

WORCESTER COUNTY PLANNING COMMISSION AGENDA

Thursday, February 5, 2026

**Worcester County Government Center
One West Market St., Room 1102
Snow Hill, Maryland 21863**

The public is invited to view this meeting live: <https://worcestercountymd.swagit.com/live>

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order (1:00 p.m.)

II. Administrative Matters

- A. Planning Commission Meeting Minutes – January 8, 2026
- B. Board of Zoning Appeals Agenda – February 12, 2026
- C. Technical Review Committee Agenda – February 11, 2026

III. Site Plan Review

A. Major Site Plan Review – Bishopville Volunteer Fire Department

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Bishopville, MD 21813.

IV. Amendment of the Comprehensive Plan for Water and Sewerage System, Worcester County, Maryland

Request to expand the water and sewer planning areas for the Riddle Farm Sanitary Service Area to include multiple commercial properties on the south side of Route 50 (Ocean Gateway), west of Herring Creek, to include Parcels 133, 136, 137, 383, 471, and 256 of Tax Map 26), Hugh Cropper, applicant; on behalf of multiple property owners. Case No. SW 2026-01.

V. Adjournment

**WORCESTER COUNTY PLANNING COMMISSION
MEETING MINUTES – January 8, 2026**

Meeting Date: January 8, 2026

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission

Jerry Barbieri, Chair
Phyllis Wimbrow, Vice Chair
Marlene Ott
Alec French

Staff

Jennifer Keener, Director, DRP
Matt Laick, Deputy Director, DRP
Kristen Tremblay, Zoning Administrator, DRP
Ben Zito, DRP Specialist, DRP

I. Call to Order

II. Administrative Matters

A. Review and approval of minutes, December 4, 2025.

As the first item of business, the Planning Commission reviewed the minutes of the December 4, 2025, meeting.

Following the review, a motion was made by Ms. Ott to approve the minutes as written. Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

B. Board of Appeals Agenda, January 8, 2026.

As the next item of business, the Planning Commission reviewed the agenda for the Board of Zoning Appeals meeting scheduled for January 8, 2026. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Board.

C. Technical Review Committee Agenda, January 14, 2026.

As the next item of business, the Planning Commission reviewed the agenda for the Technical Review Committee meeting scheduled for January 14, 2026. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Committee.

III. Waivers

A. Delmarva Aces Expansion – Waiver for Automatic Landscape Irrigation System

Ms. Geri Votta of Delmarva Aces approached the table.

Ms. Votta explained that the site plan originally approved by the Planning Commission on May 1, 2025 proposed an automatic landscape irrigation system for the required landscaping, and that due to budgetary constraints, she was seeking a waiver. She stated that the landscaping will be maintained by Delmarva Aces staff manually, rather than an automatic irrigation system.

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Following a discussion, a motion was made by Ms. Wimbrow to grant a waiver for the automatic landscape irrigation system. Ms. Ott seconded the motion, and the motion carried with no opposition.

B. Delmarva Aces Expansion – Waiver for Vehicular Travelway Material (Gravel)

Ms. Geri Votta of Delmarva Aces remained at the table.

Ms. Votta explained that the site plan originally approved by the Planning Commission on May 1, 2025 proposed asphalt throughout all the proposed parking and vehicular travelways.

Ms. Votta explained that the development was to be done in two phases – the first being the building expansion, and the second being the outdoor ball fields. She explained that if all the parking and travelways were paved during the first phase, the pavement would need to be removed and then re-paved again during construction of the second phase. She believed, therefore, that it was best to temporarily use gravel until the second phase was completed, at which time the gravel will be paved over.

Following a discussion, a motion was made by Mr. French to grant a waiver for the vehicular travelway material. Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

IV. Site Plan Review

Mr. Eric Jones from Vista Design, Inc. approached the table.

Mr. Jones explained the site plan went before the Planning Commission in November 2023. The Planning Commission approved the site plan as submitted (subject to minor revisions), and the Planning Commission also granted waivers for gravel driveways and landscaping. Additionally, the Planning Commission granted eleven (11) waivers from the *Design Guidelines and Standards for Commercial Uses* (“Design Guidelines”) for the building.

Mr. Jones explained that the Planning Commission’s approval of the site plan in November 2023 expired, and the applicants resubmitted the site plan with the same site plan and Design Guidelines waivers.

Following a discussion, a motion was made by Ms. Ott to grant a waiver to the following site plan waivers:

- §ZS 1-320(f)(1): All parking areas and vehicular travelways shall be constructed of materials that provide a hard and durable surface that precludes or limits particulate air pollution.
- §ZS 1-322(e)(4)(C): Landscape screening
- §ZS1-322(b)(7): Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors.

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Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

Following a discussion, a motion was made by Ms. Ott to approve all of the waivers from the *Design Guidelines and Standards for Commercial Uses* that were outlined in the Planning Commission's Staff Report.

Ms. Wimbrow seconded the motion, and the motion carried with no opposition.

V. Text Amendment - ZS 1-351(b)(5): Off-Street Parking Requirements for Short-Term Rentals

Ms. Christy Agnese, applicant, was present for the review. Ms. Agnese stated that she is seeking to change § ZS 1-351(b)(5) to change the effective date of the third parking space provision from January 1, 2020, to January 1, 2026. She noted that the language was developed in conjunction with county input to attempt to resolve an issue that the Landings community was facing for those who built homes post-2020 and had short-term rental licenses revoked. She highlighted key points from the detailed letter that was submitted with the application. She explained her process in purchasing the townhouse unit and applying for a short-term rental license.

Ms. Agnese claims that enforcement and code interpretation pertaining to the third parking space provision changed last summer, which resulted in short-term licenses being revoked within their community. She stated that this is financially impactful, as many rely on short-term rental income to make homeownership a reality. It was her opinion that for five years (between 2020 and 2025) short-term licenses were issued in several communities on the assumption that community parking met the third parking space requirement. A site plan with the overall parking layout for the community was provided as part of her short-term rental license application. Submitted as Applicant's Exhibit No. 1 were emails between her and the developer, and between her and the former Rental License Program Coordinator. While she alleges that this parking plan justifies the availability of a third parking space, there is no indication in the emails that this was a consideration. Staff state in the staff report that the licenses were issued in error.

Ms. Agnese stated that this is an economic hardship, that losing income threatens financial stability and property values. She claimed that everyone who built in the Landings believed that they could participate in short-term rentals if they wanted to. She said that there were 25 short-term rental licenses active in the Landings, and 18 affected properties with post-2020 builds. She claimed that this matter also affected Sea Oaks Village (staff note: Sea Oaks Village was not issued licenses in error). Within the townhouse parcels in the Landings, Ms. Agnese noted that there are 66 non-exclusive parking spaces over the minimum required.

Overall, she stated that requiring exclusive spots within the townhouse community parking, or having single-family homeowners build a third parking space on their lot creates financial hardship and places a burden on the homeowner's association. It also affects potential

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homeowners who cannot make a financial decision without knowing that spaces have been assigned. She recommended that every home be built to require the third space or not. In closing, she stated that updating the effective date to January 1, 2026, restores fairness, and gives those whose licenses were revoked the ability to restore their short-term rental licenses. She would like to see more education and deeded third parking spaces so that homeowners know what they are purchasing.

For clarification, Mr. Barbieri noted that text amendments apply county wide, and are not geared towards a particular community, so they must keep that in the back of their minds.

Upon questions from the Planning Commission, staff clarified that the rental licenses were issued in error, not because of a change in the interpretation. The licenses that were issued to the single-family homes had no third parking space provided on the respective lot. Staff believe that the code provision was simply overlooked, because the policy for community space allocation for multi-family/ townhouse units was first established with the Sea Oaks Village development. The developer opted to build additional community parking to be able to accommodate 15 short-term rental licenses, though there were more homeowners that wished to rent short-term. The error in the application of the law affected 10 licenses in the Landings that were revoked, 8 single-family lots that were able to permit a third parking space, and 10 licenses in Seaside Village that were revoked. Within the Landings townhouse parcels, there are non-exclusive parking spaces available, but not enough for every unit to be assigned a third space. There had been discussions over the past few months on whether and how the homeowners/ condominium association would be willing to allocate the non-exclusive spaces, and ultimately, they decided not to.

Upon a question by Mr. French, staff confirmed that this amendment would not override a community's ability to prohibit short-term rentals as part of their declarations and covenants. Mr. French voiced concerns about the potential that the language as written could open the door to additional rental licenses beyond just the 20 that were revoked, where someone who didn't have a license previously could take advantage of an opportunity that hadn't existed. He acknowledged that it was a mistake that was relied on by these homeowners.

Mr. Barbieri explained that a lot of work went into the legislation in 2019. With his background in emergency services, he's concerned about accessibility to short-term rental areas and blocking emergency access with street parking. He stated that in his opinion, we shouldn't go backwards. He is sorry that this situation happened, but he couldn't vote in support of the amendment.

Upon several questions from the Planning Commission, staff confirmed that a variance couldn't be requested for this situation, nor could we simply grandfather those whose licenses were revoked because they were issued in error. There was discussion on the process for amending the language and narrowly tailoring it to the affected communities or properties.

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Following the discussion, Mrs. Wimbrow made a motion for an unfavorable recommendation to the text amendment as specifically written, which was seconded by Mr. Barbieri. Ms. Ott was opposed, and Mr. French abstained. Therefore, the motion failed for lack of a quorum.

A second motion was made by Mrs. Wimbrow to provide an unfavorable recommendation to the text amendment as specifically written; with a request that staff and the county attorney attempt to draft language that would accommodate the licensed properties that had short-term rental licenses revoked because of staff error in the enforcement of the code. The motion was seconded by Mr. French and carried unanimously.

VI. Work Session - Comprehensive Plan Revised Draft Chapters

The Planning Commission met with Michael Bayer from Wallace Montgomery to discuss the revised draft chapters of the Comprehensive Plan. Mr. Bayer gave a high level overview of the anticipated next steps for local and state review. The Planning Commission provided some comments on the revisions. Additional comments will be accepted in writing through next week before being consolidated into a working plan document.

VII. Adjourn

On a motion made by Ms. Ott and seconded by Ms. Wimbrow, the Planning Commission adjourned.

Mary Knight, Secretary

Ben Zito, DRP Specialist

**NOTICE OF PUBLIC HEARING
WORCESTER COUNTY
BOARD OF ZONING APPEALS
AGENDA**

THURSDAY FEBRUARY 12, 2026

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland. Audio and video recording will take place during this public hearing.

The public is invited to view this meeting live online at - <https://worcestercountymd.swagit.com/live>

6:30 p.m.

Case No. 26-8, on the lands of Amy and Scott Lawrence, requesting a variance to the front yard setback for a flag lot from 228 feet to 150 feet (to encroach 78 feet) for a proposed pole building in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-201(b)(5), ZS 1-201(d)(2), and ZS 1-305, located on the northwest side of Worcester Highway approximately 600 feet northeast of Johnson Neck Road, Tax Map 78, Parcel 81, Tax District 8, Worcester County, Maryland.

6:35 p.m.

Case No. 26-10, on the lands of Bryan Stefanic, on the application of Spencer Ayres Cropper, requesting an after-the-fact variance to the rear yard setback from 30 feet to 16.1 feet (to encroach 13.9 feet) for an existing open deck with a pool in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2) and ZS 1-305, located at 1100 Ocean Parkway, Tax Map 21, Parcel 224, Section 10, Lot 388, Tax District 3, Worcester County, Maryland.

6:40 p.m.

Case No. 26-12, on the lands of Adam Lockhart Showell, Sr., as Custodian, on the application of Mark Spencer Cropper, requesting a variance to the Atlantic Coastal Bays Critical Area Buffer Management Area from 50 feet to 3 feet (an encroachment of 47 feet) and a variance to the Ordinance prescribed front yard setback from 30 feet to 20 feet (an encroachment of 10 feet) associated with the proposed construction of a single-family dwelling in the R-2 Suburban Residential District, pursuant to Zoning Code Sections ZS 1-116(c)(4), ZS 1-116(m)(1), ZS 1-206(b)(2) and ZS 1-305 and Natural Resources Code Sections NR 3-104 (c)(4) and NR 3-111 located on the south side of Pond Road, approximately 130 feet west of Golf Course Road, Tax Map 22, Parcel 412, Lot A, Tax District 10, Worcester County, Maryland.

6:45 p.m.

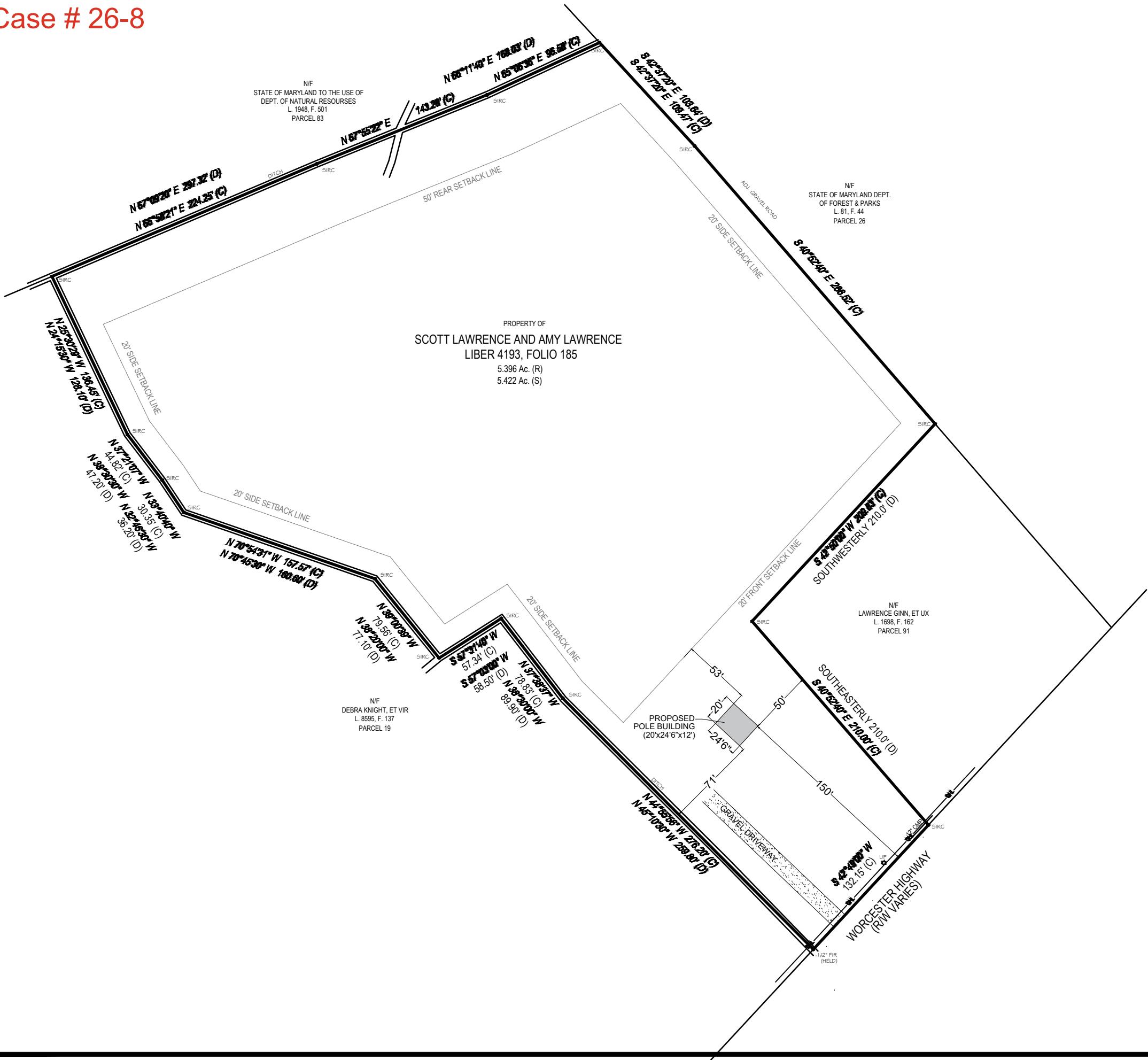
Case No. 26-9, on the lands of Frederick Henry Eisenbrandt, on the application of Hugh Cropper IV, requesting two (2) special exceptions to allow (1) a sawmill and the manufacturing and processing of wood products in an agricultural structure, and (2) the accessory use of that principal agricultural structure for the commercial hosting of non-agricultural functions and events in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(3), ZS 1-201(c)(8), ZS 1-201(c)(32) and ZS 1-325, located at 11930 Ocean Gateway, Tax Map 26, Parcel 260, Tax District 10, Worcester County, Maryland.

IMPORTANT NOTICE

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BZA Case # 26-8

***NOTE: FOR THE SCALE TO
BE CORRECT SHEET MUST
BE PRINTED ON 11" x 17"***



NOTES:

SITE PLAN

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WORCESTER HWY
POCOMOKE CITY, MD 21851

PARCEL ID: 2408000522

LOT AREA: 5.3946 ACRES

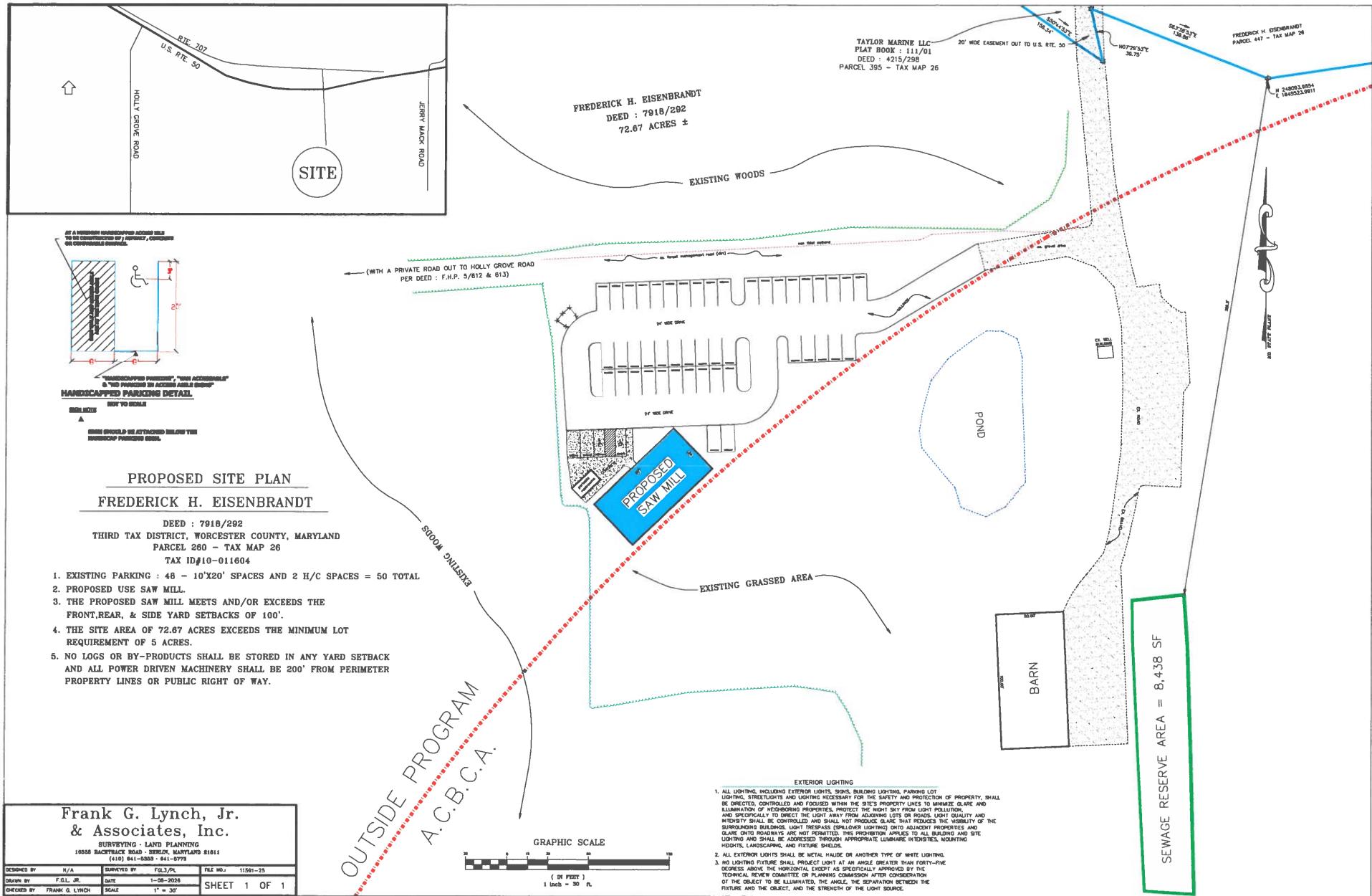
PLOT SIZE: 11" X 17"

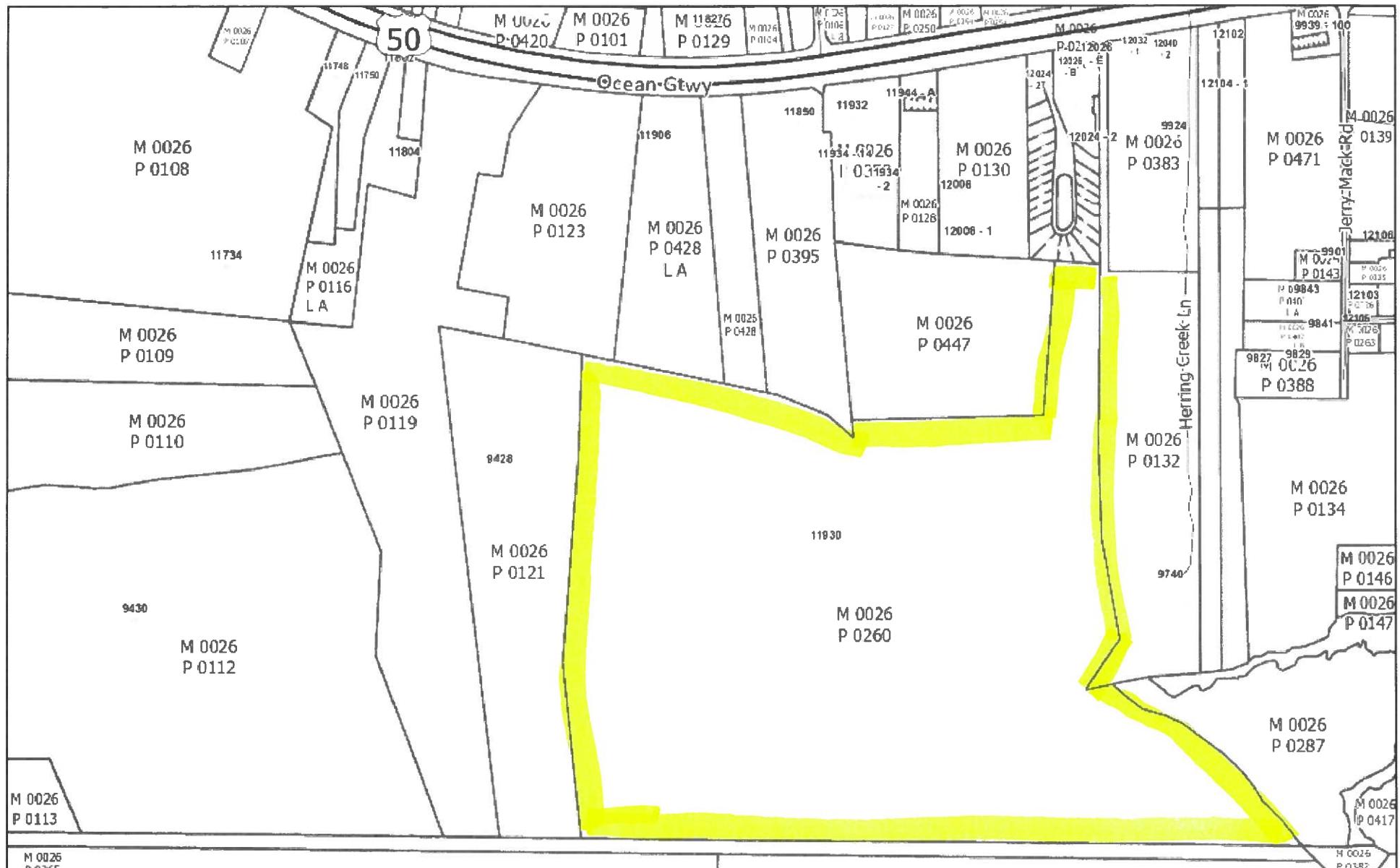
WEBSITE: USASITEPLANS.COM

DRAWING SCALE: 1"=80'



BZA Case #26-9





1/28/2026, 7:53:40 AM

Worcester Roads

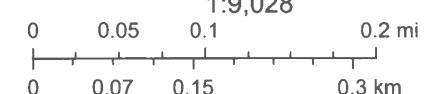
Local



Parcel Boundaries

Major

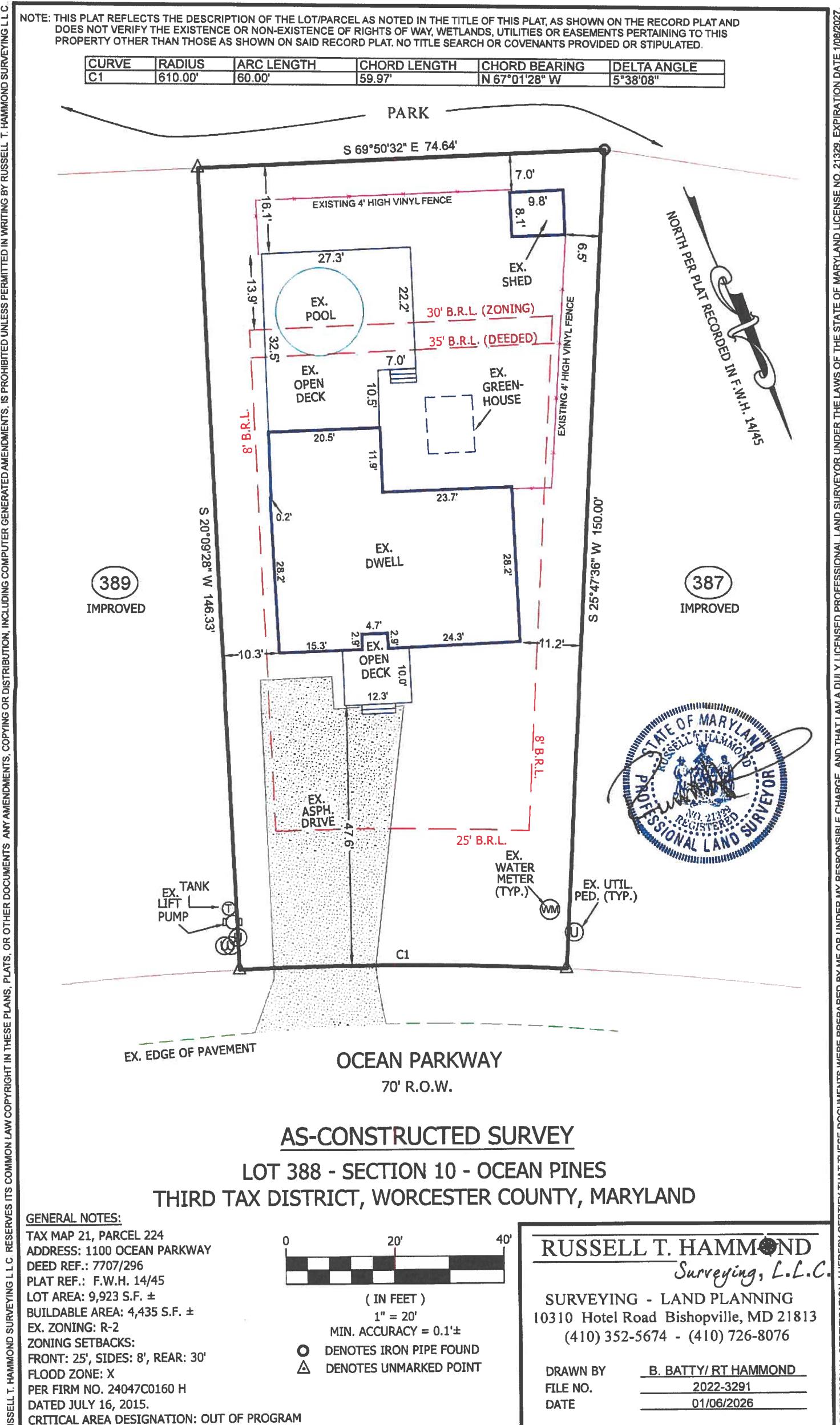
Address number



Originally, 2007, Spatial Systems Associates, Inc. Then, Worcester County GIS. Then, in 2019/2020 Datemark Inc., for assistance with Next Gen

DRP ArcGIS Web Map

This map is intended for planning purposes only and not for regulatory application.



WORCESTER COUNTY PLANNING COMMISSION

MEETING DATE: February 5, 2026

PURPOSE: Major Site Plan Review

DEVELOPMENT: Bishopville Volunteer Fire Department

PROJECT: Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces.

LOCATION: Located at 10709 Bishopville Road, Bishopville, MD 21813.

ZONING DESIGNATION: V-1 Village.

BACKGROUND: The Bishopville Volunteer Fire Department is proposing to construct a new building in the same general footprint as the existing building.

SIGNS: Any signage shall meet the requirements of §ZS 1-324 and Section 14 of the *Design Guidelines and Standards for Commercial Uses* and shall be reviewed at permitting stage for compliance.

PARKING: The minimum parking requirements have been met, as 45 standard parking spaces have been provided, as well as two (2) handicapped spaces and four (4) apparatus stalls.

Parking spaces shall be demarcated with painted stripes and parking bumpers where shown. Handicap accessible parking spaces have been provided as required under the Maryland Accessibility Code. Also, all handicap accessible signs shall be posted a minimum of 84" from grade to the bottom of the reserved sign. All handicap spaces shall also be a minimum of 20' in depth, and where required, depressed curbing will need to be provided.

LOADING SPACES: No loading spaces are proposed for the site.

TRAFFIC CIRCULATION: The site is currently accessed from Bishopville Road (MD Route 367), and the site plan indicates that property will be accessed from the same existing entrance.

PEDESTRIAN AND BICYCLE CONNECTIVITY: §ZS 1-320 requires one (1) rack, and one (1) rack is provided.

REFUSE REMOVAL: A dumpster or refuse collection container is not proposed in this area of

the overall site.

LANDSCAPING: Landscaping is proposed within the parking area, and the applicant is proposing an automatic irrigation system for the maintenance as required per §ZS1-322(b)(7).

FOREST CONSERVATION LAW: This property is not subject to Forest Conservation Law.

STORMWATER MANAGEMENT/ SEDIMENT EROSION CONTROL: This project has obtained Stormwater Concept approval. Final Plan approval must be provided prior to signature approval.

CRITICAL AREA LAW: This property is located within the Atlantic Coastal Bays Critical Area (ACBCA) program boundary. Written confirmation will be required from Environmental Programs Natural Resources Division prior to receiving signature approval.

WATER SUPPLY AND WASTEWATER SERVICES: This project is served by on-site well and septic. Written confirmation will be required from Environmental Programs prior to the site plan receiving signature approval.

ARCHITECTURAL JUSTIFICATION: The building elevations have been designed and reviewed under the *Design Guidelines and Standards for Commercial Uses*. This development is located within the Agricultural tradition.

The items requiring a waiver from the Planning Commission have been itemized below under “Planning Commission Considerations.” The applicant is required to justify their waiver request based upon the criteria outlined in Section 2(b) of the *Design Guidelines and Standards*.

PROPERTY OWNER: Bishopville Volunteer Fire Department, Inc.

APPLICANT: Davis, Bowen, & Friedel, Inc.

ENGINEER: Davis, Bowen, & Friedel, Inc.

PREPARED BY: Ben Zito, DRP Specialist

PLANNING COMMISSION CONSIDERATIONS – DESIGN GUIDELINES

Design Guidelines: Waivers Requested

Section 10	Facades
Section 16	Pedestrian and Bicycle Circulation
Section 19	Community Features & Spaces

Section 10(b)(1)(A): Elements within each segment of the facade shall be symmetrical. Facade elements and openings shall be repeated in the same positions on either side of an imaginary central vertical line of that segment. Minor variations to a symmetrical condition can be absorbed while maintaining an overall sense of the balance.

Section 10(b)(1)(C): Facades greater than sixty feet in width shall be provided with wall plane projections or recesses that:

1. Have a depth of at least two feet or three percent of the facade width, whichever is greater; and
2. Extend at least twelve feet or twenty percent of the facade width, whichever is greater.

Section 10(b)(1)(H): Facades shall incorporate transparent features such as windows and doors over a minimum of twenty-five percent of the surface area of facades but shall not exceed forty percent.

Section 16(b)(2): Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. Sidewalks shall be provided with human-scale lighting to create a safe and attractive pedestrian atmosphere.

Section 16(b)(3): Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site.

Section 16(b)(8): Seating areas for pedestrians shall be provided near the entry and under protective coverings. Seating should be provided at least every one hundred feet of sidewalk along building facades having customer entrances.

Section 16(b)(10): Bicycle lanes shall be provided on ingress and egress routes. These lanes shall be appropriately signed or otherwise demarcated.

Section 19(b)(1): Each commercial structure shall contribute to the improvement of public spaces by providing a community space that is centrally located, connected to the pedestrian walkway and placed in areas with the highest pedestrian traffic. It should be constructed of materials that are similar to the principal materials of the building and landscaped compatibly. This community space shall provide seating and at least one of the following:

- A. Patio.
- B. Pedestrian plaza.
- C. Transportation center.
- D. Window shopping walkway.
- E. Outdoor playground area.
- F. Kiosk area.
- G. Water feature.
- H. Clock tower.
- I. Other such deliberately shaped area or focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces.

Section 19(b)(2): Required community spaces shall be at least eight hundred square feet in size with no side less than twelve feet long.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/dr>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

January 27, 2026

Davis, Bowen, & Friedel, Inc.
c/o Timothy M. Metzner
601 E. Main Street, Suite 100
Salisbury, MD 21804

Re: Bishopville Volunteer Fire Department Major Site Plan Review

Dear Mr. Metzner:

This is to advise you that the Department has completed a review of the site plan dated December 12, 2025 associated with the above-referenced project. The plan has been reviewed in accordance with the pertinent sections of the Worcester County *Zoning and Subdivision Control Article* and the *Design Guidelines and Standards for Commercial Uses*. The following requirements have yet to be addressed:

GENERAL:

1. Sheet C101: Please add the monument signage and label that is to remain on the site.
2. Sheet C101: Please confirm that the curbing for the parking spaces will be at least three feet away from the landscaping features to prevent damage as outlined in §ZS 1-320(f)(5).
3. Sheet L101: Please add a note that an automatic irrigation system will be installed for the landscape maintenance per §ZS 1-322(b)(7).

A copy of the Staff Report associated with this project is attached for your reference. Please do not hesitate to contact me at 410-632-1200 ext. 1131 with any questions or comments you may have concerning this matter.

Yours,

A handwritten signature in blue ink, appearing to read "K. M. Tremblay".

Kristen M. Tremblay, AICP
Zoning Administrator

essional Certification. I hereby certify that the documents were prepared or approved by me and that I am a duly licensed Professional Engineer in the laws of the State of Maryland

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

JANUARY 2026
e: 1" = 30'
.By: ADM
No.: 4339A002

DEMOLITION PLAN

1. No.:

LEGEND

C051

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer in the laws of the State of Maryland. License No. 31100, Expiration Date: 01-21-27

DAVIS & BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BOSTON, MASSACHUSETTS 02124-1441
EASTON, MARYLAND 410.770.4744

DAVIS & BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
SAUSALITO, CALIFORNIA 410.543.2091

BISHOPVILLE VFD TOWN OF BISHOPVILLE WORCESTER COUNTY, MARYLAND

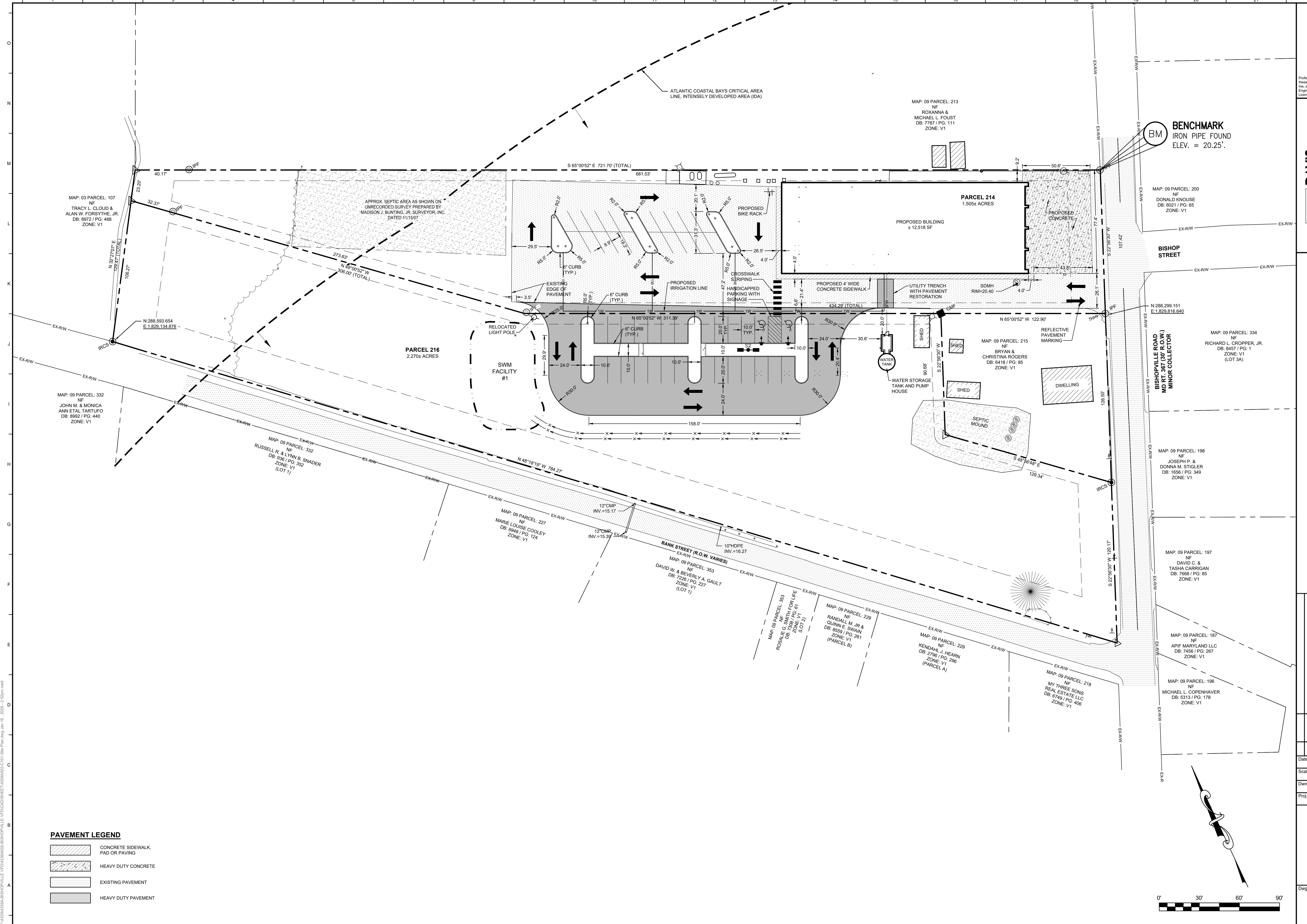
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Proj.No.: 4339A002

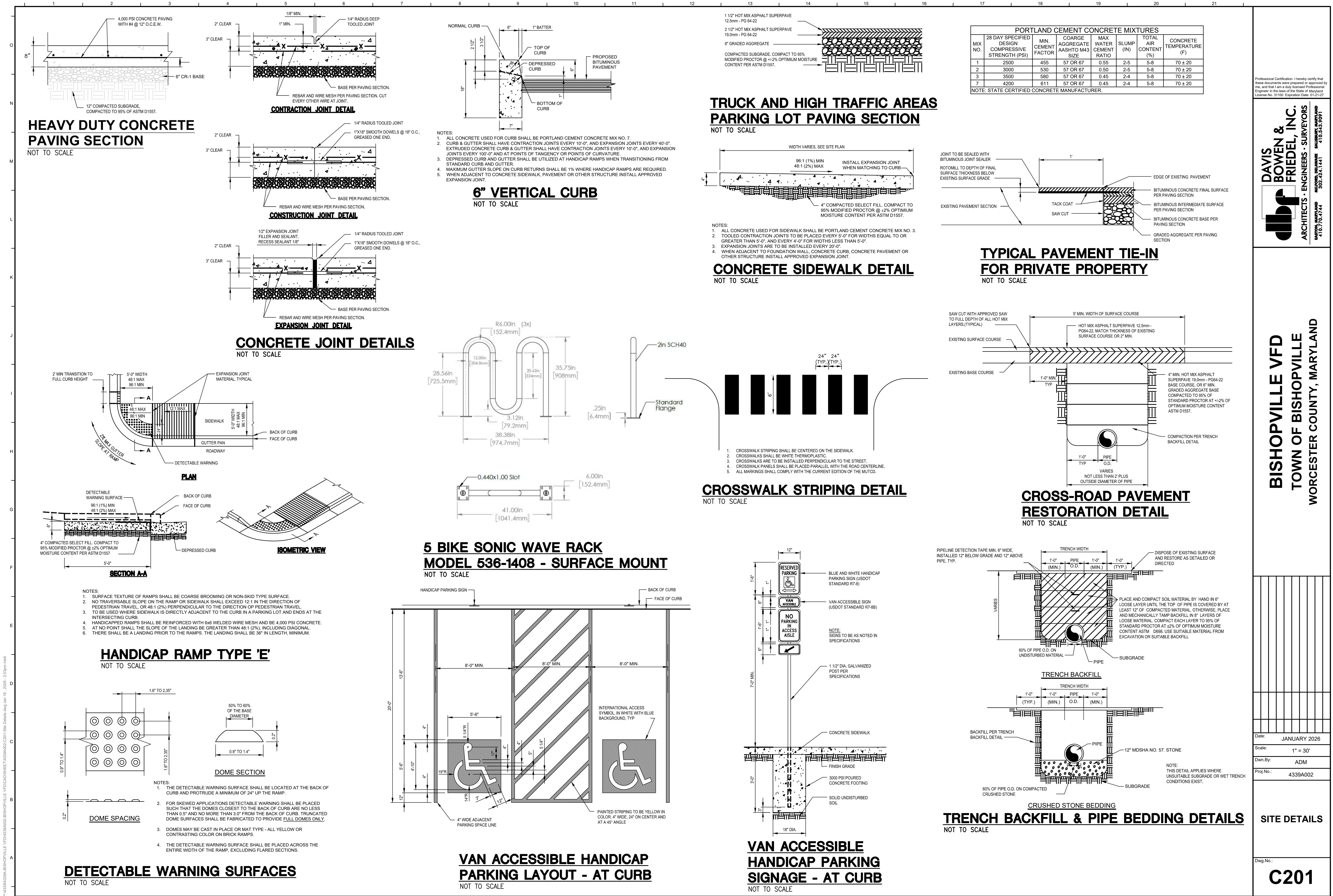
SITE PLAN

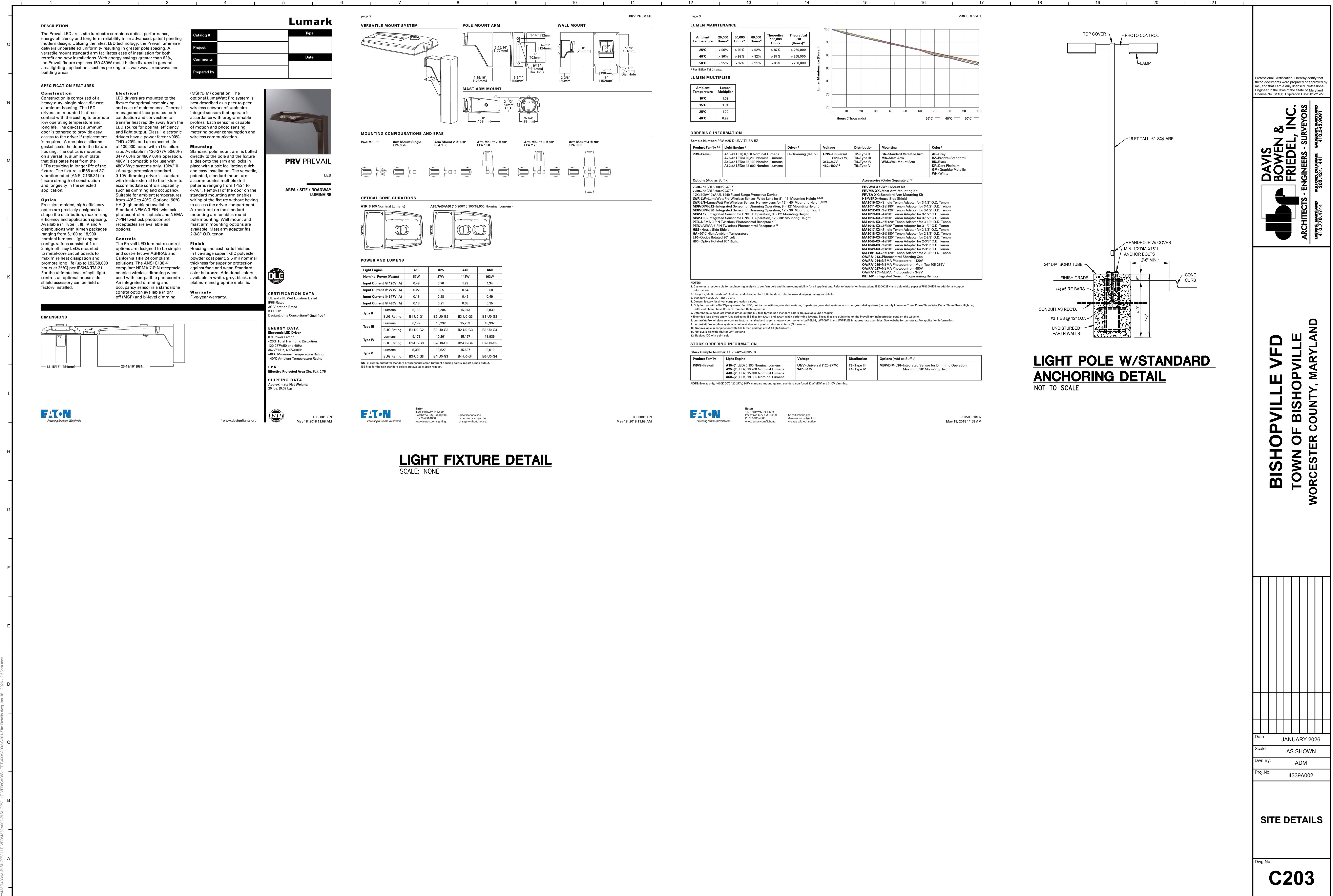
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PAVEMENT LEGEND

- CONCRETE SIDEWALK, PAD OR PAVING
- HEAVY DUTY CONCRETE
- EXISTING PAVEMENT
- HEAVY DUTY PAVEMENT







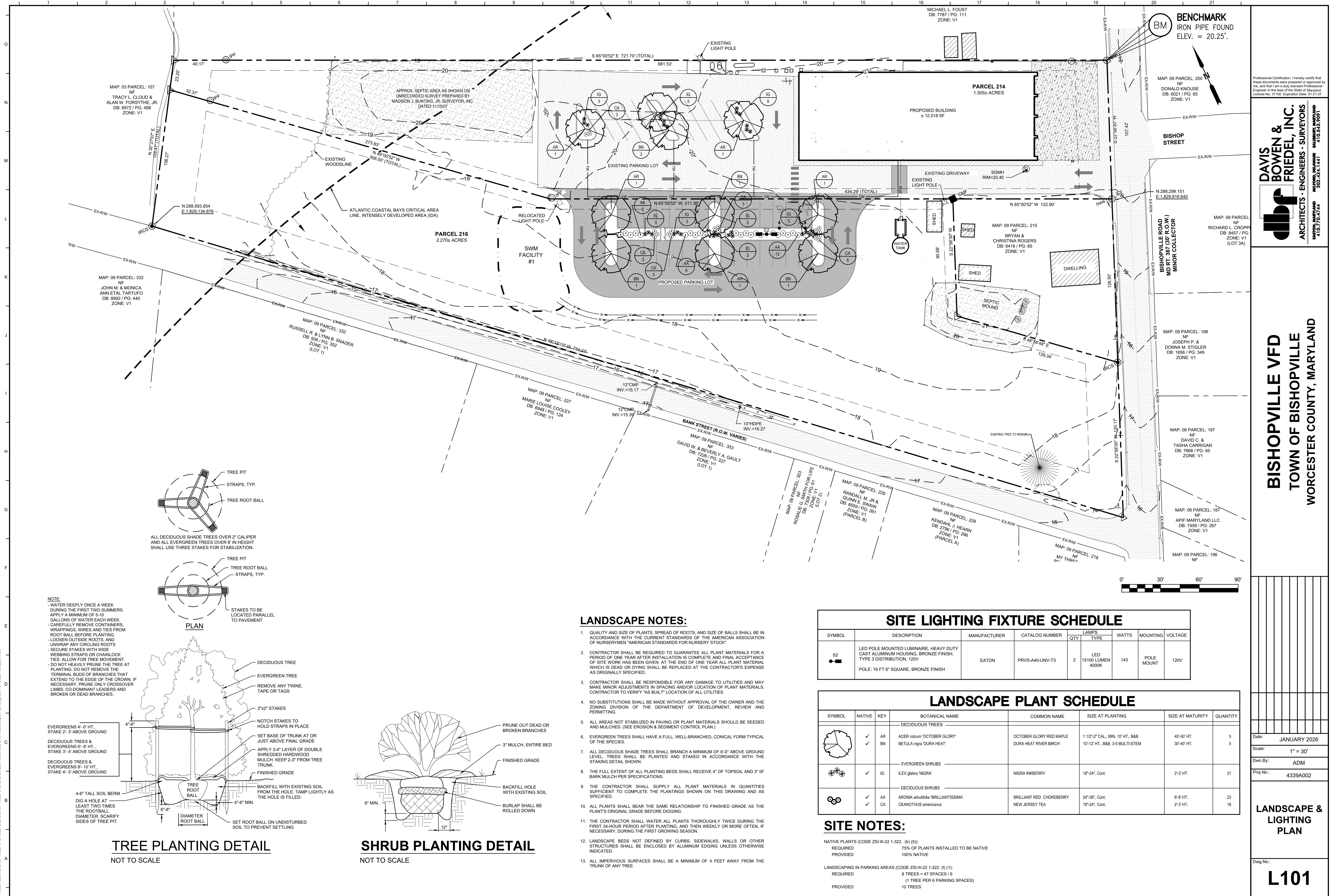
**BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND**

.No.:

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

GRADING PLAN

1. No.:



BISHOPVILLE VFD

TOWN OF BISHOPVILLE

WORCESTER COUNTY, MARYLAND

**COLVIN &
FRIEDEL, INC.**
ARCHITECTS • ENGINEERS • SURVEYORS

MILFORD, DELAWARE 302.424.1441 **SALISBURY, MARYLAND** 410.543.9091

SITE LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS		WATTS	MOUNTING	VOLTAGE
				QTY	TYPE			
S2 	LED POLE MOUNTED LUMINAIRE, HEAVY DUTY CAST ALUMINUM HOUSING, BRONZE FINISH, TYPE 3 DISTRIBUTION, 120V POLE: 16 FT 6" SQUARE, BRONZE FINISH	EATON	PRVS-A40-UNV-T3	2	LED 15100 LUMEN 4000K	143	POLE MOUNT	120V

LANDSCAPE PLANT SCHEDULE

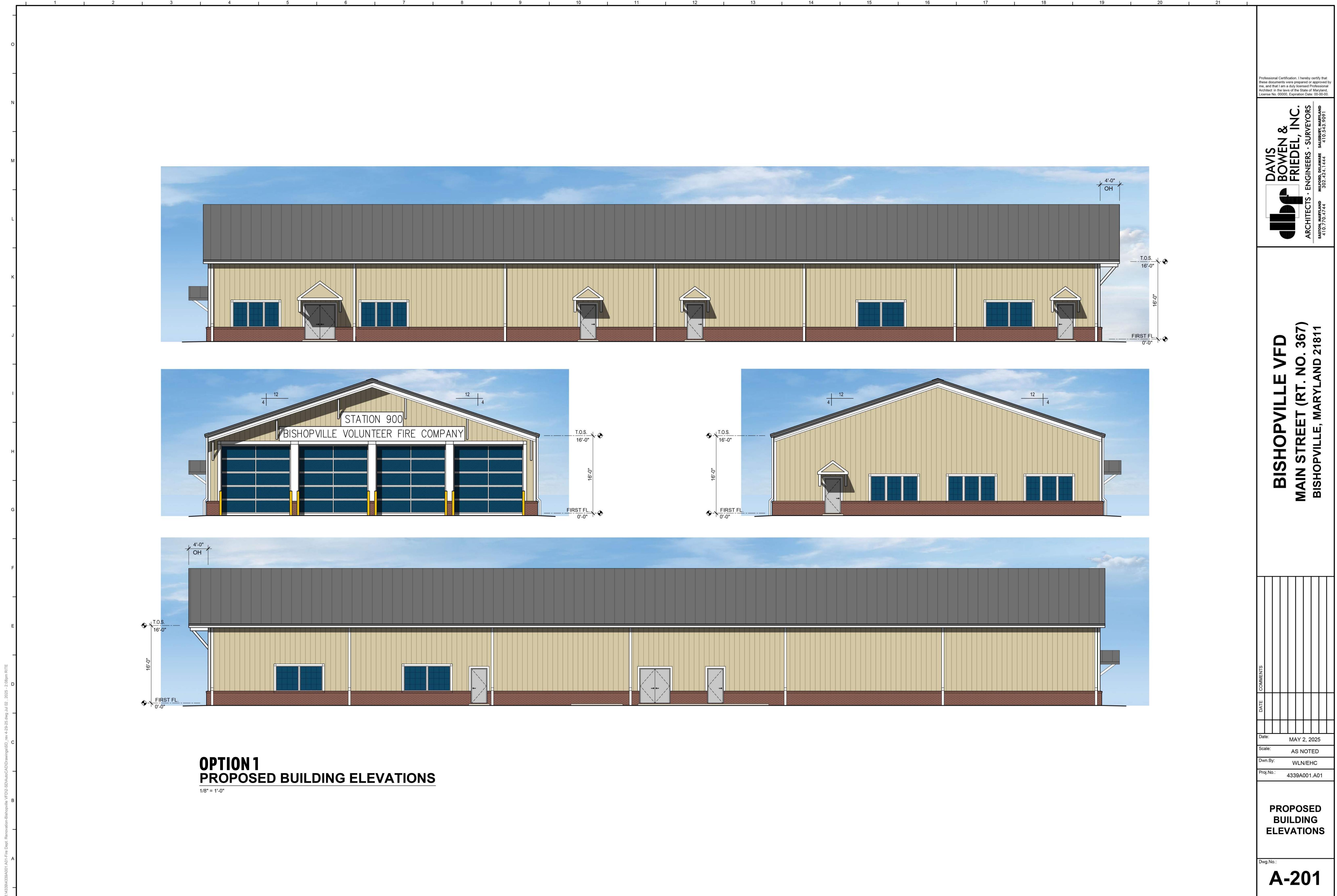
LANDSCAPE PLANT SCHEDULE							
Symbol	Native	Key	Botanical Name	Common Name	Size at Planting	Size at Maturity	Quantity
			DECIDUOUS TREES				
	✓ ✓	AR BN	ACER rubrum 'OCTOBER GLORY' BETULA nigra 'DURA HEAT'	OCTOBER GLORY RED MAPLE DURA HEAT RIVER BIRCH	1 1/2"-2" CAL., MIN. 10' HT., B&B 10'-12' HT., B&B, 3-5 MULTI-STEM	40'-50' HT. 30'-40' HT.	5 5
			EVERGREEN SHRUBS				
	✓	IG	ILEX glabra 'NIGRA'	NIGRA INKBERRY	18"-24", Cont.	2'-3' HT.	31
			DECIDUOUS SHRUBS				
	✓ ✓	AA CA	ARONIA arbutifolia 'BRILLIANTISSIMA' CEANOTHUS americanus	BRILLIANT RED CHOKEBERRY NEW JERSEY TEA	24"-36", Cont. 18"-24", Cont.	6'-8' HT. 2'-3' HT.	23 18

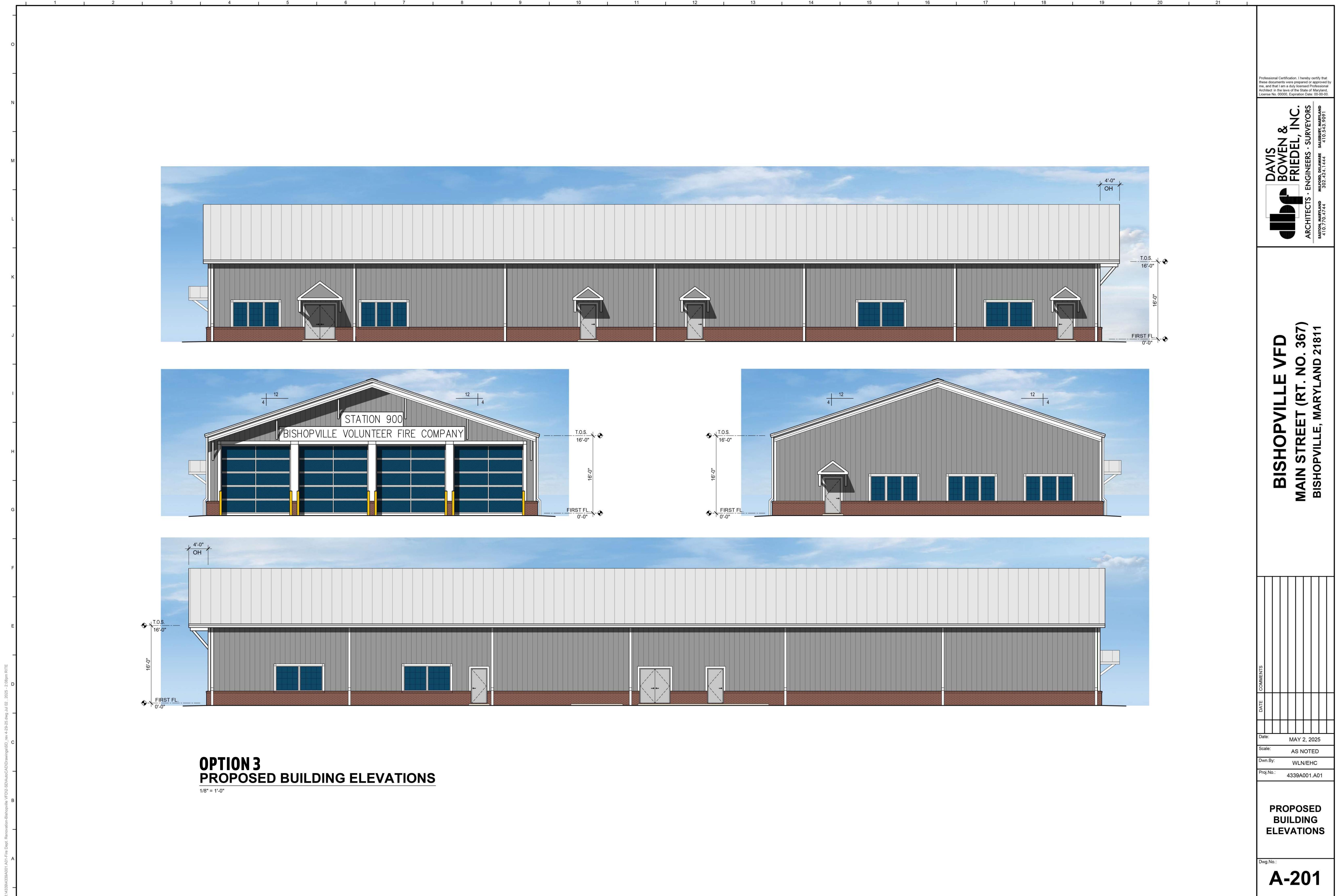
SITE NOTES:

NATIVE PLANTS (CODE ZSI:III-22 1-322. (b) (5)):

REQUIRED	75% OF PLANTS INSTALLED TO BE NATIVE
PROVIDED	100% NATIVE

LANDSCAPING IN PARKING AREAS (CODE ZSI:III-22 1-322. (f) (1):
REQUIRED 8 TREES = 47 SPACES / 6
(1 TREE PER 6 PARKING SPACES)
PROVIDED 10 TREES







Worcester County

Department of Environmental Programs

January 28, 2026

Worcester County Planning Commission
Worcester County Courthouse
1 West Market Street, Room 1201
Snow Hill, MD 21863

RE: Transmittal-Comprehensive Water and Sewerage Plan Amendment –Riddle Farm Sanitary Area – Expansion of Water/Sewer Planning Area
TM 26 Parcels, 133, 136, 137, 256, 383, and 471)
(SW-2026-1)

Dear Commissioners:

We are writing to forward the proposed *Worcester County Comprehensive Water and Sewerage Plan (The Plan)* amendment to revise the water and sewer planning areas for the Riddle Farm Sanitary Area in *The Plan*, for your review and comment to the County Commissioners.

Mr. Hugh Cropper is the applicant, on behalf of multiple property owners. This amendment seeks to reclassify the sewer and water planning areas for two adjacent properties from S-6/W-6 (no planned service) to S-1/W-1 (within two years) and include in the Riddle Farm sewer and water planning area information in *The Plan*.

The applicant is requesting a change in the water and sewer service classifications in order to provide for eventual public service of water and sewer for a group of developed commercial properties. The subject properties are located on Ocean Gateway (MD Route 50), west of Herring Creek. The properties are more specifically identified on Tax Map 26 as Parcels 133, 136, 137, 383, 471, and 256. The currently developed properties service a mix of existing commercial uses and are served by existing well and septic systems. The applicant understands that there does not exist sewer capacity to service these properties at the present time but would like to apply for such service when it becomes available.

The applicant would eventually access public water and sewer infrastructure via the east entrance to the Glen Riddle Community. If a previously approved amendment for the Riddle-Mystic water inter-connection under Herring Creek proceeds to construction, that could be an alternative water connection, subject to Department of Public Works approval. Any developer-constructed infrastructure

Citizens and Government Working Together

January 28,2026

will be built under a Public Works agreement and will be turned over upon inspection and acceptance of the construction and materials by County personnel.

Other than the subject properties, this amendment does not seek to amend or intensify the planning areas approved in prior amendments with respect to the mapped planning areas.

The Planning Commission is tasked by Section 1.4 of *The Plan* (“Procedures for Plan Amendments”) to make a finding as to whether this amendment would be consistent with The Comprehensive Plan. The Planning Commission may also submit its project comments and recommendations. The findings and comments will be submitted to the County Commissioners. The County Commissioners will hold a public hearing and then take action on the proposal.

Comprehensive Plan Policies

The Comprehensive Plan assigns one land use designation for this properties within this proposed amendment for the Riddle Farm water and sewer planning area. This designation is:

1. Commercial Center

Commercial Center Areas are defined (p. 16) as follows:

- This category designates sufficient area to provide for anticipated needs for business, light industry, and other compatible uses.
- Retail, offices, cultural/entertainment, services, mixed uses, warehouses, civic, light manufacturing and wholesaling would locate in commercial centers

The Comprehensive Plan goes on to state:

Chapter One, “Introduction” states:

- Provide for adequate public services to facilitate the desired amount and pattern of growth (p.8).

Chapter Three, “Natural Resources” states:

- Provides a goal that Worcester County recognizes the value of and is committed to conservation and protection of the following natural resources (...) clean surface and ground water (p.33).
- Worcester County recognizes the value of and is committed to conservation and protection of the following natural resources...clean surface and ground water (p. 33).
- Improve water bodies on the “Impaired Water Bodies (303d) List” to the point of their removal from this list (p. 33).

Chapter Three, “TMDLs” states:

- “all reasonable opportunities to improve water quality should be undertaken as a part of good faith efforts to meet the TMDL standards.” (p.36)

Chapter Six, “Public Infrastructure” states:

- Consistent with the development philosophy, facilities and services necessary for the health, safety, and general welfare shall be cost effectively provided (p.70).
- Require new development “pay its way” by providing adequate public facilities to meet the infrastructure demand it creates (p.70).

- Plan for efficient operation, maintenance, and upgrades to existing sanitary systems as appropriate (p. 73).
- Provide for the safe and environmentally sound water supply and disposal of wastewater generated in Worcester County (p.73).
- Sewer systems should be sized to serve their service areas' planned for land uses (p. 74).

Zoning

The current Riddle Farm *Planning Area* has already been approved under various amendments and is appropriately zoned for the current and proposed uses planned for the existing sanitary area properties, including the subject properties. The proposed expansion properties, which total approximately 27 acres in area, have a single zoning designation. They carry a C-2 (General Commercial District) designation. This zoning district is intended to provide for more intense commercial development serving populations of three thousand or more within an approximate ten-to twenty-minute travel time. From the Zoning Ordinance, these commercial centers have a higher parking demand and possess greater visibility. The existing uses on these properties are permitted in this zoning district.

Staff's Comments

Staff comments are submitted below for your consideration.

1. The Riddle Farm WWTP does not have at this time adequate available sewer capacity to handle this addition. Applicants are aware of this and are pursuing this amendment to prepare for the time when they can acquire additional capacity to serve their existing developed and occupied commercial properties and perhaps expand or intensify their businesses.
2. The *Planning Area's* comprehensive plan designation and zoning permits the existing uses. Any construction in the *Planning Area* would be required to meet the provisions of the storm water program and other local and state regulatory requirements.
3. This proposal, while expanding the water and sewer planning areas, would require the expansion of sewer treatment facilities and connection to existing water mains and sewer collection systems. Additional public infrastructure expenses for the water main and sewer collection system extensions and any additional infrastructure additions will be constructed or funded by the applicant and turned over to the county. Connections to existing water and sewerage facilities, when they occur, are expected to eventually be completed through the east gate of the Glen Riddle community.
4. The properties are currently served by onsite sewage systems of various ages and conditions. The negative effects of continuing to serving existing commercial development with onsite sewage would be addressed with service from the Riddle Farm WWTP, a plant with exceptional Enhanced Nutrient Reduction (ENR) capability and a land application discharge utilizing spray irrigation.
5. *The Plan* states that proposed amendments must be consistent with *The Comprehensive Plan* and existing zoning classifications. As proposed, the project appears to be consistent with *The Comprehensive Plan* and existing zoning. If you need further information, please contact us.

Riddle Farm WS Amendment Case SW 2026-01

January 28, 2026

If you need any additional information or have any questions, please do not hesitate to contact me at (410) 632-1220.

Sincerely,



Robert J. Mitchell, LEHS, REHS/RS
Director

Attachments

cc: WS Amendment File (SW 2026-01)

Attachment 1

MAPS



Sanitary Areas

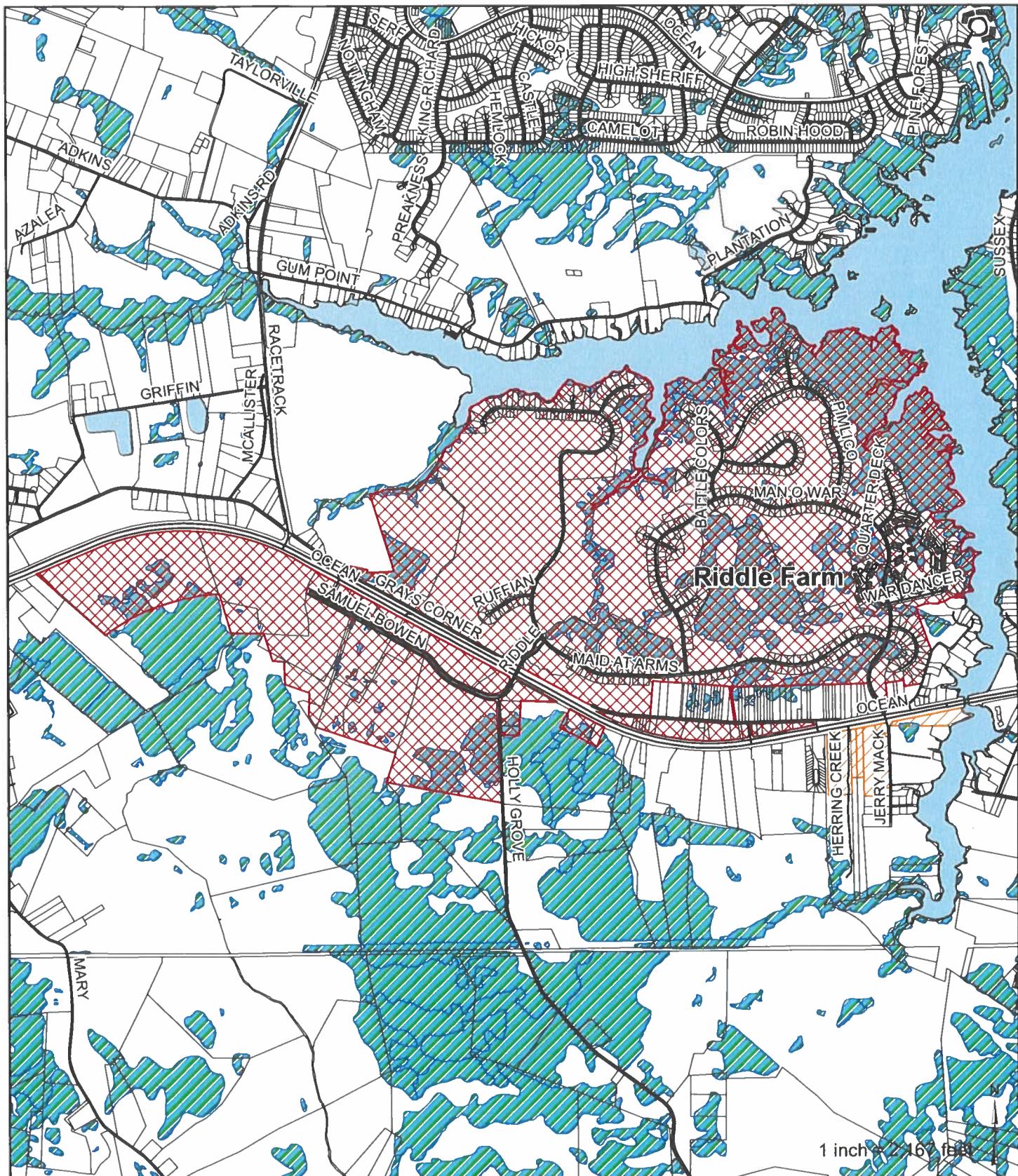
Riddle Farm, Existing Sewer Sanitary Area

Riddle Farm, Proposed Sewer Planning Area Expansion

Planning Area Expansion

Riddle Farm





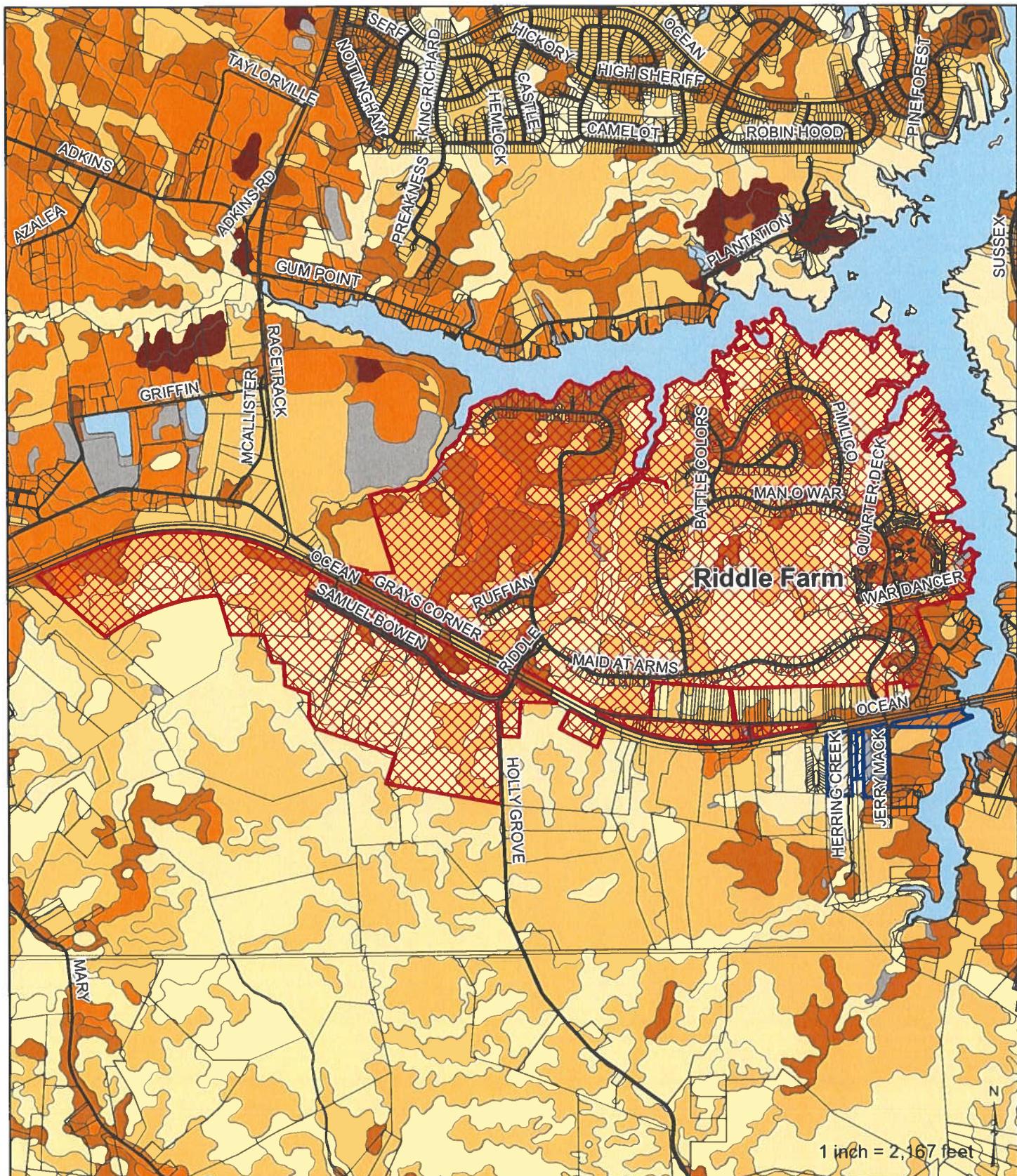
Wetland Areas

- Riddle Farm, Existing Sanitary Area
- Riddle Farm, Proposed Planning Area Expansion
- Wetlands

Planning Area Expansion

Riddle Farm





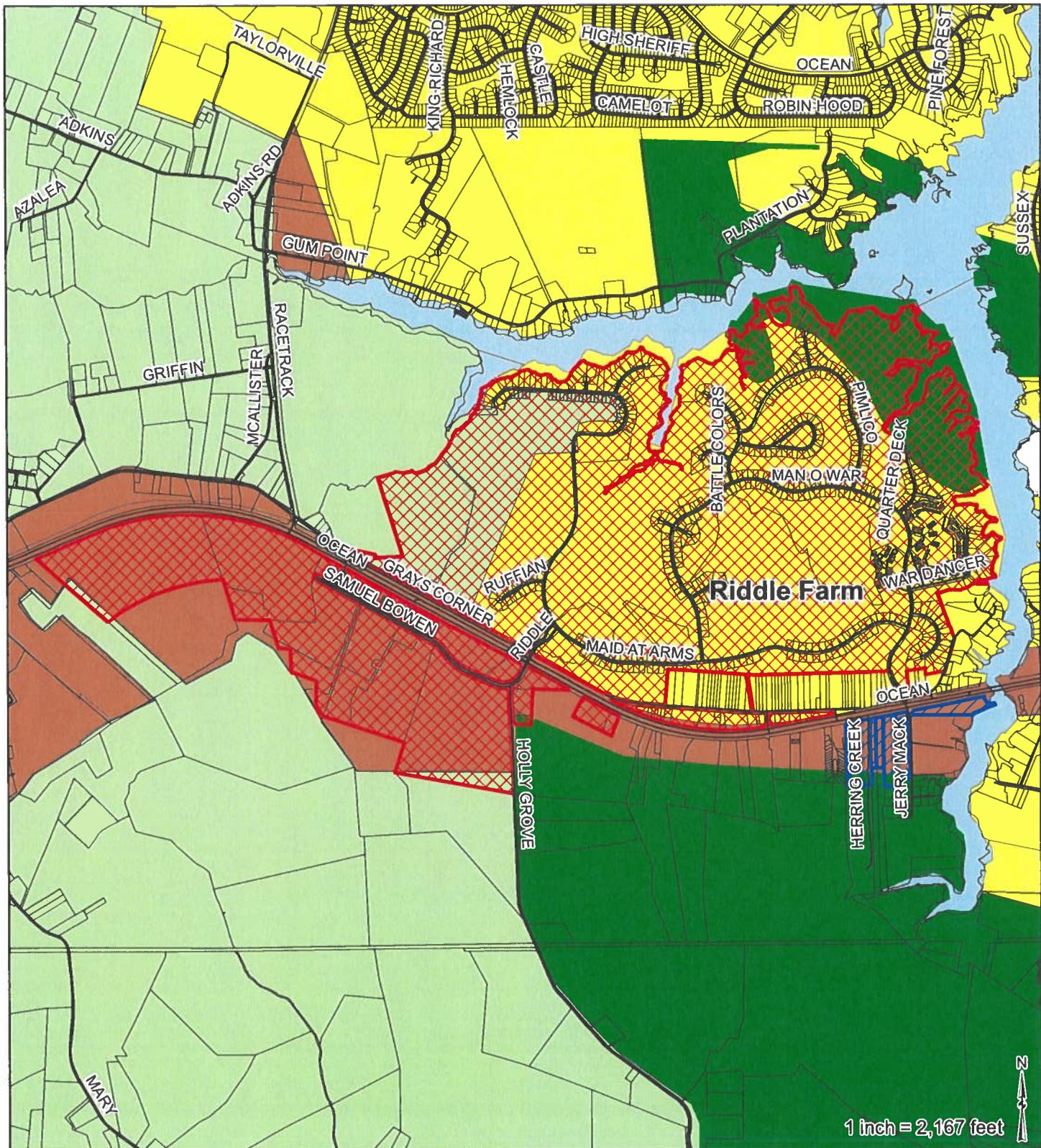
Soils

Riddle Farm, Existing Sanitary Area	Riddle Farm, Proposed Planning Area Expansion	Well drained
Urban		Moderately well drained
Very poorly drained		Somewhat excessively drained
Poorly drained		Excessively drained

Planning Area Expansion

Riddle Farm



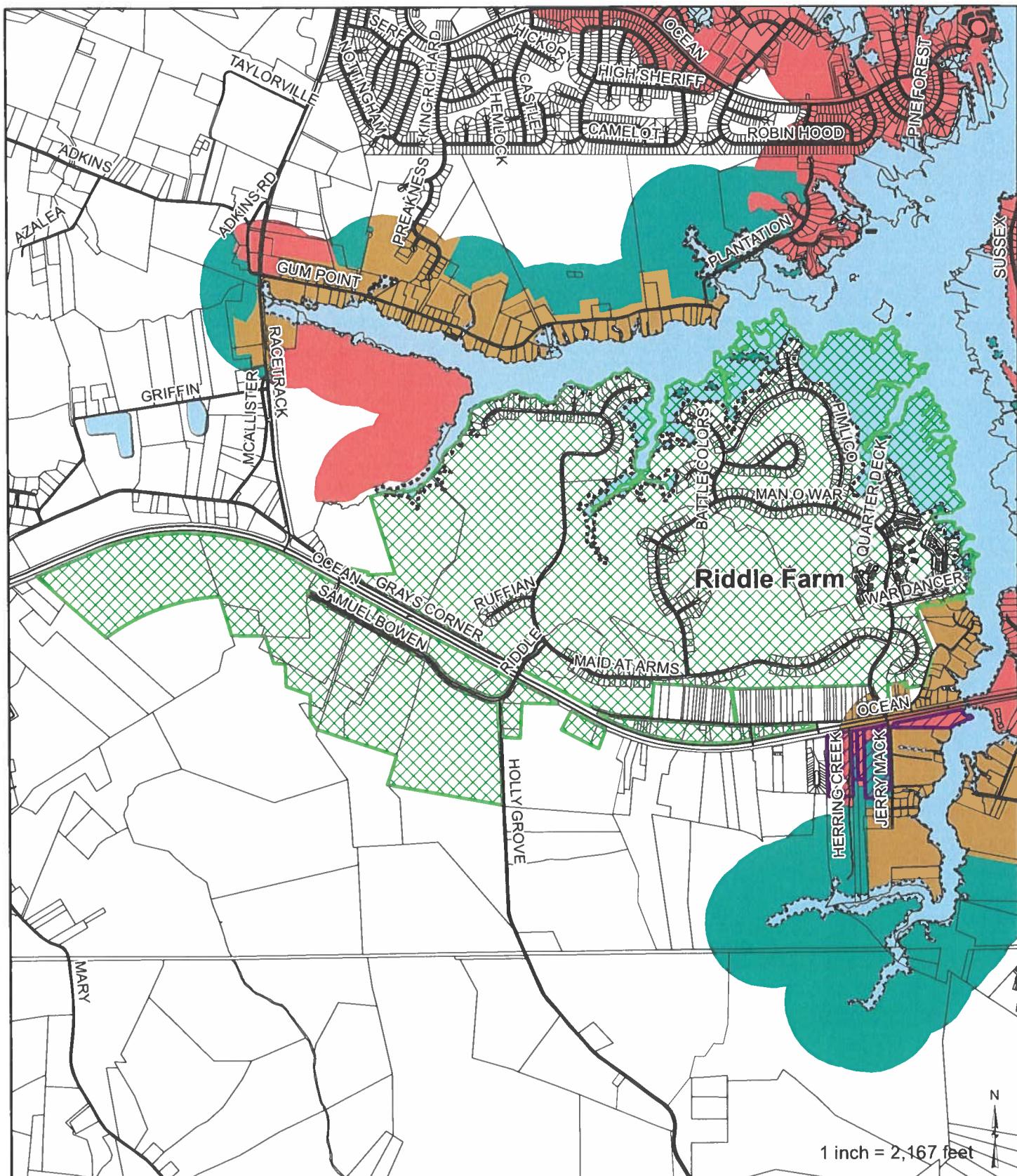


Planning Area Expansion Riddle Farm

Land Use

	Riddle Farm, Existing Sewer Planning Area		Existing Developed Centers
	Riddle Farm, Proposed Planning Area Expansion		Green Infrastructure
	Agriculture		Waterway (rivers, streams, creeks)
	Commercial Center		





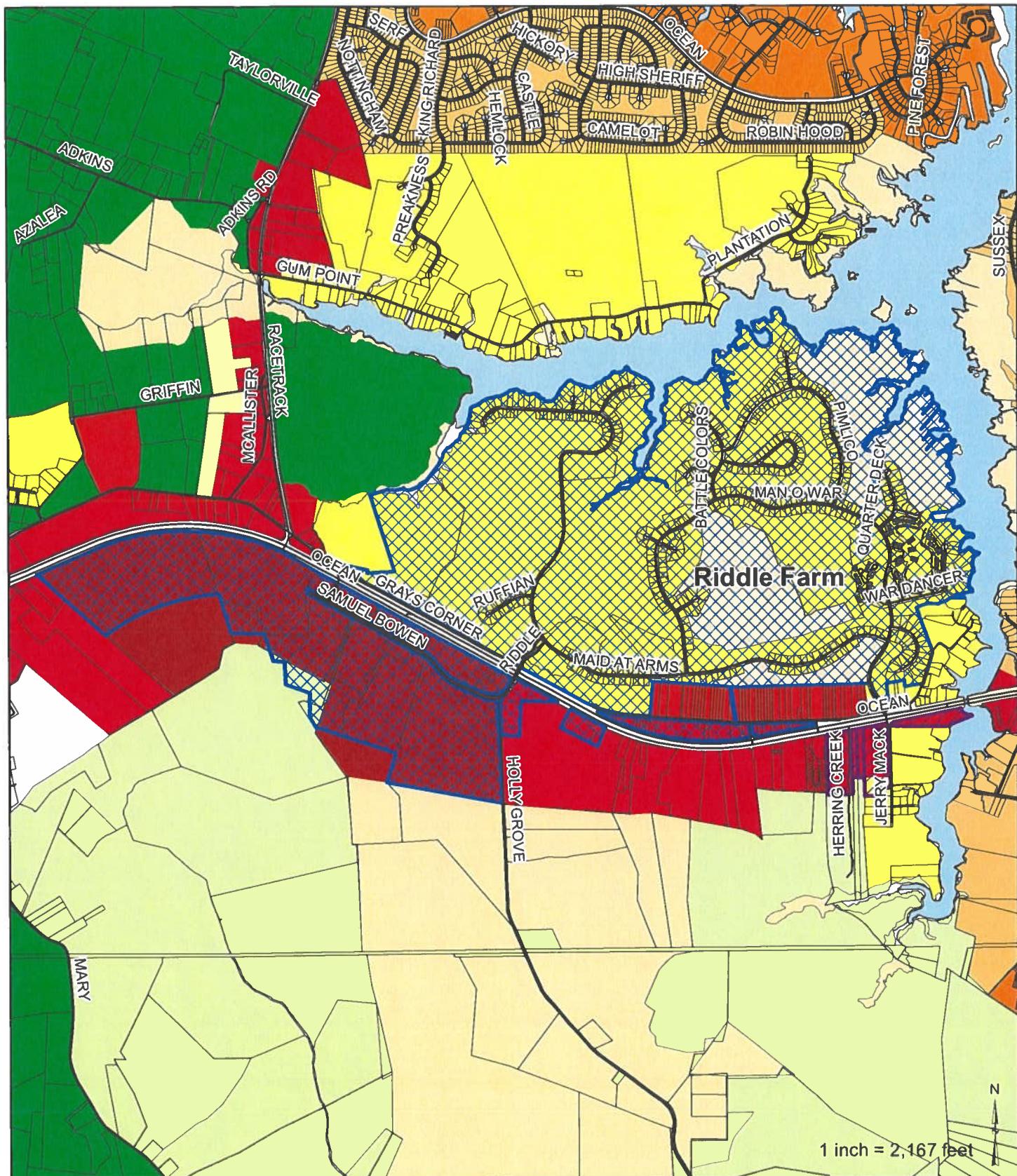
Critical Area

- Riddle Farm, Existing Sewer Planning Area
- Riddle Farm, Proposed Planning Area Expansion
- IDA- Intensely Development Areas
- LDA- Limited Development Areas
- RCA- Resource Conservation Areas
- Tidally Influenced Areas
- Out of Program

Planning Area Expansion

Riddle Farm





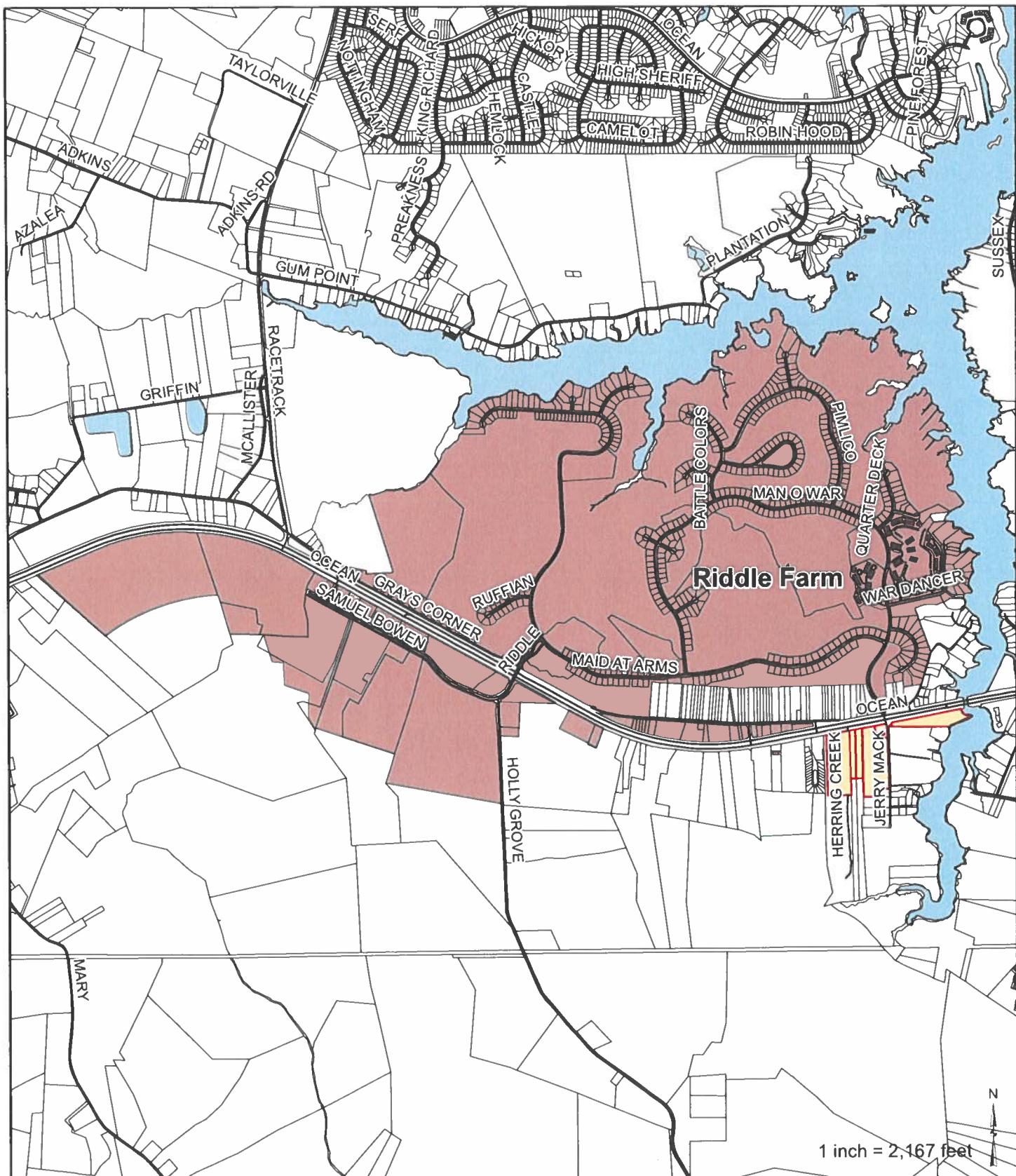
Zoning Areas

	Riddle Farm, Existing Planning Area
	Riddle Farm, Proposed Planning Area Expansion
	A1
	A2

Planning Area Expansion

Riddle Farm





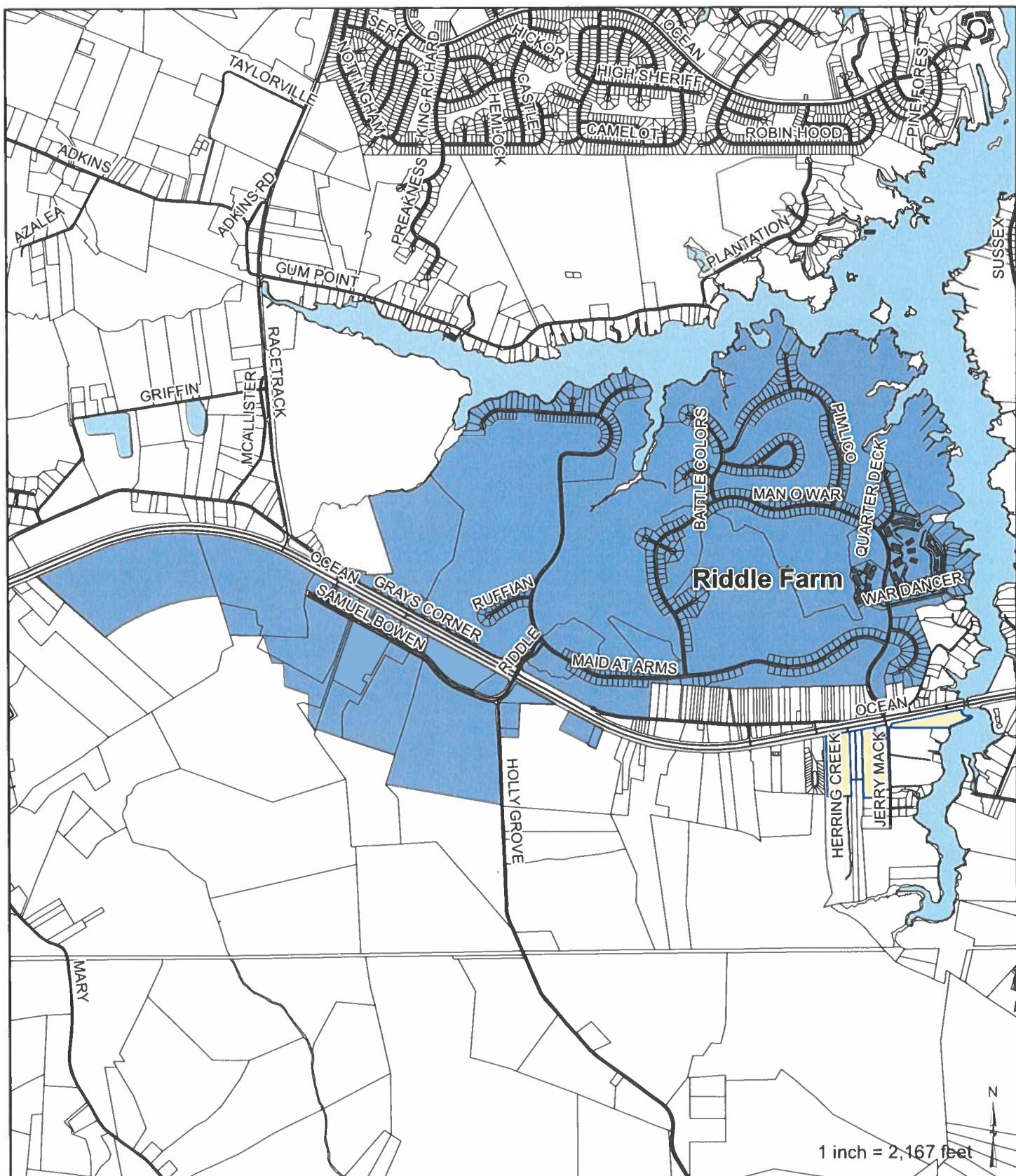
Sewer Planning Area

- Riddle Farm, Existing Sanitary Sewer Area
- Riddle Farm, Proposed Sanitary Area Expansion



Sewer Planning Area

Riddle Farm



Sanitary Service Areas

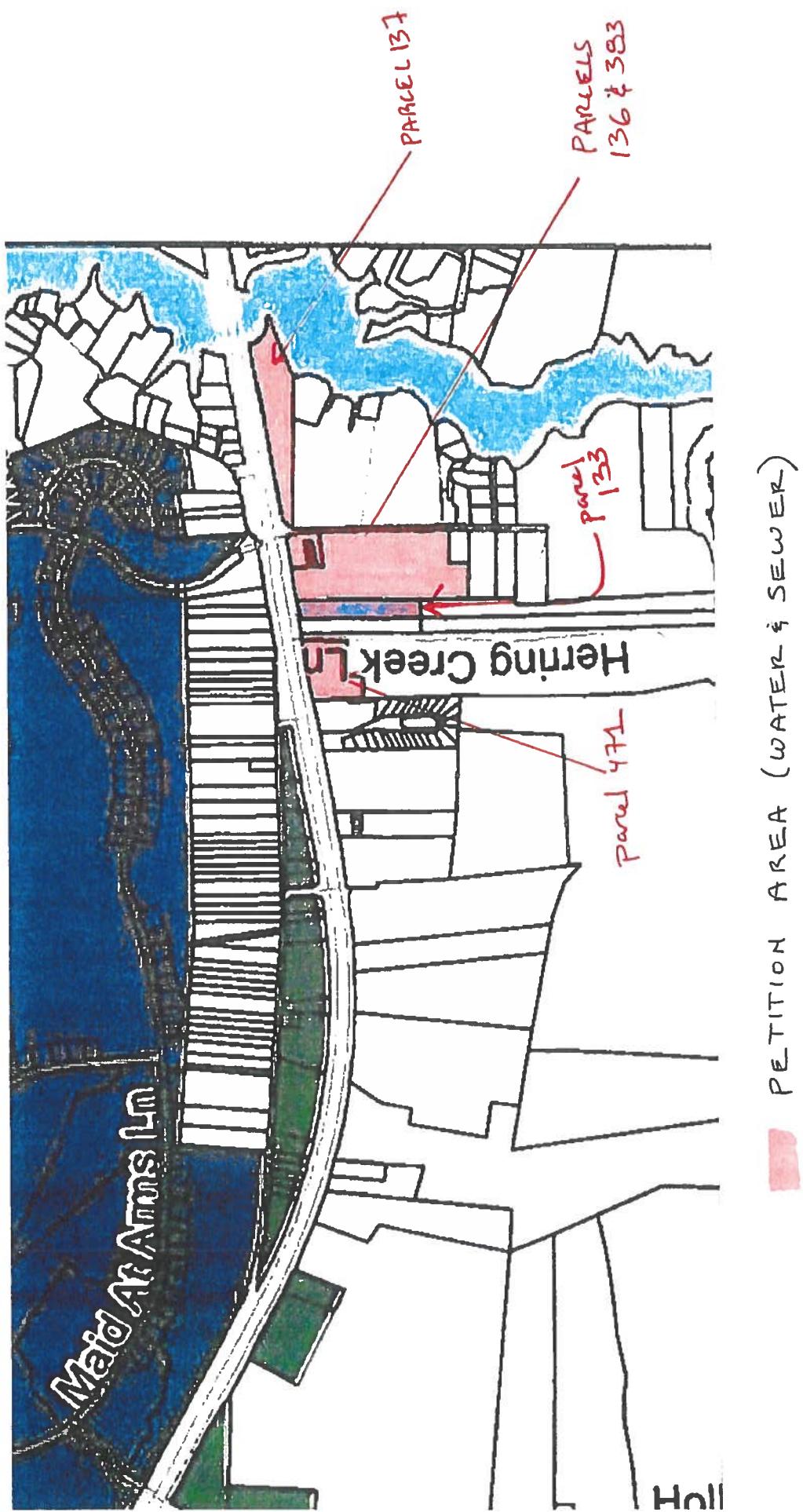
- Riddle Farm, Existing Water Sanitary Area
- Riddle Farm, Proposed Sanitary Area Expansion

Water Sanitary Service Area Riddle Farm



Attachment 2

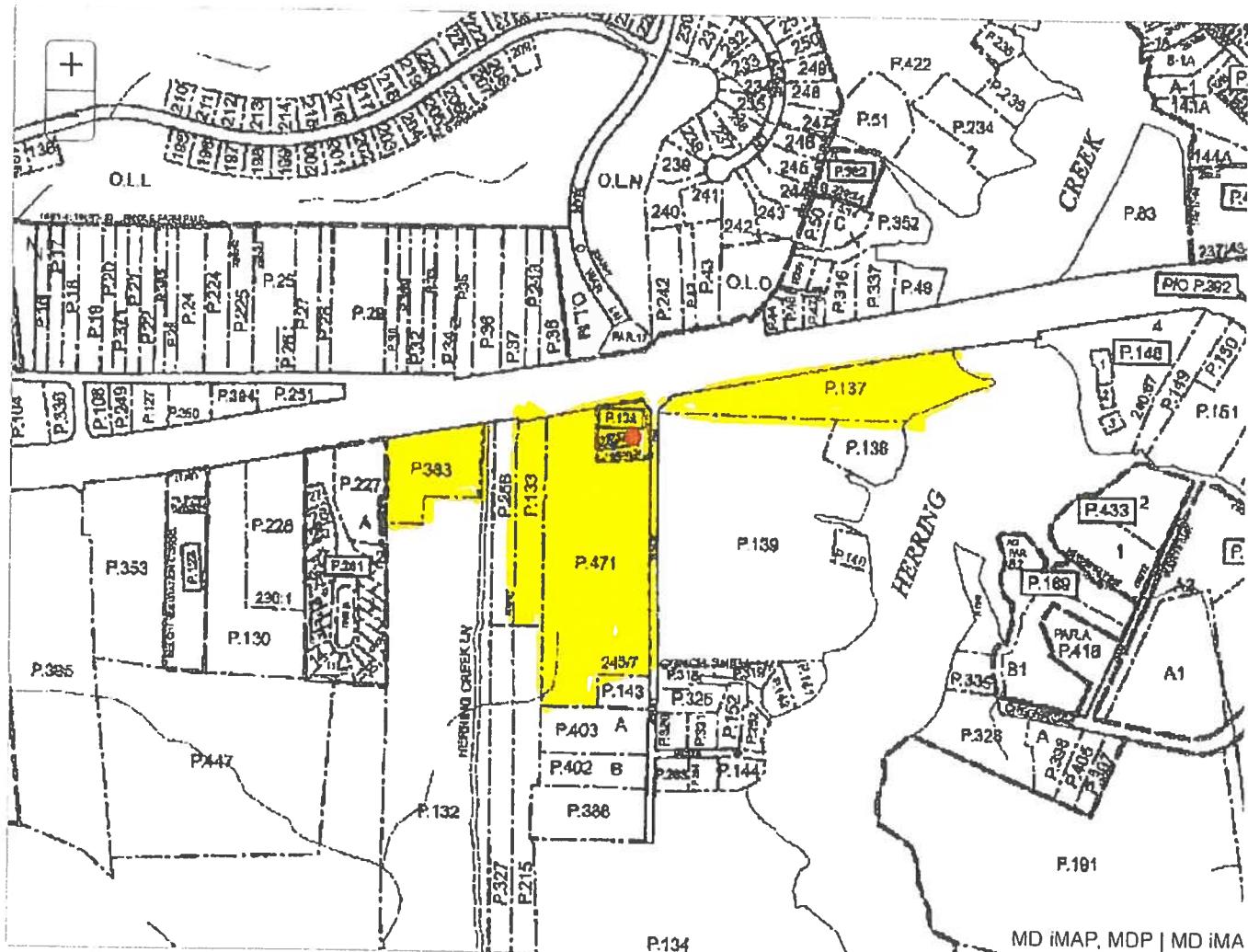
APPLICANTS MAPS



Worcester County

[New Search \(https://sdat.dat.maryland.gov/RealProperty\)](https://sdat.dat.maryland.gov/RealProperty)

District: 10 Account Number: 359333



The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (<http://www.plats.net>).

Property maps provided courtesy of the Maryland Department of Planning

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at <http://planning.maryland.gov/Pages/OurProducts/OurProducts.aspx>.

