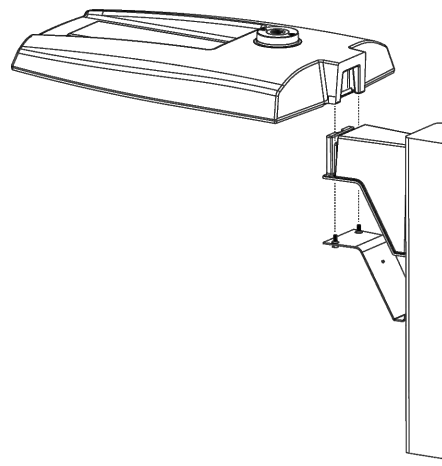
SHIPPING DATA
Approximate Net Weight:
20 lbs. (9.09 kgs.)

EATON
Powering Business Worldwide

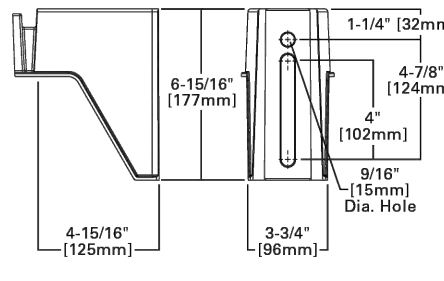
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Lumark

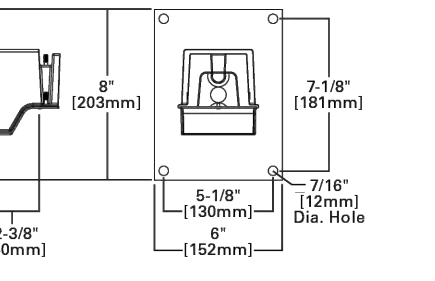
VERSATILE MOUNT SYSTEM



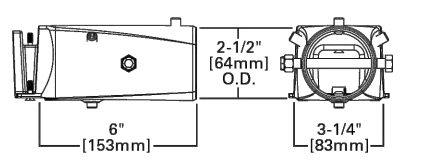
POLE MOUNT ARM



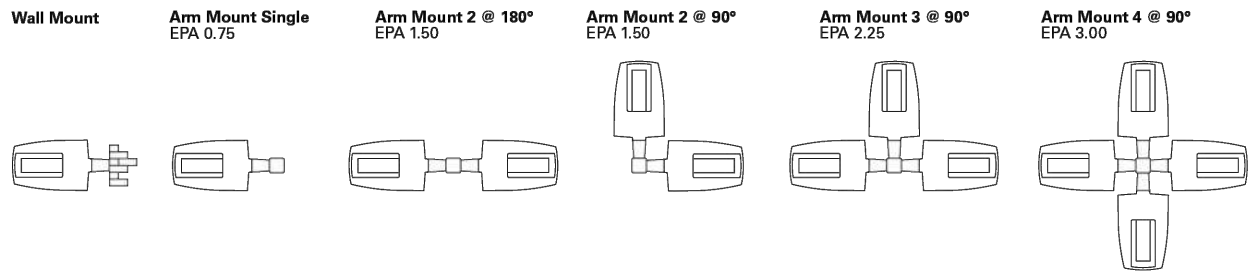
WALL MOUNT



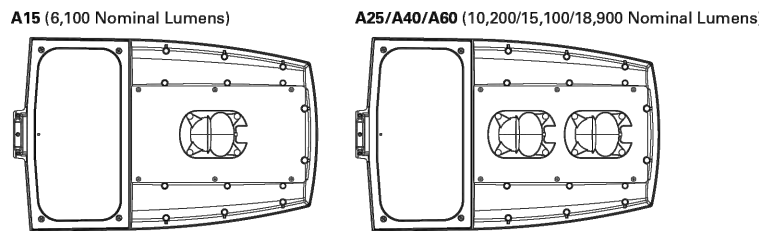
MAST ARM MOUNT



MOUNTING CONFIGURATIONS AND EPAS



OPTICAL CONFIGURATIONS



POWER AND LUMENS

Light Engine	A15	A25	A40	A60
Nominal Power (Watts)	57W	87W	143W	163W
Input Current @ 120V (A)	0.49	0.76	1.23	1.34
Input Current @ 277V (A)	0.22	0.35	0.54	0.60
Input Current @ 347V (A)	0.18	0.28	0.45	0.49
Input Current @ 480V (A)	0.13	0.21	0.33	0.35
Lumens	6,139	10,204	16,073	18,830
BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
Lumens	6,192	10,292	16,203	18,992
BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4
Lumens	6,173	10,261	16,157	18,935
BUG Rating	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5
Lumens	6,280	10,627	16,697	19,610
BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4

NOTE: Lumens output for standard bronze fixture color. Different housing colors impact lumen output. IES files for the non-standard colors are available upon request.

EATON
Powering Business Worldwide

Eaton
101 Highway 75 South
Piquette, MI 48670
P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

TD500018EN
May 18, 2018 11:58 AM

page 3

LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	100,000 Hours	Theoretical L70 Hours†
25°C	> 96%	> 93%	> 92%	> 280,000
40°C	> 96%	> 93%	> 92%	> 255,000
50°C	> 95%	> 92%	> 91%	> 250,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

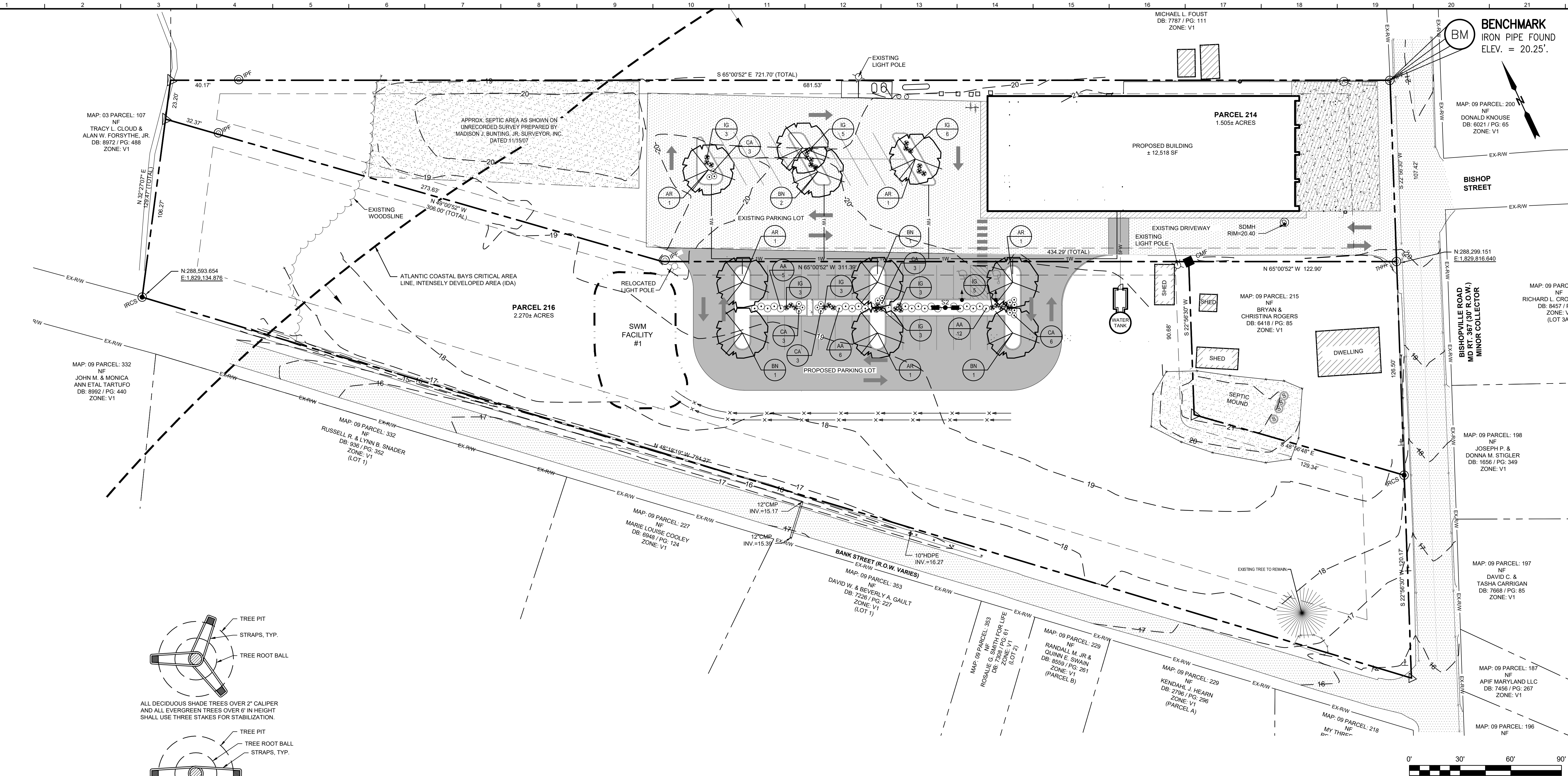
Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

ORDERING INFORMATION

Sample Number: PRV-A25-0-UNV-T3-SA-BZ

Product Family *	Light Engine *	Driver *	Voltage	Distribution	Mounting	Color *
PRV-Prevail	A15-1 LED 6,100 Nominal Lumens A25-2 LED 10,200 Nominal Lumens A40-2 LED 16,100 Nominal Lumens A60-2 LED 18,900 Nominal Lumens	D-Dimming (0-10V)	UNV-Universal (120-277V) 347-347V 480-480V *	T2-Type II T3-Type III T4-Type IV T5-Type V	SA-Standard Versatile Arm MA-Mast Arm WM-Wall Mount Arm	AP-Grey SB-Bronze (Standard) BK-Black DP-Dark Platinum GM-Graphite Metallic WH-White
Options (Add as Suffix)		Accessories (Order Separately) **				
7030-70 CRI / 3000K CCT *		PRVWM-XX-Wall Mount Kit				
7050-70 CRI / 5000K CCT *		PRVMA-XX-Mast Arm Mounting Kit				
10K-10kV/10kA UL 1449 Fused Surge Protective Device		PRVSA-XX-Standard Arm Mounting Kit				
LWL-LW-LumWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ***		H3-VERD-House Side Shield				
LWS-LW-LumWatt Pro Wireless Sensor, Narrow Lens for 12' - 40' Mounting Height ***		MA1010-XX-Single Tension Adapter for 3-1/2" O.D. Tension				
MSP/DMA12-Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height		MA1011-XX-2 @ 180° Tension Adapter for 3-1/2" O.D. Tension				
MSP/DMA120-Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height		MA1012-XX-3 @ 120° Tension Adapter for 3-1/2" O.D. Tension				
MSP-L12-Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height		MA1013-XX-4 @ 90° Tension Adapter for 3-1/2" O.D. Tension				
MSP-L120-Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height		MA1014-XX-2 @ 180° Tension Adapter for 3-1/2" O.D. Tension				
PER-NEMA 3-PIN Twistlock Photocontrol Receptacle *		MA1015-XX-2 @ 120° Tension Adapter for 3-1/2" O.D. Tension				
PST-NEMA 7-PIN Twistlock Photocontrol Receptacle *		MA1016-XX-2 @ 180° Tension Adapter for 3-1/2" O.D. Tension				
HSS-House Side Shield		MA1017-XX-Single Tension Adapter for 2-3/8" O.D. Tension				
HA-50°C High Ambient Temperature		MA1018-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
L90-Optics Rotated 90° Left		MA1019-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
R90-Optics Rotated 90° Right		MA1020-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1021-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1022-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1023-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1024-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1025-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1026-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1027-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1028-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1029-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1030-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1031-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1032-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1033-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1034-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1035-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1036-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1037-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1038-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1039-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1040-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1041-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1042-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1043-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1044-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1045-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1046-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1047-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1048-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1049-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1050-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1051-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1052-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1053-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1054-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1055-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1056-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1057-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1058-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1059-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1060-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1061-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1062-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1063-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1064-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1065-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1066-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1067-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1068-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1069-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1070-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1071-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1072-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1073-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1074-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1075-XX-4 @ 90° Tension Adapter for 2-3/8" O.D. Tension				
		MA1076-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				
		MA1077-XX-3 @ 120° Tension Adapter for 2-3/8" O.D. Tension				
		MA1078-XX-2 @ 180° Tension Adapter for 2-3/8" O.D. Tension				

P:\43394\3394-BISHOPVILLE VFD\43394\02-BISHOPVILLE VFD\CADD\3394\02-110-Landscape Planting.dwg, Jan 16, 2025 - 2:53pm mdt



TREE PLANTING DETAIL
NOT TO SCALE

SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPE NOTES:

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND THE ZONING DIVISION OF THE DEPARTMENT OF DEVELOPMENT, REVIEW AND PERMITTING.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
- LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
- ALL IMPERVIOUS SURFACES SHALL BE A MINIMUM OF 4 FEET AWAY FROM THE TRUNK OF ANY TREE.

SITE LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS		WATTS	MOUNTING	VOLTAGE
				QTY	TYPE			
S2	LED POLE MOUNTED LUMINAIRE, HEAVY DUTY CAST ALUMINUM HOUSING, BRONZE FINISH, TYPE 3 DISTRIBUTION, 120V POLE: 16 FT 6" SQUARE, BRONZE FINISH	EATON	PRVS-A40-UNV-T3	2	LED 15100 LUMEN 4000K	143	POLE MOUNT	120V

LANDSCAPE PLANT SCHEDULE

SYMBOL	NATIVE	KEY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	SIZE AT MATURITY	QUANTITY
	✓	AR	DECIDUOUS TREES				
		BN	ACER rubrum 'OCTOBER GLORY' BETULA nigra 'DURA HEAT'	OCTOBER GLORY RED MAPLE DURA HEAT RIVER BIRCH	1 1/2"-2" CAL., MIN. 10' HT., B&B 10'-12' HT., B&B, 3-5 MULTI-STEM	40'-50' HT. 30'-40' HT.	5 5
	✓	IG	EVERGREEN SHRUBS				
			ILEX glabra 'NIGRA'	NIGRA INK BERRY	18"-24", Cont.	2'-3' HT.	31
	✓	AA	DECIDUOUS SHRUBS				
		CA	ARONIA arbutifolia 'BRILLIANTISSIMA' CEANOTHUS americanus	BRILLIANT RED CHOKEBERRY NEW JERSEY TEA	24"-36", Cont. 18"-24", Cont.	6'-8' HT. 2'-3' HT.	23 18

SITE NOTES:

- NATIVE PLANTS (CODE ZSI-III-22 1-322, (b) (5):
REQUIRED 75% OF PLANTS INSTALLED TO BE NATIVE
PROVIDED 100% NATIVE
- LANDSCAPING IN PARKING AREAS (CODE ZSI-III-22 1-322, (f) (1):
REQUIRED 8 TREES = 47 SPACES / 6
(1 TREE PER 6 PARKING SPACES)
PROVIDED 10 TREES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer in the laws of the State of Maryland License No. 31100, Expiration Date: 9/1-21-27

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BALTIMORE, MARYLAND 410.343.9991
BETHESDA, MARYLAND 410.770.1441

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

Date: JANUARY 2026
Scale: 1" = 30'
Dwn.By: ADM
Proj.No.: 4339A002

LANDSCAPE & LIGHTING PLAN

Dwg.No.:
L101

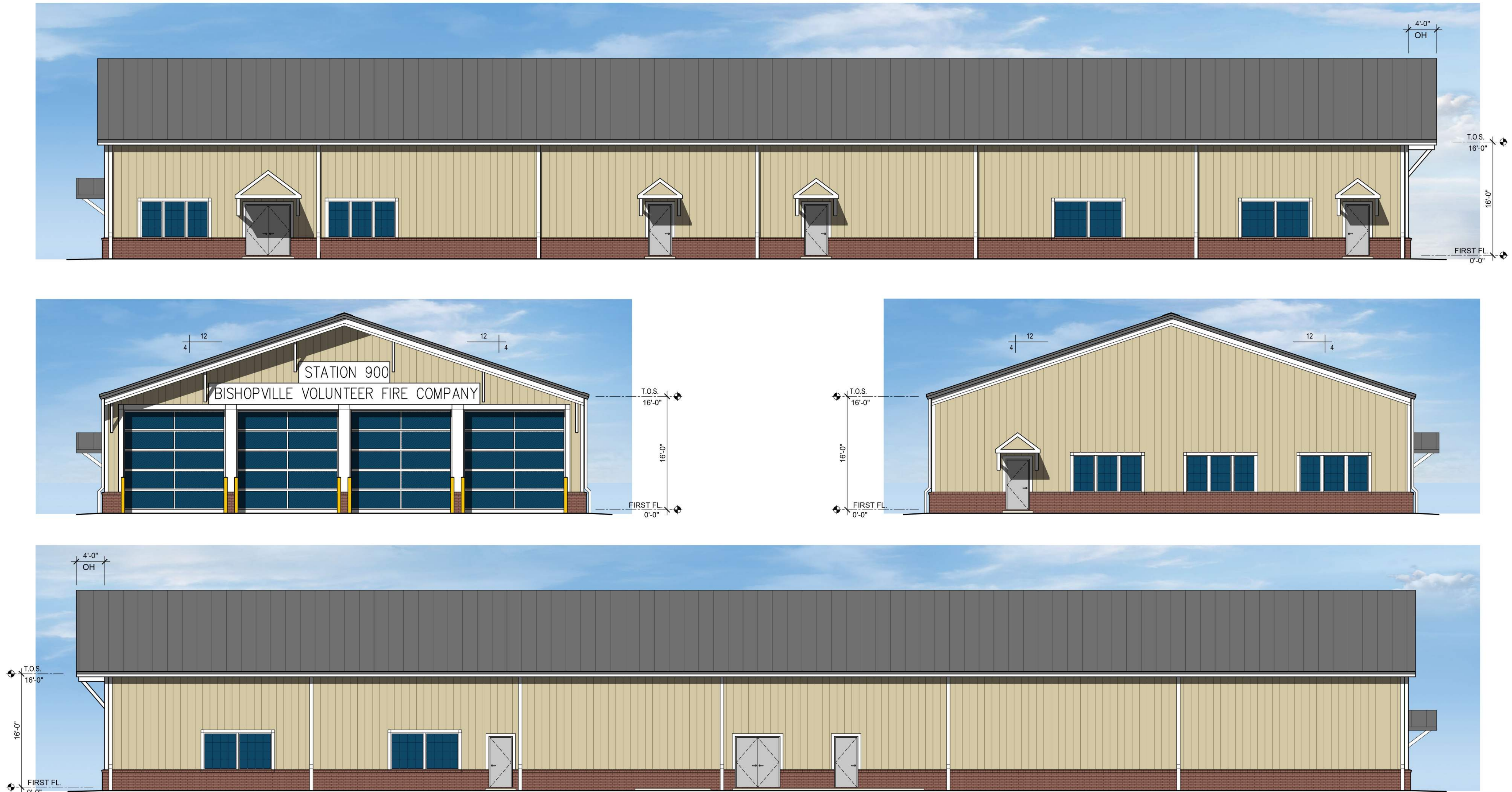
BISHOPVILLE VFD
MAIN STREET (RT. NO. 367)
BISHOPVILLE, MARYLAND 21811

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Due:	MAY 2, 2025
File:	AS NOTED
By:	WLN/EHC
Proj. No.:	4339A001.A01

PROPOSED BUILDING ELEVATIONS

g.No.:
A-201



OPTION 1

PROPOSED BUILDING ELEVATIONS

1/8" = 1'-0"

BISHOPVILLE VFD
MAIN STREET (RT. NO. 367)
BISHOPVILLE, MARYLAND 21811

[illegible]

Due:	MAY 2, 2025
File:	AS NOTED
By:	WLN/EHC
Proj. No.:	4339A001.A01

PROPOSED BUILDING ELEVATIONS

g.No.:
A-201



OPTION 3

PROPOSED BUILDING ELEVATIONS

$$1/8'' = 1'-0''$$



Worcester County

Department of Environmental Programs

January 28, 2026

Worcester County Planning Commission
Worcester County Courthouse
1 West Market Street, Room 1201
Snow Hill, MD 21863

RE: Transmittal-Comprehensive Water and
Sewerage Plan Amendment –Riddle Farm
Sanitary Area – Expansion of Water/Sewer
Planning Area
TM 26 Parcels, 133, 136, 137, 256, 383, and
471)
(SW-2026-1)

Dear Commissioners:

We are writing to forward the proposed *Worcester County Comprehensive Water and Sewerage Plan (The Plan)* amendment to revise the water and sewer planning areas for the Riddle Farm Sanitary Area in *The Plan*, for your review and comment to the County Commissioners.

Mr. Hugh Cropper is the applicant, on behalf of multiple property owners. This amendment seeks to reclassify the sewer and water planning areas for two adjacent properties from S-6/W-6 (no planned service) to S-1/W-1 (within two years) and include in the Riddle Farm sewer and water planning area information in *The Plan*.

The applicant is requesting a change in the water and sewer service classifications in order to provide for eventual public service of water and sewer for a group of developed commercial properties. The subject properties are located on Ocean Gateway (MD Route 50), west of Herring Creek. The properties are more specifically identified on Tax Map 26 as Parcels 133, 136, 137, 383, 471, and 256. The currently developed properties service a mix of existing commercial uses and are served by existing well and septic systems. The applicant understands that there does not exist sewer capacity to service these properties at the present time but would like to apply for such service when it becomes available.

The applicant would eventually access public water and sewer infrastructure via the east entrance to the Glen Riddle Community. If a previously approved amendment for the Riddle-Mystic water inter-connection under Herring Creek proceeds to construction, that could be an alternative water connection, subject to Department of Public Works approval. Any developer-constructed infrastructure

Citizens and Government Working Together

January 28, 2026

will be built under a Public Works agreement and will be turned over upon inspection and acceptance of the construction and materials by County personnel.

Other than the subject properties, this amendment does not seek to amend or intensify the planning areas approved in prior amendments with respect to the mapped planning areas.

The Planning Commission is tasked by Section 1.4 of *The Plan* (“Procedures for Plan Amendments”) to make a finding as to whether this amendment would be consistent with The Comprehensive Plan. The Planning Commission may also submit its project comments and recommendations. The findings and comments will be submitted to the County Commissioners. The County Commissioners will hold a public hearing and then take action on the proposal.

Comprehensive Plan Policies

The Comprehensive Plan assigns one land use designation for this properties within this proposed amendment for the Riddle Farm water and sewer planning area. This designation is:

1. Commercial Center

Commercial Center Areas are defined (p. 16) as follows:

- This category designates sufficient area to provide for anticipated needs for business, light industry, and other compatible uses.
- Retail, offices, cultural/entertainment, services, mixed uses, warehouses, civic, light manufacturing and wholesaling would locate in commercial centers

The Comprehensive Plan goes on to state:

Chapter One, “Introduction” states:

- Provide for adequate public services to facilitate the desired amount and pattern of growth (p.8).

Chapter Three, “Natural Resources” states:

- Provides a goal that Worcester County recognizes the value of and is committed to conservation and protection of the following natural resources (...) clean surface and ground water (p.33).
- Worcester County recognizes the value of and is committed to conservation and protection of the following natural resources...clean surface and ground water (p. 33).
- Improve water bodies on the “Impaired Water Bodies (303d) List” to the point of their removal from this list (p. 33).

Chapter Three, “TMDLs” states:

- “all reasonable opportunities to improve water quality should be undertaken as a part of good faith efforts to meet the TMDL standards.” (p.36)

Chapter Six, “Public Infrastructure” states:

- Consistent with the development philosophy, facilities and services necessary for the health, safety, and general welfare shall be cost effectively provided (p.70).
- Require new development “pay its way” by providing adequate public facilities to meet the infrastructure demand it creates (p.70).

January 28, 2026

- Plan for efficient operation, maintenance, and upgrades to existing sanitary systems as appropriate (p. 73).
- Provide for the safe and environmentally sound water supply and disposal of wastewater generated in Worcester County (p.73).
- Sewer systems should be sized to serve their service areas' planned for land uses (p. 74).

Zoning

The current Riddle Farm *Planning Area* has already been approved under various amendments and is appropriately zoned for the current and proposed uses planned for the existing sanitary area properties, including the subject properties. The proposed expansion properties, which total approximately 27 acres in area, have a single zoning designation. They carry a C-2 (General Commercial District) designation. This zoning district is intended to provide for more intense commercial development serving populations of three thousand or more within an approximate ten-to twenty-minute travel time. From the Zoning Ordinance, these commercial centers have a higher parking demand and possess greater visibility. The existing uses on these properties are permitted in this zoning district.

Staff's Comments

Staff comments are submitted below for your consideration.

1. The Riddle Farm WWTP does not have at this time adequate available sewer capacity to handle this addition. Applicants are aware of this and are pursuing this amendment to prepare for the time when they can acquire additional capacity to serve their existing developed and occupied commercial properties and perhaps expand or intensify their businesses.
2. The *Planning Area's* comprehensive plan designation and zoning permits the existing uses. Any construction in the *Planning Area* would be required to meet the provisions of the storm water program and other local and state regulatory requirements.
3. This proposal, while expanding the water and sewer planning areas, would require the expansion of sewer treatment facilities and connection to existing water mains and sewer collection systems. Additional public infrastructure expenses for the water main and sewer collection system extensions and any additional infrastructure additions will be constructed or funded by the applicant and turned over to the county. Connections to existing water and sewerage facilities, when they occur, are expected to eventually be completed through the east gate of the Glen Riddle community.
4. The properties are currently served by onsite sewage systems of various ages and conditions. The negative effects of continuing to serving existing commercial development with onsite sewage would be addressed with service from the Riddle Farm WWTP, a plant with exceptional Enhanced Nutrient Reduction (ENR) capability and a land application discharge utilizing spray irrigation.
5. *The Plan* states that proposed amendments must be consistent with *The Comprehensive Plan* and existing zoning classifications. As proposed, the project appears to be consistent with *The Comprehensive Plan* and existing zoning. If you need further information, please contact us.

Riddle Farm WS Amendment Case SW 2026-01

January 28, 2026

If you need any additional information or have any questions, please do not hesitate to contact me at (410) 632-1220.

Sincerely,

A handwritten signature in black ink, appearing to be "RJM", with a stylized flourish extending to the right.

Robert J. Mitchell, LEHS, REHS/RS
Director

Attachments



cc: WS Amendment File (SW 2026-01)

Attachment 1

MAPS

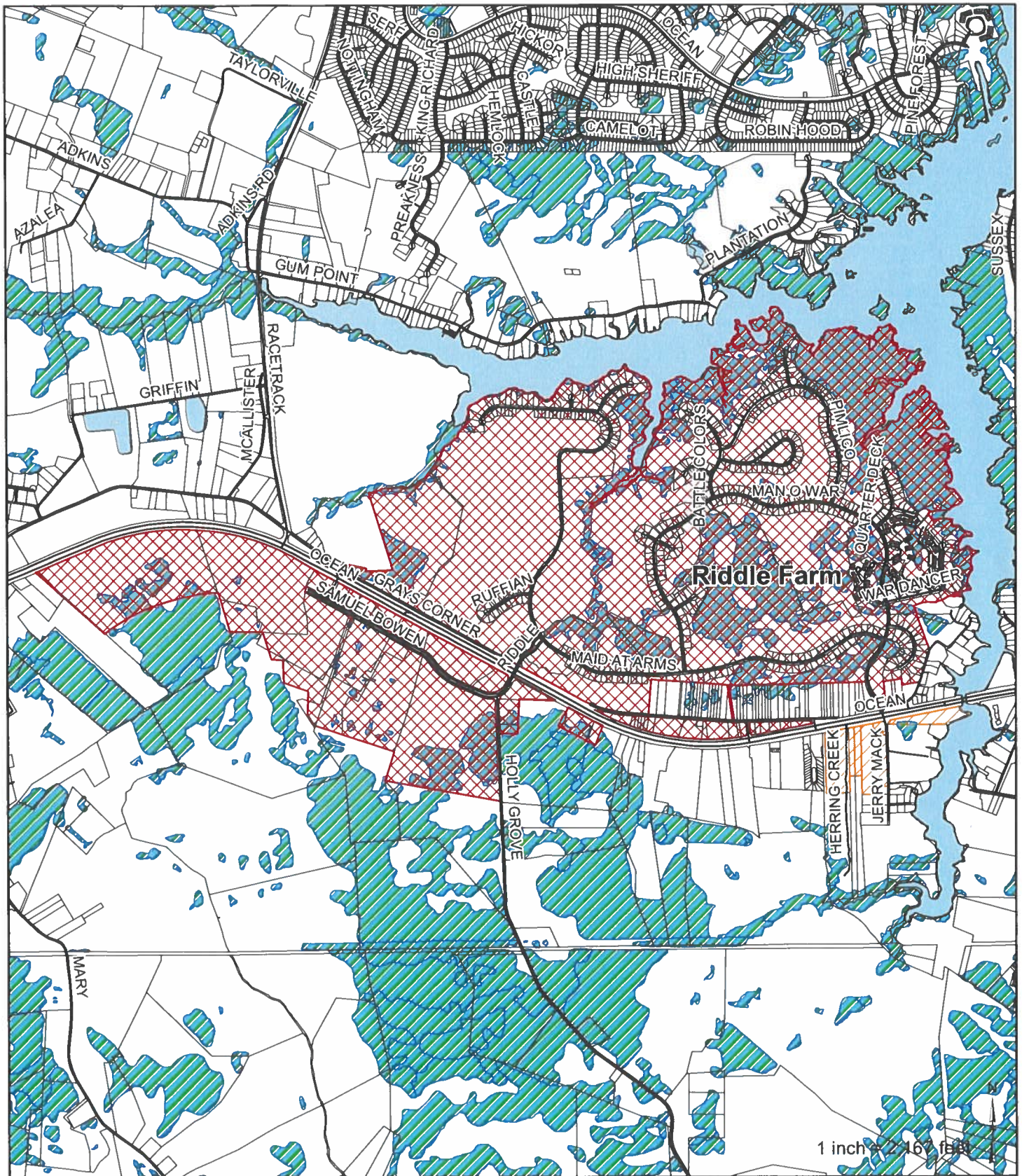


Sanitary Areas

-  Riddle Farm, Existing Sewer Sanitary Area
-  Riddle Farm, Proposed Sewer Planning Area Expansion




Planning Area Expansion Riddle Farm





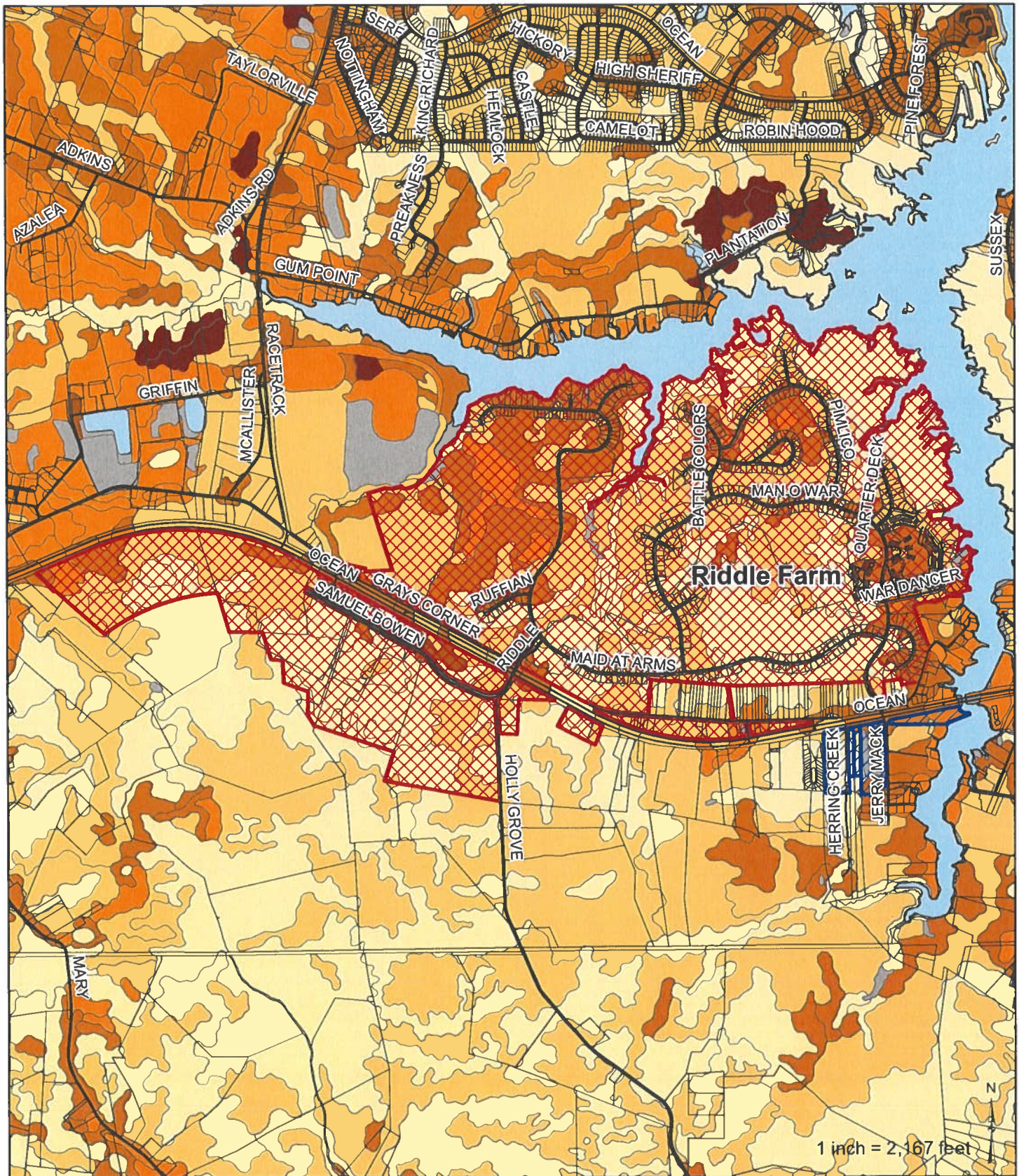
1 inch = 216 feet

Wetland Areas

-  Riddle Farm, Existing Sanitary Area
-  Riddle Farm, Proposed Planning Area Expansion
-  Wetlands



Planning Area Expansion Riddle Farm

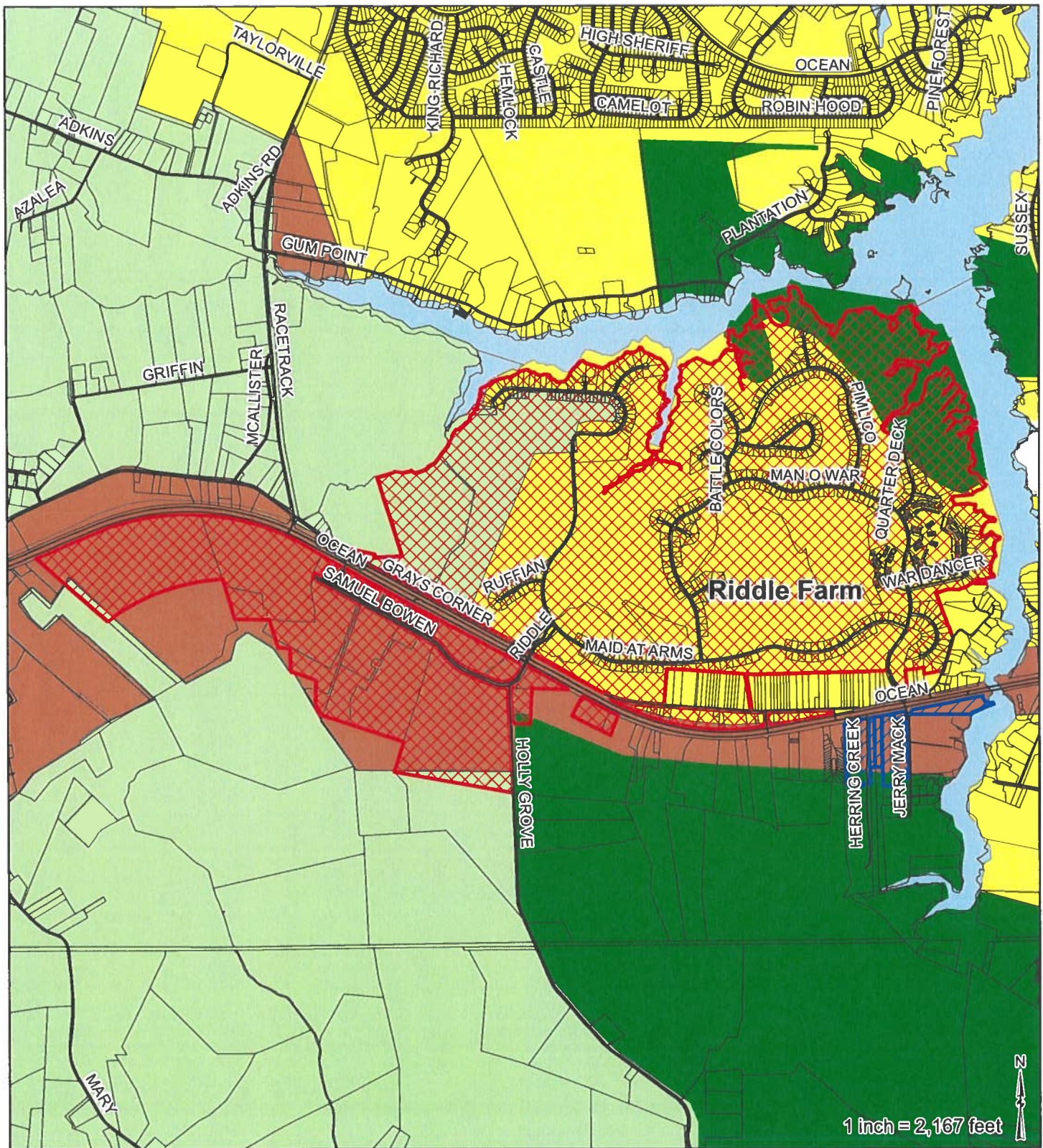


Soils

- | | | | |
|---|---|---|------------------------------|
|  | Riddle Farm, Existing Sanitary Area |  | Well drained |
|  | Riddle Farm, Proposed Planning Area Expansion |  | Moderately well drained |
|  | Urban |  | Somewhat excessively drained |
|  | Very poorly drained |  | Excessively drained |
|  | Poorly drained | | |



Planning Area Expansion Riddle Farm

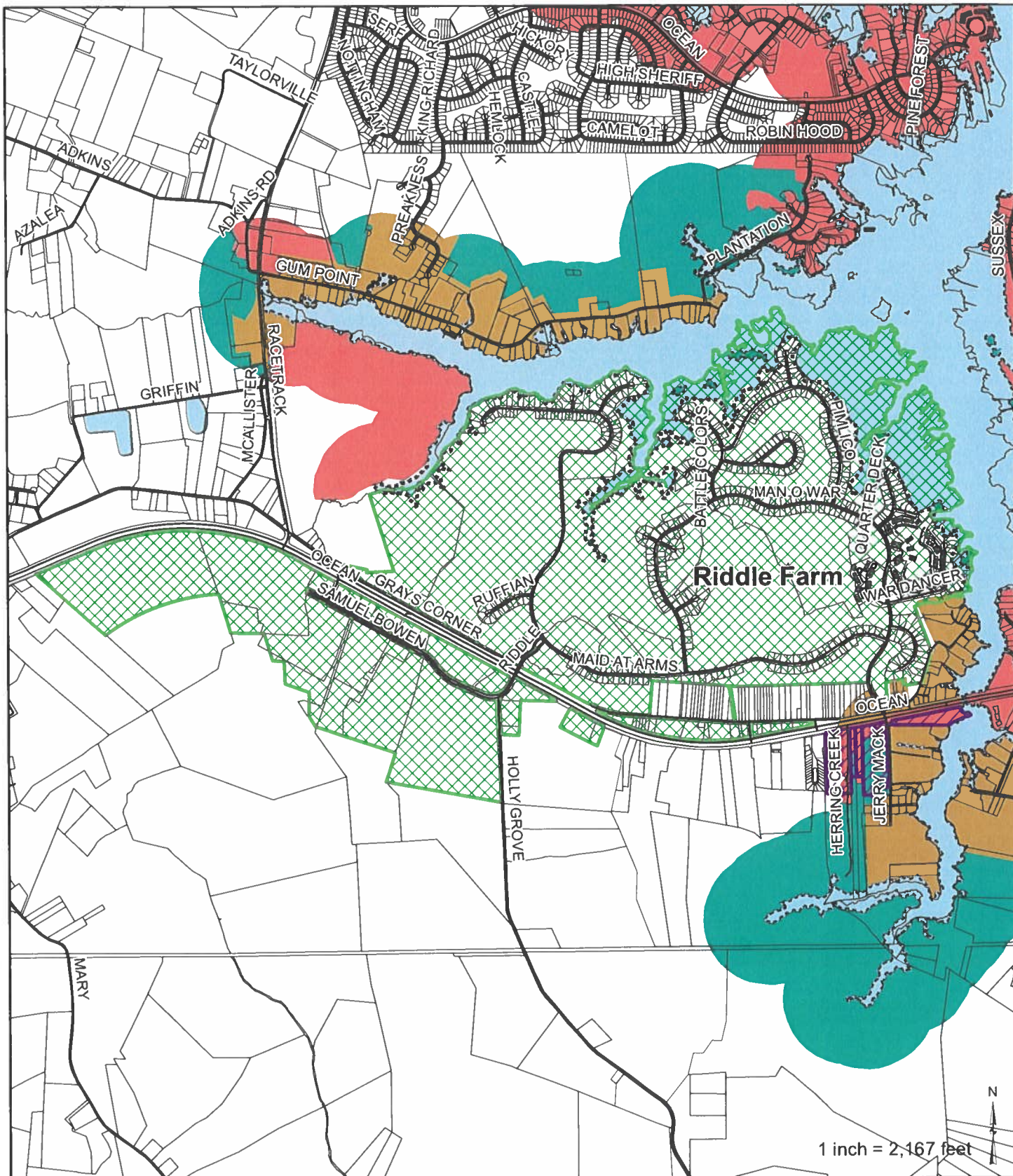


Planning Area Expansion Riddle Farm





Land Use




- | | |
|---|--|
|  Riddle Farm, Existing Sewer Planning Area |  Existing Developed Centers |
|  Riddle Farm, Proposed Planning Area Expansion |  Green Infrastructure |
|  Agriculture |  Waterway (rivers, streams, creeks) |
|  Commercial Center | |





Critical Area

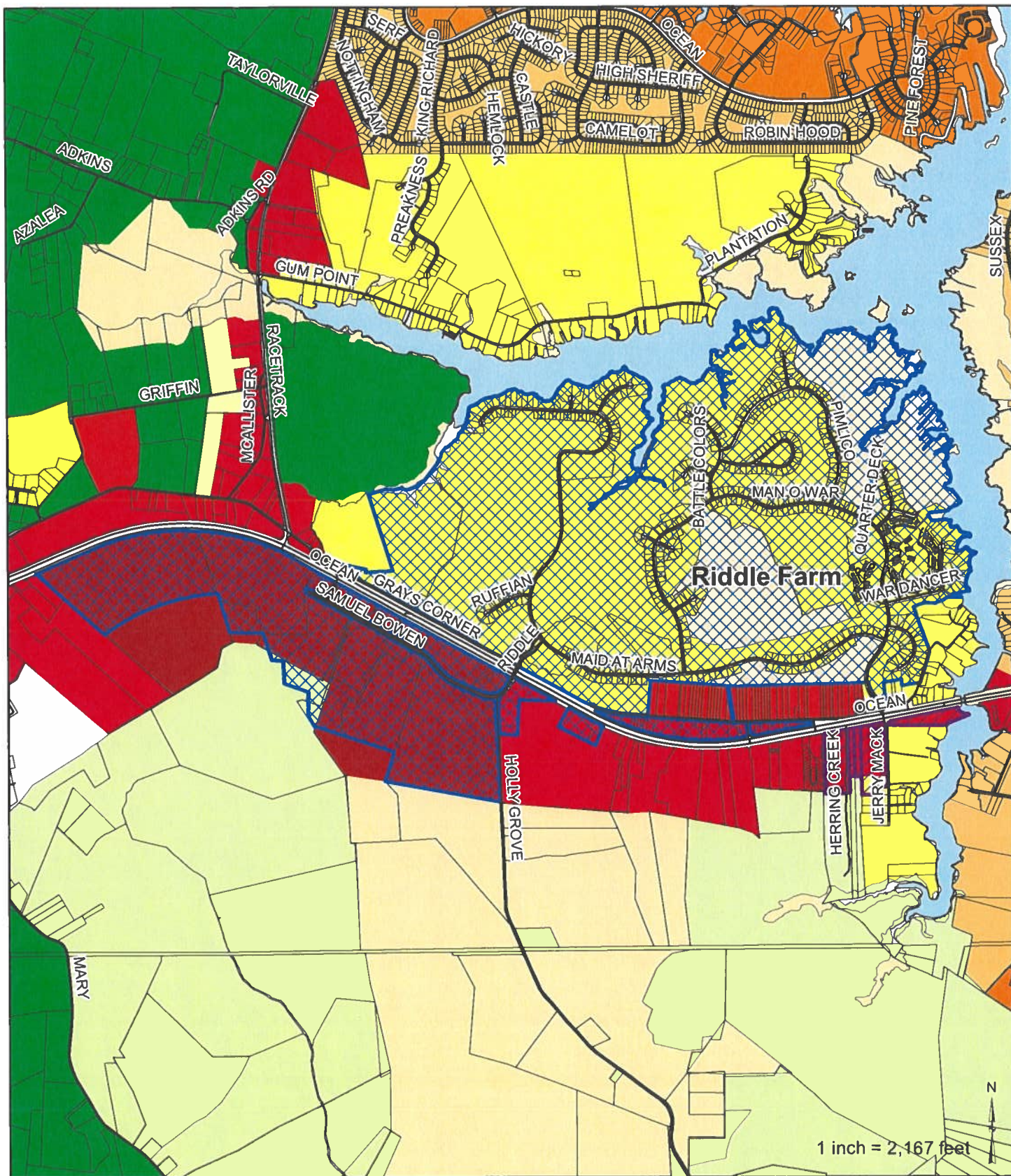
-  Riddle Farm, Existing Sewer Planning Area
-  Riddle Farm, Proposed Planning Area Expansion
-  IDA- Intensely Development Areas
-  LDA- Limited Development Areas

-  RCA- Resource Conservation Areas
-  Tidally Influenced Areas
-  Out of Program

Planning Area Expansion



Riddle Farm



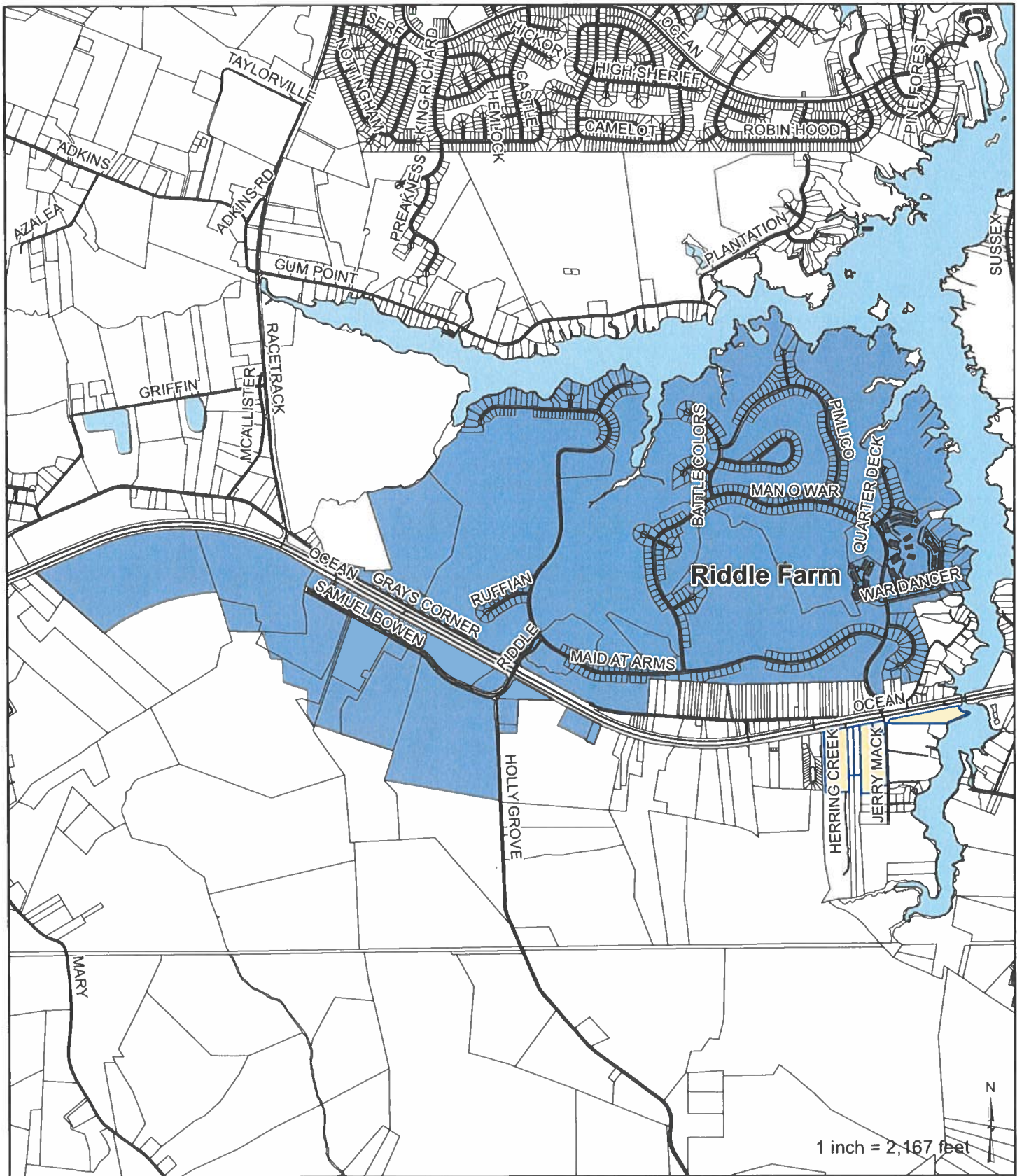
Zoning Areas

	Riddle Farm, Existing Planning Area		C2		R2
	Riddle Farm, Proposed Planning Area Expansion		C3		R3
	A1		E1		R4
	A2		R1		RP

Planning Area Expansion

Riddle Farm





Sanitary Service Areas

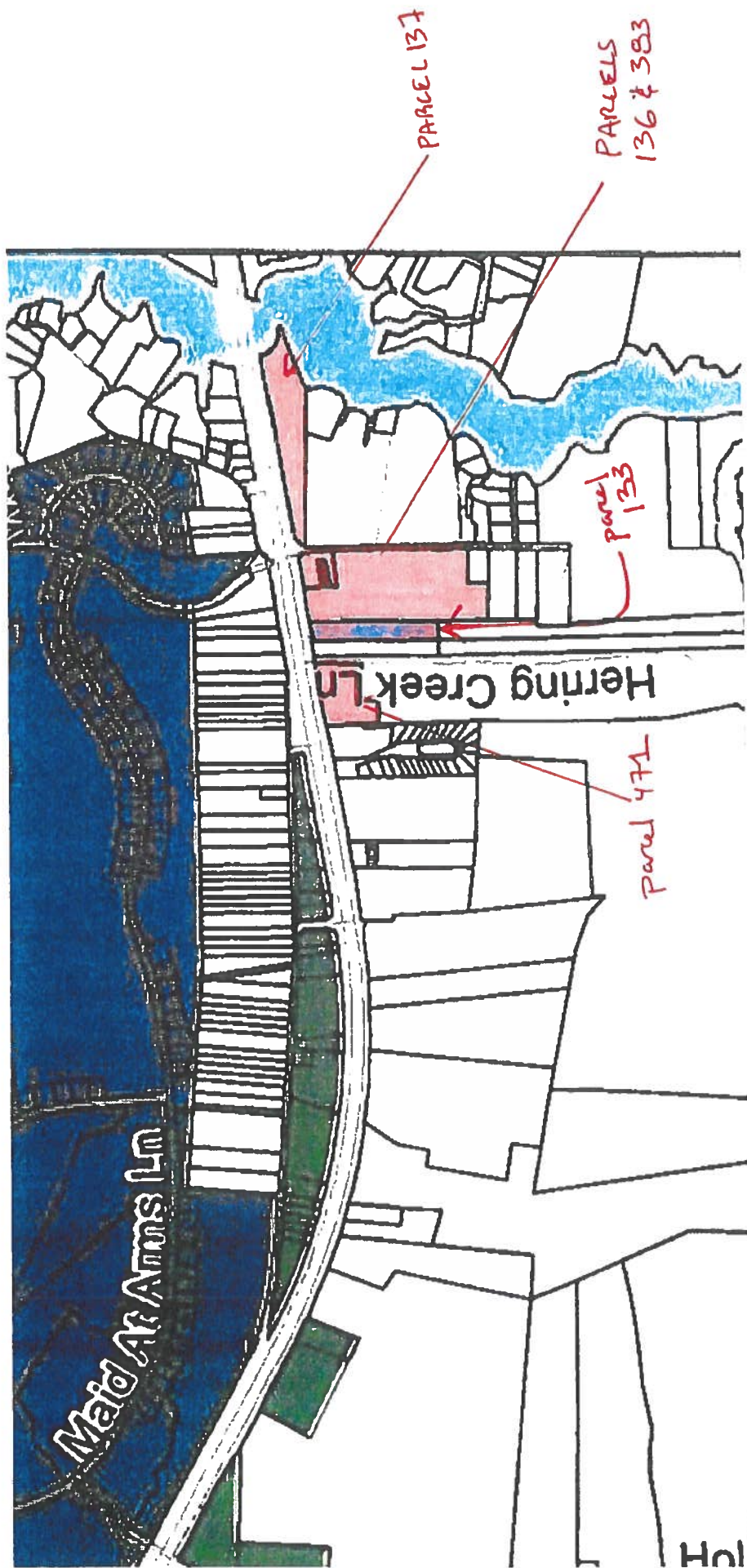
- Riddle Farm, Existing Water Sanitary Area
- Riddle Farm, Proposed Sanitary Area Expansion



Water Sanitary Service Area Riddle Farm

Attachment 2

APPLICANTS MAPS



PETITION AREA (WATER & SEWER)

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at <http://planning.maryland.gov/Pages/OurProducts/OurProducts.aspx> (<http://planning.maryland.gov/Pages/OurProducts/OurProducts.aspx>).

