

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

**Wednesday, January 14, 2026 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order

II. Site Plan Review (§ ZS 1-325)

A. Ocean Pines Golf Course Monopole- Sketch Plan Review

Proposed construction of a 150' monopole. Located at 98 Clubhouse Drive, Ocean Pines, MD 21811. Tax Map 16, Parcel 21, Tax District 3, R-2 Residential District. Ocean Pines Association, Inc., owner / Milestone Towers, applicant.

B. OC Cable Landing Site – Major Site Plan Review

Proposed construction of a 24,247 square foot building and associated site improvements for a cable landing station. Located at Tax Map 33, Parcel 136 on the Easterly side of Stephen Decatur Highway (MD Route 611), C-2 General Commercial District. Sandbridge Subsea 888 LLC, owner / Atlantic Group & Associates, Inc., engineer/applicant.

III. Adjourn

TECHNICAL REVIEW COMMITTEE

DATE OF MEETING: January 14, 2026

PROJECT: Ocean Pines Monopole

APPLICANT(S) IN ATTENDANCE:

TRC MEMBERS IN ATTENDANCE:

_____ Tremblay, Zoning Administrator
_____ Zito, DRP Specialist III
_____ Miller, Building Plans Reviewer III
_____ Mitchell, Environmental Programs
_____ White, Environmental Programs
_____ Soper, Environmental Programs
_____ Birch, Environmental Programs
_____ Mathers, Environmental Programs
_____ Owens, Fire Marshal
_____ Korb, Deputy Fire Marshal
_____ Lynch, County Roads
_____ Berdan, County Roads
_____ Wilson, State Highway Admin.
_____ Fritts, State Highway Admin.
_____ Beauchamp, W & WW, DPW
_____ Knight, Planning Commission Rep.

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DEPARTMENT OF  
DEVELOPMENT REVIEW AND PERMITTING

## Worcester County

ZONING DIVISION  
BUILDING DIVISION  
BOARD OF LICENSE  
COMMISSIONERS

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1201  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1200 / FAX: 410.632.3008  
<http://www.co.worcester.md.us/departments/drps>

ADMINISTRATIVE DIVISION  
CUSTOMER SERVICE DIVISION  
TECHNICAL SERVICES DIVISION

### WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

January 14, 2026

#### **Ocean Pines Golf Course Cell Tower - Sketch Plan Review**

Proposed construction of 150' communication tower. Located at 98 Clubhouse Drive, Ocean Pines, MD 21811. Tax Map 16, Parcel 21, Tax District 3, R-2 Residential District. Ocean Pines Association, Inc., owner / Milestone Towers, applicant.

**Prepared by:** Ben Zito, DRP Specialist

**Contact:** [bmzito@worcestermd.gov](mailto:bmzito@worcestermd.gov) or (410) 632-1200, extension 1134

**Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.**

#### **General Requirements:**

1. To obtain a Building Permit, the applicant must submit the following to the Department:
  - a. A complete building permit application along with the property owner's signature
  - b. Two (2) initial fees of \$200 made payable to Worcester County.
  - c. Three (3) sets of sealed drawings for tower design and construction documents.
  - d. Three (3) sets of sealed drawings for antenna design and construction documents.
  - e. Soils Report.
  - f. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated

occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

**Project Specific Comments:** This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

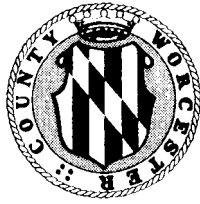
|                 |                                               |
|-----------------|-----------------------------------------------|
| <b>§ZS1-206</b> | R-2 Suburban Residential District             |
| <b>§ZS1-305</b> | Lot Requirements Generally                    |
| <b>§ZS1-306</b> | Access to Structures                          |
| <b>§ZS1-319</b> | Access and Traffic Circulation Requirements   |
| <b>§ZS1-320</b> | Off-Street Parking Areas                      |
| <b>§ZS1-321</b> | Off-Street Loading Spaces                     |
| <b>§ZS1-322</b> | Landscaping and Buffering Requirements        |
| <b>§ZS1-323</b> | Exterior Lighting                             |
| <b>§ZS1-324</b> | Signs                                         |
| <b>§ZS1-325</b> | Site Plan Review                              |
| <b>§ZS1-326</b> | Classification of Highways                    |
| <b>§ZS1-343</b> | Antennas, towers, and telecommunications uses |

1. No lighting shall be required or permitted, except what is specifically required by the FCC, FAA or another relevant state or federal agency; additionally, in instances where the FCC or FAA require daytime high-intensity strobe lighting, a set of red marker lights shall be installed for nighttime use. All strobe lights shall be turned off at twilight. §ZS1-343(b)(2)(C). <https://ecode360.com/14021660>.
2. A fence with a minimum height of twelve feet shall be installed around the perimeter of the tower base. All equipment shall be located within this fenced area. The fence shall have an access gate which shall be kept in a locked condition at all times, except when servicing is required. The fence shall be equipped with additional entrance prevention devices as necessary to prevent compound access by unauthorized personnel. §ZS1-343(b)(2)(E). <https://ecode360.com/14021662>.
3. There shall be an additional screening requirement consisting of a buffer at least twenty-five feet in width planted with native species trees capable of reaching not less than sixty feet in height when mature. §ZS1-343(b)(2)(E). <https://ecode360.com/14021662>.
4. Sheet LS-1: Please also add that Worcester County must approve all plant types and locations (General Notes #4 and #10). Please also add that the landscaping must be fully maintained until the work is accepted by Worcester County (General Note #9).

5. Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors. Drip irrigation systems are preferred. If an automatic system is not feasible, the Planning Commission at its discretion may approve an alternate watering system to maintain the plant material. §ZS1-322(b)(7). <https://ecode360.com/14021089>.
6. A maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate for a nursery will be required to be provided at permit stage to accurately determine the bond amount. §ZS1-322(g). <https://ecode360.com/14021139>
7. All telecommunications facilities and accessory structures shall be sighted in such a way as to have the least possible adverse effect on the visual environment. All non-concealed or -camouflaged facilities shall be of a galvanized finish or painted light gray or pale blue above any surrounding tree line while any portion below the tree line shall be painted gray, green, black or similar color and designed to blend into the natural environment or surrounding structures, unless otherwise required by the FAA. Furthermore, they shall be designed and sighted so as to avoid, wherever possible, application of FAA lighting and painting requirements. When located in any zoning district other than the I-1 or I-2 Districts, structures and facilities accessory to a monopole or tower shall use architecture, materials, colors and textures designed to blend with the natural environment and other structures in the general area. The concealment or camouflaging of monopoles, towers and other telecommunication facilities, using industry standard techniques and structures such as artificial trees, architectural features on buildings, flag poles and grain silos, among others, is highly recommended and should be used wherever possible. §ZS1-343(b)(2)(F). <https://ecode360.com/14021663>.

**Other Agency Approvals:**

1. Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.



Department of Development Review & Permitting  
Worcester County Government Center  
1 W. Market St., Room 1201  
Snow Hill, Maryland 21863  
410-632-1200, Ext. 1151  
pmiller@co.worcester.md.us

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Project: Ocean Pines Monopole Tower, 98 Clubhouse Drive  
Date: 1/14/2026  
Tax Map: 16 Parcel: 21 Section: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_

#### **SITE SPECIFIC COMMENTS**

1. Current Codes: 2021 International Building Code  
2021 International Energy Conservation Code  
2021 International Mechanical Code  
2020 National Electric Code (Currently)
2. Permit application for tower along with 3 sets of sealed drawings for tower design and construction documents.
3. Permit application for antennas along with 3 sets of sealed drawings for antenna design and construction documents.
3. Structural analysis will be required for all future carriers.
4. Third party inspector (special inspector/ engineering firm) information for tower erection, height verification and foundation.
5. Soils report required at the time of building permit application.
6. A pre-construction meeting will be required before any work starts.
7. Worcester County inspections required for all construction. Third party inspection will not be accepted without a Worcester County inspection.

**Please provide your design professional with a copy of these comments.**



## Worcester County

Department of Environmental Programs  
Natural Resources Division

### Memorandum

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**To: Kristen Tremblay, Zoning Administrator**

**From: Joy S. Birch, Natural Resources Planner III**

*JSB*

**Subject: Sketch Plan –Ocean Pines Golf Course - Monopole – TM 16 P 56 – 98  
Clubhouse Drive**

**Date: December 19, 2025**

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I have reviewed the above referenced Sketch Plan request and determined the property is located within the landward limits of the Atlantic Coastal Bays Critical Area Program and designated as (IDA) Intensely Developed Area within a buffer management area of A-15. The proposed activity does not appear to have any issues with the Atlantic Coastal Bay Critical Area; however, we will need all Critical Area Site Plan Regulations to be addressed (Critical Area Report, 15% afforestation, 10% pollution reduction.)

With regards to Stormwater Management and Sediment Erosion Control, it does not appear this project will need either of these approvals. If the project equals to or exceeds 5000 square feet of disturbance or 100 cubic yards of fill, then Stormwater Management and Sediment Erosion Approval will be required.

Thank you for the opportunity to comment on the above reference case relating to the Chesapeake and Atlantic Coastal Bays Critical Area requirements. If you have any additional comments or concerns, please feel free to contact me at (410)632-1220 ext. 1161 or by email at [jbirch@worcestermd.gov](mailto:jbirch@worcestermd.gov).

**Citizens and Government Working Together**




**Worcester County**  
Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Technical Review Committee

**From:** David Mathers, Natural Resources Planner IV 

**Subject:** Forest Conservation Review

**Date:** January 2, 2026

**Date of Meeting:** January 14, 2026

**Project:** Ocean Pines Golf Course Monopole – Sketch Plan Review

**Location:** 98 Clubhouse Drive, Tax Map: 16, Parcel: 21

**Owner/Developer:** Ocean Pines Association, Inc.

**Applicant:** Milestone Towers

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**This project is not required to comply with the Worcester County Forest Conservation Law.** This request is located within the landward limits of the Atlantic Coastal Bays Critical Area and therefore exempt from the Forest Conservation Act. No comment.



**Worcester County**  
Department of Environmental Programs  
Environmental Programs Division

## Memorandum

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**To:** Technical Review Committee (TRC) for a January 14, 2026 Meeting

**From:** Environmental Programs Staff

**Subject:** Ocean Pines Golf Course Monopole Sketch Plan Review – Tax Map: 16,  
Parcel: 21

**Date:** January 12, 2025

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Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs has no comments for this proposed project as there are no hindrances to water or sewage.

**Citizens and Government Working Together**





# OCEAN PINES GOLF COURSE

## 98 CLUBHOUSE DRIVE

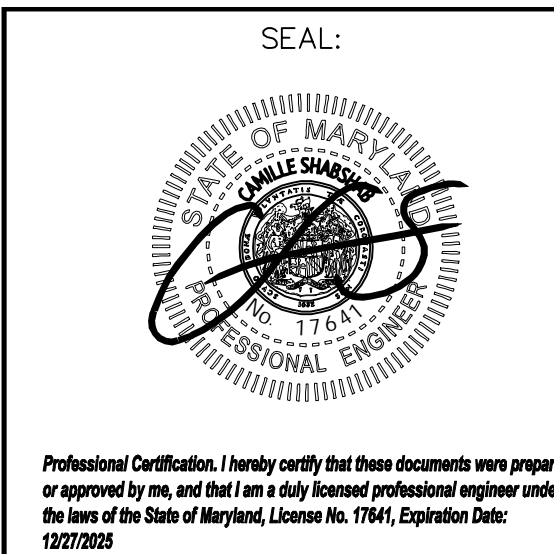
## OCEAN PINES, MD 21811

### NEW 150' MONOPINE

**entrex**  
communication services, Inc.  
6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811



#### SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
|------------|---------------|------|
| 11-11-2025 | ZONING REVIEW | A    |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |

|                                              |          |
|----------------------------------------------|----------|
| PROJECT NO:                                  | 1050.472 |
| DESIGNER:                                    | C.S.     |
| ENGINEER:                                    | M.A.     |
| THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE |          |
| 0 1/2 1                                      |          |
| GRAPHIC SCALE IN INCHES                      |          |
| SHEET TITLE:                                 |          |
| TITLE SHEET                                  |          |
| SHEET NUMBER:                                |          |
| T-1                                          |          |

#### SITE INFORMATION

##### SCOPE OF WORK:

1. INSTALL EROSION AND SEDIMENT CONTROLS.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE.
3. INSTALL TEMPORARY GRAVEL ACCESS ROAD TO COMPOUND.
4. CLEAR AND GRADE SITE TO FINAL SUBGRADE ELEVATION.
5. INSTALL MONOPINE FOUNDATION AND 150' MONOPINE.
6. INSTALL GROUNDING, TELCO PULL BOXES, UTILITY WIREWAY.
7. INSTALL VERIZON WIRELESS EQUIPMENT SLAB AND CARRIER EQUIPMENT.
8. INSTALL ELECTRICAL AND TELEPHONE CONDUIT AND HAND HOLES.
9. INSTALL FENCE AND SITE IMPROVEMENTS.
10. INSTALL VERIZON WIRELESS ANTENNAS, CABLES, RRHS AND EQUIPMENT.

##### PROPERTY INFORMATION:

JURISDICTION: WORCESTER COUNTY, MARYLAND  
PARCEL: 0016/0021/0056  
PARCEL AREA: 174.3700 A.C.  
PARCEL OWNER: OCEAN PINES ASSOCIATION INC  
PREMISES ADDRESS: 93 CLUBHOUSE DRIVE, OCEAN PINES, MD 21811  
MAILING ADDRESS: 239 OCEAN PARKWAY, BERLIN, MD 21811  
TAX ACCOUNT NUMBER: 03-074900  
NEIGHBORHOOD: 13081.24  
ZONING: R-2  
STRUCTURE TYPE: NEW MONOPINE  
GROUND ELEVATION: 5.40' NAVD88  
LATITUDE: N 38° 23' 32.957"  
LONGITUDE: W 75° 09' 01.542"

NOTE: MONOPOLES AND COMMUNICATION TOWERS SHALL BE INSTALLED IN CONFORMANCE WITH ANSI/EIA/TIA-222, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.

#### VICINITY MAP



#### SHEET INDEX

- |      |                                      |
|------|--------------------------------------|
| T-1  | TITLE SHEET                          |
| Z-1  | SITE PLAN                            |
| Z-2A | PROPERTY ADJOINERS                   |
| Z-2B | PROPERTY ADJOINERS                   |
| Z-2C | PROPERTY ADJOINERS                   |
| Z-2D | PROPERTY ADJOINERS                   |
| Z-2E | PROPERTY ADJOINERS                   |
| Z-2F | PROPERTY ADJOINERS                   |
| Z-3  | ENLARGED SITE PLAN                   |
| Z-4  | COMPOUND PLAN                        |
| Z-5  | MONOPOLE ELEVATION                   |
| Z-6  | EROSION AND SEDIMENT CONTROL DETAILS |
| Z-7  | SITE DETAILS                         |
| Z-8  | SIGNAGE DETAILS                      |
| L-1  | LANDSCAPE PLAN & DETAILS             |

#### PROJECT TEAM

APPLICANT:

ARCHITECT/ENGINEER:

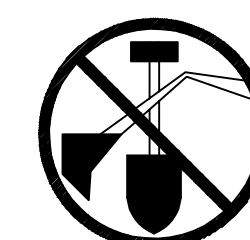
#### CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 NFPA 101, LIFE SAFETY CODE
- AMERICAN CONCRETE INSTITUTE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- ANSI/TIA-222-H

#### DRAWING APPROVALS

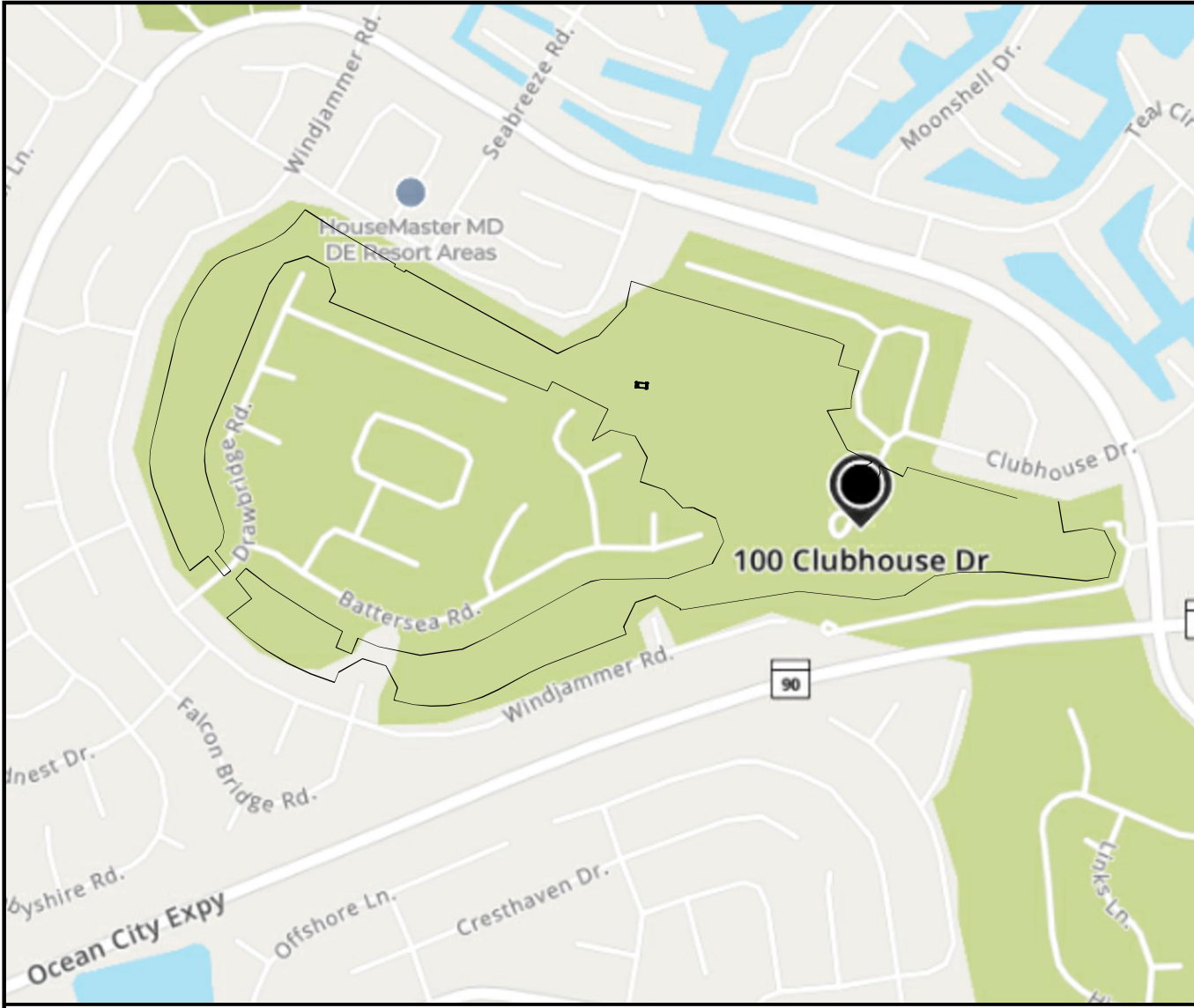
|                      | SIGNATURE | DATE |
|----------------------|-----------|------|
| OWNER REPRESENTATIVE |           |      |
| SITE ACQUISITION     |           |      |
| CONSTRUCTION MANAGER |           |      |
| ZONING               |           |      |
| RF ENGINEER          |           |      |



CALL  
UTILITIES NOTIFICATION  
MISS UTILITY  
1-800-257-7777  
3 WORKING DAYS PRIOR TO DIGGING







### VICINITY MAP

SCALE: 1" = 1,000'



### SITE INFORMATION & NOTES

JURISDICTION: WORCESTER COUNTY, MARYLAND  
ZONING: R2  
TAX ACCOUNT NUMBER: 03-074900  
MAP/GRID PARCEL/LOT: 0016/0021/0056/  
PARCEL AREA: 174.37 ACRES  
PARCEL OWNER: OCEAN PINES ASSOCIATION INC  
OWNER ADDRESS: 239 OCEAN PKWY BERLIN, MD 21811  
GROUND ELEVATION: 5.40' NAVD88  
LATITUDE: N 38° 23' 32.957"  
LONGITUDE: W 75° 09' 01.542"

### LEGEND

- FOUND PROPERTY CORNER
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- CULVERT

### LINE TYPES

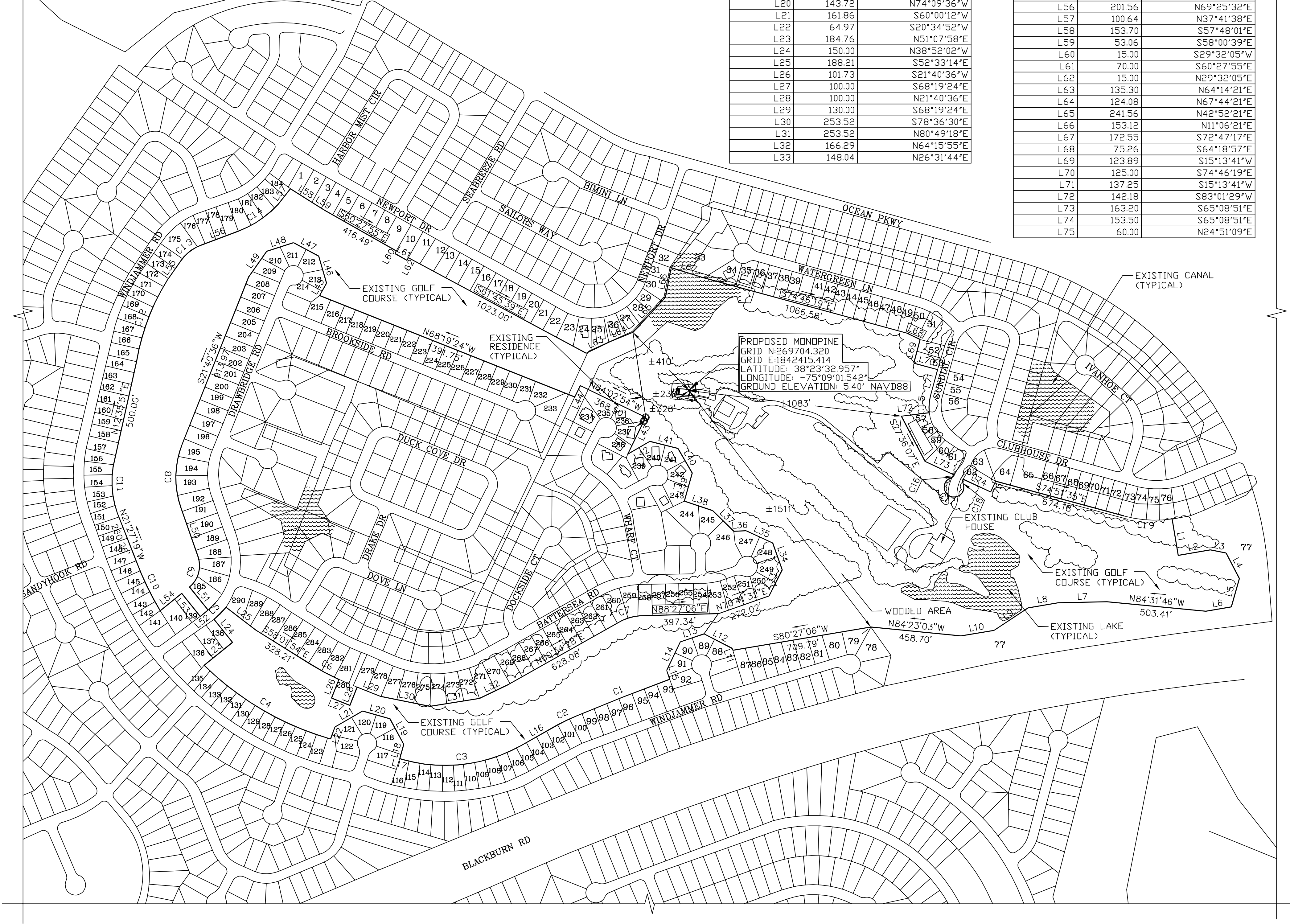
- BOUNDARY LINE - SUBJECT PARCEL
- UNSURVEYED LINE - BOUNDARY OF ADJOINERS
- EASEMENT BOUNDARY
- RIGHT OF WAY BOUNDARY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB
- FENCE LINE - CHAIN
- OVERHEAD UTILITY LINE
- TREE OR VEGETATION LINE

| MONOPINE SETBACKS        |          |            |
|--------------------------|----------|------------|
|                          | REQUIRED | PROPOSED   |
| FRONT YARD R.O.W. (EAST) | 155.0'   | ±1,083'    |
| REAR YARD (WEST)         | 155.0'   | ±238'      |
| SIDE YARD (NORTH)        | 155.0'   | ±410'      |
| SIDE YARD (SOUTH)        | 155.0'   | ±1,511'    |
| CLOSEST HOUSE            | 310.0'   | ±328' WEST |

| CURVE |        |            |               |        |  |
|-------|--------|------------|---------------|--------|--|
| CURVE | LENGTH | ARC LENGTH | CHORD BEARING | CHORD  |  |
| C1    | 509.82 | 11960.10   | S68°31'36"W   | 509.78 |  |
| C2    | 103.30 | 860.59     | S64°17'50"W   | 103.24 |  |
| C3    | 619.70 | 784.25     | S83°12'25"W   | 603.70 |  |
| C4    | 748.88 | 1500.30    | N59°42'42"W   | 741.13 |  |
| C5    | 86.51  | 341.00     | N44°44'45"E   | 86.28  |  |
| C6    | 164.21 | 1285.44    | S61°41'29"E   | 164.10 |  |
| C7    | 124.48 | 255.85     | N71°59'32"E   | 123.26 |  |
| C8    | 330.29 | 462.00     | S01°11'45"W   | 323.30 |  |
| C9    | 169.60 | 138.00     | S15°55'24"W   | 159.13 |  |
| C10   | 280.60 | 1500.52    | N25°49'03"W   | 280.19 |  |
| C11   | 284.17 | 476.98     | N02°21'54"W   | 279.99 |  |
| C12   | 443.93 | 1135.92    | N20°37'41"E   | 441.11 |  |
| C13   | 131.48 | 218.68     | N52°12'48"E   | 129.51 |  |
| C14   | 245.74 | 529.15     | N56°07'16"E   | 243.54 |  |
| C15   | 87.19  | 225.00     | S04°07'36"W   | 86.65  |  |
| C16   | 21.03  | 25.00      | S48°57'04"W   | 20.42  |  |
| C17   | 241.19 | 50.00      | S65°08'31"E   | 66.66  |  |
| C18   | 21.03  | 25.00      | N00°45'53"E   | 20.42  |  |
| C19   | 245.95 | 606.50     | S86°28'38"E   | 244.27 |  |

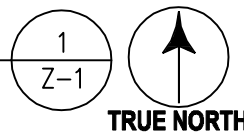
| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 186.94 | S09°32'54"E |
| L2         | 165.00 | N80°27'06"E |
| L3         | 81.57  | S78°37'04"E |
| L4         | 145.40 | S27°32'54"E |
| L5         | 150.00 | S15°57'06"W |
| L6         | 130.57 | S80°27'06"W |
| L7         | 246.54 | S88°51'18"W |
| L8         | 154.21 | S80°27'06"W |
| L9         | 207.28 | S56°32'31"W |
| L10        | 170.67 | S80°27'06"W |
| L11        | 10.75  | N18°41'58"W |
| L12        | 160.15 | N62°51'46"W |
| L13        | 126.84 | S71°18'02"W |
| L14        | 160.15 | S25°27'50"W |
| L15        | 47.30  | S18°41'58"E |
| L16        | 212.04 | S60°34'28"W |
| L17        | 16.65  | N74°09'36"W |
| L18        | 74.67  | N15°50'24"E |
| L19        | 148.04 | N28°19'24"W |
| L20        | 143.72 | N74°09'36"W |
| L21        | 161.86 | S60°00'12"W |
| L22        | 64.97  | S20°34'52"W |
| L23        | 184.76 | N51°07'58"E |
| L24        | 150.00 | N38°52'02"W |
| L25        | 188.21 | S52°33'14"E |
| L26        | 101.73 | S21°40'36"W |
| L27        | 100.00 | S68°19'24"E |
| L28        | 100.00 | N21°40'36"E |
| L29        | 130.00 | S68°19'24"E |
| L30        | 253.52 | S78°36'30"E |
| L31        | 253.52 | N80°49'18"E |
| L32        | 166.29 | N64°15'55"E |
| L33        | 148.04 | N26°31'44"E |

|     |        |             |
|-----|--------|-------------|
| L34 | 143.72 | N19°18'28"W |
| L35 | 148.04 | N65°08'40"W |
| L36 | 63.27  | S87°48'39"W |
| L37 | 150.00 | N45°42'42"W |
| L38 | 151.22 | N71°33'07"W |
| L39 | 148.04 | N15°45'37"E |
| L40 | 143.72 | N30°04'35"W |
| L41 | 148.04 | N75°54'47"W |
| L42 | 127.88 | S59°56'25"W |
| L43 | 206.64 | N25°57'06"E |
| L44 | 64.30  | S25°57'06"W |
| L45 | 71.86  | N29°41'33"E |
| L46 | 143.72 | N16°08'39"W |
| L47 | 143.72 | N61°58'21"W |
| L48 | 143.72 | S72°09'57"W |
| L49 | 155.98 | S35°11'28"W |
| L50 | 263.33 | S19°17'04"E |
| L51 | 150.00 | S38°52'02"E |
| L52 | 50.73  | S51°07'56"W |
| L53 | 150.00 | N38°52'02"W |
| L54 | 139.80 | S51°07'58"W |
| L55 | 120.00 | N34°59'21"E |
| L56 | 201.56 | N69°25'32"E |
| L57 | 100.64 | N37°41'38"E |
| L58 | 153.70 | S57°48'01"E |
| L59 | 53.06  | S58°00'39"E |
| L60 | 15.00  | S29°32'05"W |
| L61 | 70.00  | S60°27'55"E |
| L62 | 15.00  | N29°32'05"E |
| L63 | 135.30 | N64°14'21"E |
| L64 | 124.08 | N67°44'21"E |
| L65 | 241.56 | N42°52'21"E |
| L66 | 153.12 | N11°06'21"E |
| L67 | 172.55 | S72°47'17"E |
| L68 | 75.26  | S64°18'57"E |
| L69 | 123.89 | S15°13'41"W |
| L70 | 125.00 | S74°46'19"E |
| L71 | 137.25 | S15°13'41"W |
| L72 | 142.18 | S83°01'29"W |
| L73 | 163.20 | S65°08'51"E |
| L74 | 153.50 | S65°08'51"E |
| L75 | 60.00  | N24°51'09"E |



### SITE PLAN

SCALE: 1" = 300'



6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



Milestone  
Towers

OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811

SEAL:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025

### SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
|------------|---------------|------|
| 11-11-2025 | ZONING REVIEW | A    |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |

PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE

0 1/2 1

GRAPHIC SCALE IN INCHES

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

Z-1





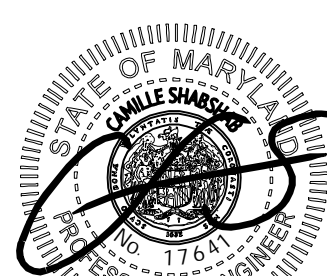
6100 EXECUTIVE BLVD.  
SUITE 430  
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PHONE: (202) 408-0960



Milestone  
Towers

OCEAN PINES  
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PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

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TO BE FULL-SIZE  
0 1/2 1  
GRAPHIC SCALE IN INCHES

SHEET TITLE:

PROPERTY  
ADJOINERS

SHEET NUMBER:

Z-2A

| NO | ACCOUNT   | OWNER                                                         | PREMISE ADDRESS  | CITY STATE ZIP       | MAILING ADDRESS               | CITY STATE ZIP           | DEED BOOK/PAGE | USE         | ZONING | AREA     |
|----|-----------|---------------------------------------------------------------|------------------|----------------------|-------------------------------|--------------------------|----------------|-------------|--------|----------|
| 1  | 03-080331 | EWIN EMILY A                                                  | 28 NEWPORT DR    | OCEAN PINES MD 21811 | 28 NEWPORT DR                 | OCEAN PINES MD 21811     | 7759/116       | RESIDENTIAL | R-3    | 7959 SF  |
| 2  | 03-039315 | MOSCHINI KAREN E & MOSCHINI WILLIAM JAMES                     | 30 NEWPORT DR    | OCEAN PINES MD 21811 | 30 NEWPORT DR                 | OCEAN PINES MD 21811     | 7249/324       | RESIDENTIAL | R-3    | 7700 SF  |
| 3  | 03-058875 | LONG ROBERT M & MARGARET E LONG                               | 32 NEWPORT DR    | OCEAN PINES MD 21811 | 32 NEWPORT DR                 | OCEAN PINES MD 21811     | 4892/418       | RESIDENTIAL | R-3    | 7700 SF  |
| 4  | 03-057534 | CARR DANIEL CHRISTOPHER                                       | 34 NEWPORT DR    | OCEAN PINES MD 21811 | 34 NEWPORT DR                 | OCEAN PINES MD 21811     | 5125/683       | RESIDENTIAL | R-3    | 7700 SF  |
| 5  | 03-112071 | OCEAN PINES ASSOCIATION INC                                   | NEWPORT DR       | OCEAN PINES MD 21811 | 239 OCEAN PKWY                | BERLIN MD 21811          | 453/5867       | RESIDENTIAL | R-3    | 5897 SF  |
| 6  | 03-058700 | SHORT JUDITH CAROL                                            | 38 NEWPORT DR    | OCEAN PINES MD 21811 | 30 HARLAN TRACE               | BERLIN MD 21811          | 6253/125       | RESIDENTIAL | R-3    | 7700 SF  |
| 7  | 03-066762 | TOOMEY BERTRAM ROBERT JR & TOOMEY MARY RITA                   | 40 NEWPORT DR    | OCEAN PINES MD 21811 | 560 KIRK DR                   | SPRINGFIELD PA 19064     | 6249/207       | RESIDENTIAL | R-3    | 7700 SF  |
| 8  | 03-070271 | FRANKOWSKI DONNA                                              | 42 NEWPORT DR    | OCEAN PINES MD 21811 | 42 NEWPORT DR                 | OCEAN PINES MD 21811     | 7951/60        | RESIDENTIAL | R-3    | 8750 SF  |
| 9  | 03-069303 | CARROLL JEFFREY CARL                                          | 44 NEWPORT DR    | OCEAN PINES MD 21811 | 1403 COVINGTON ST             | BALTIMORE MD 21230       | 6472/155       | RESIDENTIAL | R-3    | 7700 SF  |
| 10 | 03-091902 | PINER NEIL E & SUZANNE K PINER                                | 46 NEWPORT DR    | OCEAN PINES MD 21811 | 17002 HUGHES RD               | POOLESVILLE MD 20837     | 4830/373       | RESIDENTIAL | R-3    | 7768 SF  |
| 11 | 03-067815 | LUSE PAMELA A                                                 | 48 NEWPORT DR    | OCEAN PINES MD 21811 | 3 TENBY CT                    | LUTHERVILLE MD 21093     | 8349/133       | RESIDENTIAL | R-3    | 7768 SF  |
| 12 | 03-052524 | STIEHL JEANNE E & FREDERICK F                                 | 50 NEWPORT DR    | OCEAN PINES MD 21811 | 50 NEWPORT DR                 | OCEAN PINES MD 21811     | 2418/229       | RESIDENTIAL | R-3    | 7700 SF  |
| 13 | 03-072835 | BARRETT HOMER BRUCE & MARGUERITE J                            | 52 NEWPORT DR    | OCEAN PINES MD 21811 | 52 NEWPORT DR                 | OCEAN PINES MD 21811     | 2380/121       | RESIDENTIAL | R-3    | 7700 SF  |
| 14 | 03-057256 | MIDDLETON MICHAEL PATRICK & SCHULTZ HEATHER LYNN              | 54 NEWPORT DR    | OCEAN PINES MD 21811 | 54 NEWPORT DR                 | OCEAN PINES MD 21811     | 6652/190       | RESIDENTIAL | R-3    | 7700 SF  |
| 15 | 03-091899 | CALLAHAN PAUL TIMOTHY & CALLAHAN SHELLY AYN                   | 56 NEWPORT DR    | OCEAN PINES MD 21811 | 27 BRIARCREST DR              | OCEAN PINES MD 21811     | 6319/405       | RESIDENTIAL | R-3    | 7700 SF  |
| 16 | 03-089584 | RICE CHRISTOPHER W & RICE KATARINA                            | 58 NEWPORT DR    | OCEAN PINES MD 21811 | 58 NEWPORT DR                 | OCEAN PINES MD 21811     | 7996/253       | RESIDENTIAL | R-3    | 7700 SF  |
| 17 | 03-066738 | PAYNE LEE ROY JR & PAYNE LIDA MARLAINE H                      | 60 NEWPORT DR    | OCEAN PINES MD 21811 | 60 NEWPORT DR                 | OCEAN PINES MD 21811     | 5548/406       | RESIDENTIAL | R-3    | 7700 SF  |
| 18 | 03-056643 | SCHEPP CELESTE                                                | 62 NEWPORT DR    | OCEAN PINES MD 21811 | 62 NEWPORT DR                 | OCEAN PINES MD 21811     | 7941/364       | RESIDENTIAL | R-3    | 7700 SF  |
| 19 | 03-047776 | KEESLING VIOLA K FOR LIFE                                     | 64 NEWPORT DR    | OCEAN PINES MD 21811 | 11630 GLEN ARM U09            | GLENARM MD 21057         | 6383/291       | RESIDENTIAL | R-3    | 7700 SF  |
| 20 | 03-061183 | COMISKEY SARAH H & COMISKEY STEPHEN W                         | 66 NEWPORT DR    | OCEAN PINES MD 21811 | 3787 STEPHENSON PL NW         | WASHINGTON DC 20015      | 5982/127       | RESIDENTIAL | R-3    | 7700 SF  |
| 21 | 03-061159 | COMISKEY SARAH H & COMISKEY STEPHEN W                         | 68 NEWPORT DR    | OCEAN PINES MD 21811 | 3787 STEPHENSON PL NW         | WASHINGTON DC 20015      | 5982/82        | RESIDENTIAL | R-3    | 7700 SF  |
| 22 | 03-061175 | COMISKEY SARAH H & COMISKEY STEPHEN W                         | 70 NEWPORT DR    | OCEAN PINES MD 21811 | 3787 STEPHENSON PL NW         | WASHINGTON DC 20015      | 5982/116       | RESIDENTIAL | R-3    | 7847 SF  |
| 23 | 03-039722 | MADISON AMBER                                                 | 72 NEWPORT DR    | OCEAN PINES MD 21811 | 72 NEWPORT DR                 | OCEAN PINES MD 21811     | 8968/131       | RESIDENTIAL | R-3    | 8759 SF  |
| 24 | 03-047172 | BARNARD WILLIAM S & BURMAN FRANCES S                          | 74 NEWPORT DR    | OCEAN PINES MD 21811 | 7113 DEERFIELD RD             | PIKESVILLE MD 21208      | 8226/286       | RESIDENTIAL | R-3    | 11841 SF |
| 25 | 03-065774 | MCFADDEN PAMELA LYNN & MCFADDEN RUSSELL BRIAN                 | 76 NEWPORT DR    | OCEAN PINES MD 21811 | 76 NEWPORT DR                 | OCEAN PINES MD 21811     | 7940/281       | RESIDENTIAL | R-3    | 12203 SF |
| 26 | 03-077357 | GREGG TRUST THE GREGG GORDON LEE TRUSTEE ETAL                 | 78 NEWPORT DR    | OCEAN PINES MD 21811 | 17710 POND RD POB 2           | ASHTON MD 20861          | 8303/377       | RESIDENTIAL | R-3    | 10281 SF |
| 27 | 03-046486 | THOMPSON RICHARD LEE JR & THOMPSON KRISTIE LYNN               | 80 NEWPORT DR    | OCEAN PINES MD 21811 | 33 TOWER POINT RD             | CHESAPEAKE CITY MD 21915 | 8863/382       | RESIDENTIAL | R-3    | 10429 SF |
| 28 | 03-064131 | SHULDES HOLDINGS LLC                                          | 82 NEWPORT DR    | OCEAN PINES MD 21811 | 11213 ANGUS WAY               | WOODSBORO MD 21798       | 6913/83        | RESIDENTIAL | R-3    | 9839 SF  |
| 29 | 03-064158 | JOHNSON BENJAM,MIN H                                          | 84 NEWPORT DR    | OCEAN PINES MD 21811 | 84 NEWPORT DR                 | OCEAN PINES MD 21811     | 8461/1909      | RESIDENTIAL | R-3    | 10109 SF |
| 30 | 03-086720 | 86 NEWPORT DRIVE TRUST UTTER DANIEL ELMER TRUSTEE             | 86 NEWPORT DR    | OCEAN PINES MD 21811 | 4016 BRIAR POINT RD           | BALTIMORE MD 21220       | 8087/256       | RESIDENTIAL | R-3    | 13282 SF |
| 31 | 03-086712 | PIERCE PHILLIP T & PIERCE CAROLYN C                           | 88 NEWPORT DR    | OCEAN PINES MD 21811 | 1844A SYNDERSBURG RD          | WESTMINSTER MD 21157     | 5667/21        | RESIDENTIAL | R-3    | 9504 SF  |
| 32 | 03-046753 | HARMAN GARY G & BARABRA J HARMAN FOR LIFE                     | 90 NEWPORT DR    | OCEAN PINES MD 21811 | 90 NEWPORT DR                 | OCEAN PINES MD 21811     | 7386/462       | RESIDENTIAL | R-3    | 9304 SF  |
| 33 | 03-077373 | NARDYZ LEE & NARDYZ SUSAN                                     | 41 WATERGREEN LN | OCEAN PINES MD 21811 | 41 WATERGREEN LN              | OCEAN PINES MD 21811     | 8139/308       | RESIDENTIAL | R-3    | 26199 SF |
| 34 | 03-079376 | COMBS KENNETH R & COMBS JOANNE P                              | 39 WATERGREEN LN | OCEAN PINES MD 21811 | 3512 MOYLAND DR               | BOWIE MD 20715           | 5413/438       | RESIDENTIAL | R-3    | 10255 SF |
| 35 | 03-077381 | DONALD K MARSHALL REV TRUST MARSHALL DONALD K ETAL TRUSTEES   | 37 WATERGREEN LN | OCEAN PINES MD 21811 | 37 WATERGREEN LN              | OCEAN PINES MD 21811     | 8217/186       | RESIDENTIAL | R-3    | 9032 SF  |
| 36 | 03-045374 | GARBER CURTIS                                                 | 35 WATERGREEN LN | OCEAN PINES MD 21811 | POB 937                       | BEAR DE 19701            | 1656/365       | RESIDENTIAL | R-3    | 7500 SF  |
| 37 | 03-067130 | TIGNALL MAY D                                                 | 33 WATERGREEN LN | OCEAN PINES MD 21811 | 33 WATERGREEN LN              | OCEAN PINES MD 21811     | 6953/42        | RESIDENTIAL | R-3    | 7500 SF  |
| 38 | 03-037339 | WAESCHE CHARLES C & BETTY JANE                                | 31 WATERGREEN LN | OCEAN PINES MD 21811 | 31 WATERGREEN LN              | OCEAN PINES MD 21811     | 2439/190       | RESIDENTIAL | R-3    | 7500 SF  |
| 39 | 03-037347 | ABDULLAH HALICI TRUST THE HAUCI ABDULLAH TRUSTEE              | 29 WATERGREEN LN | OCEAN PINES MD 21811 | 7129 PANORAMA DR              | ROCKVILLE MD 20855       | 9014/302       | RESIDENTIAL | R-3    | 7500 SF  |
| 40 | 03-042383 | THORWART RONALD J & NORMA F                                   | 27 WATERGREEN LN | OCEAN PINES MD 21811 | 27 WATERGREEN LN              | OCEAN PINES MD 21811     | 2316/86        | RESIDENTIAL | R-3    | 7500 SF  |
| 41 | 03-074110 | CERCEO DOMENICK E & CERCEO CHERYL A                           | 25 WATERGREEN LN | OCEAN PINES MD 21811 | 25 WATERGREEN LN              | OCEAN PINES MD 21811     | 7124/39        | RESIDENTIAL | R-3    | 7500 SF  |
| 42 | 03-058379 | HOFFMAN CYNTHIA M & HARPER ANDREW ETAL                        | 23 WATERGREEN LN | OCEAN PINES MD 21811 | 23 WATERGREEN LN              | OCEAN PINES MD 21811     | 8536/137       | RESIDENTIAL | R-3    | 7500 SF  |
| 43 | 03-059944 | JOLLY STEPHEN W                                               | 21 WATERGREEN LN | OCEAN PINES MD 21811 | 21 WATERGREEN LN              | OCEAN PINES MD 21811     | 7591/199       | RESIDENTIAL | R-3    | 7500 SF  |
| 44 | 03-064905 | GRESZCYK JASON DAVID                                          | 19 WATERGREEN LN | OCEAN PINES MD 21811 | 43 WOOD DUCK RD               | OCEAN PINES MD 21811     | 7714/217       | RESIDENTIAL | R-3    | 7500 SF  |
| 45 | 03-080951 | MOORE PATRICIA A                                              | 17 WATERGREEN LN | OCEAN PINES MD 21811 | 650 WILLOW VALLEY SQ APT K212 | LANCASTER PA 17602       | 7737/248       | RESIDENTIAL | R-3    | 7500 SF  |
| 46 | 03-069613 | PEINDL GENE S & BEVERLY A                                     | 15 WATERGREEN LN | OCEAN PINES MD 21811 | 2407 BROWNFIELD DR            | GREENSBURG PA 15601      | 2632/140       | RESIDENTIAL | R-3    | 7500 SF  |
| 47 | 03-057844 | BEDIENT MICHAEL A & BEDIENT GAIL L                            | 13 WATERGREEN LN | OCEAN PINES MD 21811 | 61 PEACEFUL LN                | EPHRATA PA 17522         | 8476/403       | RESIDENTIAL | R-3    | 7500 SF  |
| 48 | 03-070611 | CARBERRY DAVID SR                                             | 11 WATERGREEN LN | OCEAN PINES MD 21811 | 11 WATERGREEN LN              | OCEAN PINES MD 21811     | 6061/24        | RESIDENTIAL | R-3    | 7500 SF  |
| 49 | 03-079619 | RICCHIARI FRANCESCA CATANZARO & RICCHIARI PIERLUIGI CATANZARO | 9 WATERGREEN LN  | OCEAN PINES MD 21811 | 9708 DUN HORSE LN             | DERWOOD MD 20855         | 8055/355       | RESIDENTIAL | R-3    | 7500 SF  |
| 50 | 03-084841 | WOREK CATHY                                                   | 7 WATERGREEN LN  | OCEAN PINES MD 21811 | 229 PARISH RD                 | FALLSINGTON PA 19054     | 843/99         | RESIDENTIAL | R-3    | 7642 SF  |
| 51 | 03-088405 | PALMER ADDISON HAYES & PALMER AMY BONITZ                      | 5 WATERGREEN LN  | OCEAN PINES MD 21811 | 631 ST JOHNS RD               | BALTIMORE MD 21210       | 8263/416       | RESIDENTIAL | R-3    | 7642 SF  |
| 52 | 03-075818 | NIESSNER MARTIN J JR & NIESSNER ELIZABETH A                   | 17 SUNDIAL CIR   | OCEAN PINES MD 21811 | 17 SUNDIAL CIR                | OCEAN PINES MD 21811     | 7406/208       | RESIDENTIAL | R-3    | 7541 SF  |





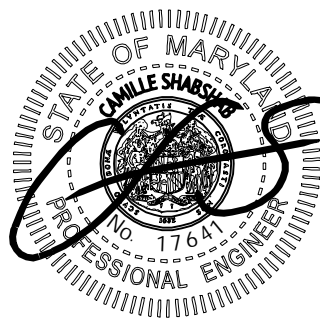
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SEAL:



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025

SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
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| 11-11-2025 | ZONING REVIEW | A    |
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|            |               |      |
|            |               |      |
|            |               |      |

PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE

0 1/2 1

GRAPHIC SCALE IN INCHES

SHEET TITLE:

PROPERTY  
ADJOINERS

SHEET NUMBER:

Z-2B

|     |            |                                                                   |     |               |                      |       |                    |                          |            |             |     |          |
|-----|------------|-------------------------------------------------------------------|-----|---------------|----------------------|-------|--------------------|--------------------------|------------|-------------|-----|----------|
| 53  | 03-075796  | RONALD W & DOLORES V LEIGH REVOCABLE TRUST                        | 15  | SUNDIAL CIR   | OCEAN PINES MD 21811 | 15    | SUNDIAL CIR        | OCEAN PINES MD 21811     | 5608/47    | RESIDENTIAL | R-3 | 7500 SF  |
| 54  | 03-039390  | BOIE STEVEN G & BIOIE ROSALIEANNE ACUAVERA                        | 14  | SUNDIAL CIR   | OCEAN PINES MD 21811 | 12819 | FOX FERN LN        | CLARKSBURG MD 20871      | 8721/112   | RESIDENTIAL | R-3 | 7500 SF  |
| 55  | 03-041840  | CRONIN THOMAS E & HEDWIG M                                        | 12  | SUNDIAL CIR   | OCEAN PINES MD 21811 | 12    | SUNDIAL CIR        | OCEAN PINES MD 21811     | 2861/341   | RESIDENTIAL | R-3 | 7500 SF  |
| 56  | 03-071367  | CYBURT JULIA ANN                                                  | 10  | SUNDIAL CIR   | OCEAN PINES MD 21811 | 10    | SUNDIAL CIR        | OCEAN PINES MD 21811     | 8386/237   | RESIDENTIAL | R-3 | 7646 SF  |
| 57  | 03-045404  | SPARTA LAWRENCE W & SPARTA MARY BETH                              | 9   | SUNDIAL CIR   | OCEAN PINES MD 21811 | 9     | SUNDIAL CIR        | OCEAN PINES MD 21811     | 6368/166   | RESIDENTIAL | R-3 | 9030 SF  |
| 58  | 03-071197  | SMITH DONALD M & ANNETTE D                                        | 7   | SUNDIAL CIR   | OCEAN PINES MD 21811 | 527   | AUGUSTA DR         | ARNOLD MD 21012          | 2452/413   | RESIDENTIAL | R-3 | 8164 SF  |
| 59  | 03-071200  | ROUNTREE SYLVIA H                                                 | 5   | SUNDIAL CIR   | OCEAN PINES MD 21811 | 5     | SUNDIAL CIR        | OCEAN PINES MD 21811     | 1994/332   | RESIDENTIAL | R-3 | 9030 SF  |
| 60  | 03-060845  | FALCONE RALPH F & ALICIA FALCONE TRUSTEES                         | 3   | SUNDIAL CIR   | OCEAN PINES MD 21811 | 1248  | BONAIRE RD         | FOREST HILL MD 21050     | 3403/386   | RESIDENTIAL | R-3 | 8229 SF  |
| 61  | 03-056139  | REBSTOCK KRAIG E & REBSTOCK KAREN M                               | 92  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 967 A | SHORELAND DR       | GLEN BURNIE MD 21060     | 6736/386   | RESIDENTIAL | R-3 | 9125 SF  |
| 62  | 03-081427  | SWANSON ERIC ALEXANDER & SWANSON ALEXANDRA                        | 91  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 91    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 8618/468   | RESIDENTIAL | R-3 | 9210 SF  |
| 63  | 03-069540  | HIGGINS FRANCIS V & HIGGINS JEAN L                                | 89  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 89    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 7289/380   | RESIDENTIAL | R-3 | 8856 SF  |
| 64  | 03-081710  | HISTORIC BRICKS LLC                                               | 87  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 1091  | POPLAR DR          | ANNAPOLIS MD 21409       | 8524/52    | RESIDENTIAL | R-3 | 19831 SF |
| 65  | 03-085554  | EIGHTY THREE LLC                                                  | 83  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 83    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 8316/174   | RESIDENTIAL | R-3 | 22159 SF |
| 66  | 03-054845  | MCNANEY MICHAEL F & MOLLY J MCNANEY                               | 81  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 81    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 3760/110   | RESIDENTIAL | R-3 | 9210 SF  |
| 67  | 03-085163  | CAPOZZI JOHN THOMAS & CAPOZZI LIA                                 | 79  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 79    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 7764/410   | RESIDENTIAL | R-3 | 9210 SF  |
| 68  | 03-081435  | RAYMOND F DETIG LIVING TRUST & DETIG RAYMOND F TRUSTEE            | 77  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 317   | HEDGEROW DR        | VENETIA PA 15367         | 6381/97    | RESIDENTIAL | R-3 | 9210 SF  |
| 69  | 03-072401  | PACKO JOHN A & PACKO KATHLEEN A                                   | 75  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 3232  | SANTEE RD          | BETHLEHEM PA 18010       | 7471/453   | RESIDENTIAL | R-3 | 9210 SF  |
| 70  | 03-099790  | SPAHR JACK R FOR LIFE                                             | 73  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 73    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 7764/500   | RESIDENTIAL | R-3 | 9210 SF  |
| 71  | 03-059804  | PICKETT JOHN EDWARD & PICKETT ANGELA MARY                         | 71  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 12555 | CLOVER HILL DR     | WEST FRIENDSHIP MD 21794 | 8765/297   | RESIDENTIAL | R-3 | 9210 SF  |
| 72  | 03-081443  | SCHMIDT JOHN L III & SCHMIDT JANET K                              | 69  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 204   | OAKDALE RD         | LINTHICUM MD 21090       | 1985/400   | RESIDENTIAL | R-3 | 9210 SF  |
| 73  | 03-082261  | BURNS ALLEN R & BURNS GLORIA M                                    | 67  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 1315  | PENGUIN CT         | PUNTA GORDA FL 33950     | 2658/303   | RESIDENTIAL | R-3 | 9751 SF  |
| 74  | 03-066290  | ROOKER GEORGE AVERY & ROOKER DEBRA LEA                            | 65  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 65    | CLUBHOUSE DR       | OCEAN PINES MD 21811     | 8085/255   | RESIDENTIAL | R-3 | 10207 SF |
| 75  | 03-065154  | TRENT MELINDA Y & FITZKEE SAMUEL J                                | 63  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 107   | KILGANNON LN       | LANCASTER PA 17603       | 8068/179   | RESIDENTIAL | R-3 | 10207 SF |
| 76  | 03-061957  | GOODWIN DAVID W & CAROL LEE                                       | 61  | CLUBHOUSE DR  | OCEAN PINES MD 21811 | 207   | PARK CIR           | ELKTON MD 21921          | 2563/219   | RESIDENTIAL | R-3 | 10207 SF |
| 77  |            | BORDERLINKS RESORT                                                |     |               |                      |       |                    |                          |            |             |     |          |
| 78  | 03-093980  | OT LLC                                                            | 0   | WINDJAMMER RD | OCEAN PINES MD 21811 | 222   | N CONSTITUTION AVE | NEW FREEDOM PA 17349     | 8824/13    | RESIDENTIAL | R-2 | 15837 SF |
| 79  | 03-054853  | DICKARD FRANK K                                                   | 275 | WINDJAMMER RD | OCEAN PINES MD 21811 | 29    | BANGERT AVE        | PERRY HALL MD 21128      | 8507/363   | RESIDENTIAL | R-2 | 11928 SF |
| 80  | 03-041417  | SHOCKLEY THOMAS CLAYTON & SHOCKLEY ANN R                          | 273 | WINDJAMMER RD | OCEAN PINES MD 21811 | 273   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6270/357   | RESIDENTIAL | R-2 | 12112 SF |
| 81  | 03-042936  | HUETHER ROBERT A & LAURA HUETHER                                  | 271 | WINDJAMMER RD | OCEAN PINES MD 21811 | 271   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 3894/1     | RESIDENTIAL | R-2 | 10551 SF |
| 82  | 03-068919  | BIANCANIELLO FRABNCIS S & BIANCANIELLO MARY JEAN                  | 269 | WINDJAMMER RD | OCEAN PINES MD 21811 | 269   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 4022/98    | RESIDENTIAL | R-2 | 9127 SF  |
| 83  | 03-068013  | GOLDBERG AUDREY P FOR LIVE                                        | 267 | WINDJAMMER RD | OCEAN PINES MD 21811 | 267   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8507/304   | RESIDENTIAL | R-2 | 8890 SF  |
| 84  | 03-068862  | TILLMAN HARRY G & TILLMAN LINDA A                                 | 266 | WINDJAMMER RD | OCEAN PINES MD 21811 | 266   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 7098/KL453 | RESIDENTIAL | R-2 | 9345 SF  |
| 85  | 03-078485  | CLINTON THOMAS D & WENZING CLINTON MARGARET L                     | 263 | WINDJAMMER RD | OCEAN PINES MD 21811 | 263   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6562/36    | RESIDENTIAL | R-2 | 9823 SF  |
| 86  | 03-059502  | BENA MATHIS CATHARINE C FOR LIVE                                  | 261 | WINDJAMMER RD | OCEAN PINES MD 21811 | 261   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8568/205   | RESIDENTIAL | R-2 | 10326 SF |
| 87  | 03-074730  | OWENS CHARLES MATHIS & OWENS MICHELE                              | 259 | WINDJAMMER RD | OCEAN PINES MD 21811 | 108   | CHELSEA GROVE CT   | PASADENA MD 21122        | 8830/420   | RESIDENTIAL | R-2 | 11101 SF |
| 88  | 03-0571787 | MARINO ALFREDO                                                    | 6   | DARBY CT      | OCEAN PINES MD 21811 | 6     | DARBY CT           | OCEAN PINES MD 21811     | 7418/229   | RESIDENTIAL | R-2 | 9775 SF  |
| 89  | 03-064751  | RASKA JAMES J & RASKA RICKY J                                     | 8   | DARBY CT      | OCEAN PINES MD 21811 | 314   | WATERVIEW CT       | HAMPSTEAD MD 21074       | 6929/7     | RESIDENTIAL | R-2 | 8513 SF  |
| 90  | 03-069680  | 7 DARBY COURT LLC                                                 | 7   | DARBY CT      | OCEAN PINES MD 21811 | 2907  | ALVARADO SQ        | PARKVILLE MD 21234       | 7121/114   | RESIDENTIAL | R-2 | 8513 SF  |
| 91  | 03-080676  | CONTI ROBERT A                                                    | 5   | DARBY CT      | OCEAN PINES MD 21811 | 5     | DARBY CT           | OCEAN PINES MD 21811     | 2442/207   | RESIDENTIAL | R-2 | 9775 SF  |
| 92  | 03-071588  | CHICCA M,ARGARET HARRIS & RAYMOND ALAN CHICA ET AL                | 3   | DARBY CT      | OCEAN PINES MD 21811 | 12280 | HYDEAWAY CT        | HIGHLAND MD 20777        | 7770/24    | RESIDENTIAL | R-2 | 9001 SF  |
| 93  | 03-061353  | LOWMAN FAMILY REVOCABLE TRUST LOWMAN DENNIS L SR CO TRUSTEE ET AL | 245 | WINDJAMMER RD | OCEAN PINES MD 21811 | 2018  | JOHN HANSON OVL    | ANNAPOLIS MD 21401       | 8662/144   | RESIDENTIAL | R-2 | 10368 SF |
| 94  | 03-045129  | DEPORTER ADAM MICHAEL & DEPORTER NICOLE KRISTEN                   | 243 | WINDJAMMER RD | OCEAN PINES MD 21811 | 243   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8747/476   | RESIDENTIAL | R-2 | 10207 SF |
| 95  | 03-063976  | WARFIEDL LESTER 3RD                                               | 241 | WINDJAMMER RD | OCEAN PINES MD 21811 | 241   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6913/109   | RESIDENTIAL | R-2 | 10207 SF |
| 96  | 03-055949  | LANDIS ROBERT C FOR LIFE                                          | 0   | WINDJAMMER RD | OCEAN PINES MD 21811 | 237   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6347/387   | RESIDENTIAL | R-2 | 10207 SF |
| 97  | 03-044246  | LANDIS ROBERT C FOR LIFE                                          | 237 | WINDJAMMER RD | OCEAN PINES MD 21811 | 237   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 7077/134   | RESIDENTIAL | R-2 | 10207 SF |
| 98  | 03-062139  | LYONS JEREMIAH M & LYONS SHARON T                                 | 235 | WINDJAMMER RD | OCEAN PINES MD 21811 | 235   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8145/102   | RESIDENTIAL | R-2 | 10207 SF |
| 99  | 03-078191  | GREENWOOD JAMES P                                                 | 233 | WINDJAMMER RD | OCEAN PINES MD 21811 | 233   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 5524/390   | RESIDENTIAL | R-2 | 10207 SF |
| 100 | 03-071944  | FRANCIS R WHEELER JR REVOCABLE TRUST WHEELER FRANICS R JR TRUSTEE | 231 | WINDJAMMER RD | OCEAN PINES MD 21811 | 231   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8516/1     | RESIDENTIAL | R-2 | 9472 SF  |
| 101 | 03-055701  | DOWLING ROBERT W & DOWLING BONITA M                               | 229 | WINDJAMMER RD | OCEAN PINES MD 21811 | 1440  | PINE RD            | CARLISLE PA 17015        | 7267/21    | RESIDENTIAL | R-2 | 9914 SF  |
| 102 | 03-058867  | MANNING LARRY                                                     | 227 | WINDJAMMER RD | OCEAN PINES MD 21811 | 227   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 7236/311   | RESIDENTIAL | R-2 | 9000 SF  |
| 103 | 03-066711  | LAWRENCE HENRY AND SANDRA LEE RINICK REV LIV TR                   | 225 | WINDJAMMER RD | OCEAN PINES MD 21811 | 4909  | SMITHWICK LN       | BOWIE MD 20720           | 8376/478   | RESIDENTIAL | R-2 | 9000 SF  |
| 104 | 03-058859  | WUNDER JOHN P SR & DARRELYNNE D                                   | 223 | WINDJAMMER RD | OCEAN PINES MD 21811 | 705   | SHARPS CT          | FALLSTON MD 21047        | 2799/556   | RESIDENTIAL | R-2 | 9000 SF  |
| 105 | 03-040763  | VIGNALE JEANNA R                                                  | 221 | WINDJAMMER RD | OCEAN PINES MD 21811 | 221   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6844/491   | RESIDENTIAL | R-2 | 9001 SF  |





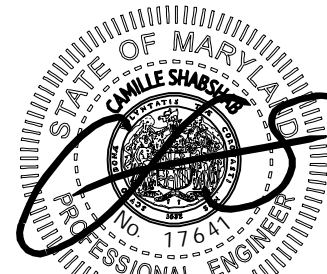
6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



Milestone  
Towers

OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811

SEAL:



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025

SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
|------------|---------------|------|
| 11-11-2025 | ZONING REVIEW | A    |
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PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED  
TO BE FULL-SIZE  
0 1/2 1  
GRAPHIC SCALE IN INCHES

SHEET TITLE:

PROPERTY  
ADJOINERS

SHEET NUMBER:

Z-2C

|     |            |                                                                     |     |                 |                      |       |                        |                         |          |             |     |          |
|-----|------------|---------------------------------------------------------------------|-----|-----------------|----------------------|-------|------------------------|-------------------------|----------|-------------|-----|----------|
| 106 | 03-049566  | DAVIS VICKI LYNN                                                    | 219 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 219   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 3691/5   | RESIDENTIAL | R-2 | 9000 SF  |
| 107 | 03-085341  | UPPERMAN HAROLD S & UPPERMAN DAMLA                                  | 217 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 217   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 6899/283 | RESIDENTIAL | R-2 | 9000 SF  |
| 108 | 03-070743  | PEREDES JOHN C & PEREDES JOHANNA V                                  | 215 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 108   | N PAULA LYNN DR        | SEAFORD DE 19973        | 7328/468 | RESIDENTIAL | R-2 | 9000 SF  |
| 109 | 03-091937  | PEREDES JOHN C & PEREDES JOHANNA V                                  | 213 | WINDJAMMER RD   | OCEAN PINES MD 21811 | POB   |                        | 4603 SALISBURY MD 21803 | 6513/287 | RESIDENTIAL | R-2 | 9000 SF  |
| 110 | 03-091007  | LLOYD LAURA L & CHRISTENSEN JAMES RICHARD                           | 211 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 87    | OLD GARRETT CT         | WHITE HALL MD 21161     | 7430/435 | RESIDENTIAL | R-2 | 9000 SF  |
| 111 | 03-046370  | BARBIERI FAMILY TRUST BARBIERI DANIEL A TRUSTEE ET AL               | 209 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 16932 | MACDUFF AVE            | OLNEY MD 20832          | 8774/446 | RESIDENTIAL | R-2 | 9000 SF  |
| 112 | 03-061434  | WHALEN JOHN THOMAS                                                  | 207 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 207   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8856/455 | RESIDENTIAL | R-2 | 9000 SF  |
| 113 | 03-077640  | PIZLO LARRY                                                         | 205 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 205   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8147/112 | RESIDENTIAL | R-2 | 9000 SF  |
| 114 | 03-086992  | WESTLUND ROY A & WESTLUND DALE E                                    | 203 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 203   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 6709/8   | RESIDENTIAL | R-2 | 9000 SF  |
| 115 | 03-050378  | ALGEO WILLIAM & BECKETT NATASHA LYNNE                               | 201 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 201   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8392/342 | RESIDENTIAL | R-2 | 9000 SF  |
| 116 | 03-050386  | COLE WILLIAM JAMES COLE & COLE NICOLE RAE                           | 199 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 2058  | HARVEST FARM RD        | ELDERSBURG MD 21783     | 8995/59  | RESIDENTIAL | R-2 | 9000 SF  |
| 117 | 03-071111  | MITCHEM RONALD & MITCHEM LINDA                                      | 6   | FALCONBRIDGE RD | OCEAN PINES MD 21811 | 19    | WESTMINSTER BRIDGE WAY | LUTHERSVILLE MD 21093   | 6471/105 | RESIDENTIAL | R-2 | 10936 SF |
| 118 | 03-082687  | SEIFERT ELDON A JR                                                  | 4   | FALCONBRIDGE RD | OCEAN PINES MD 21811 | 4     | FALCONBRIDGE RD        | OCEAN PINES MD 21811    | 7531/65  | RESIDENTIAL | R-2 | 11500 SF |
| 119 | 03-054365  | WENDELL RYAN S & WENDELL CAITLIN L                                  | 2   | FALCONBRIDGE RD | OCEAN PINES MD 21811 | 2     | FALCONBRIDGE RD        | OCEAN PINES MD 21811    | 6763/433 | RESIDENTIAL | R-2 | 11213 SF |
| 120 | 03-056783  | SMITH FRANK M JR & DEIDRA J MCLELLAN                                | 1   | FALCONBRIDGE RD | OCEAN PINES MD 21811 | 1     | FALCONBRIDGE RD        | OCEAN PINES MD 21811    | 4452/722 | RESIDENTIAL | R-2 | 11213 SF |
| 121 | 03-061663  | WOOD MICHAEL P                                                      | 3   | FALCONBRIDGE RD | OCEAN PINES MD 21811 | 3     | FALCONBRIDGE RD        | OCEAN PINES MD 21811    | 7275/230 | RESIDENTIAL | R-2 | 12735 SF |
| 122 | 03-056090  | FITZSIMMONS JACOB T                                                 | 189 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 189   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8702/499 | RESIDENTIAL | R-2 | 10054 SF |
| 123 | 03-077756  | GROVES JOSEPH A & NANCY F GROVES                                    | 187 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 11405 | BELL RD                | WHALEYVILLE MD 21872    | 5179/566 | RESIDENTIAL | R-2 | 9000 SF  |
| 124 | 03-075656  | CASEY RICHARD V & CASEY RANDI LARSEN                                | 185 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 1     | FINERAN WAY APT 211    | SHORT HILLS NJ 07078    | 3527/170 | RESIDENTIAL | R-2 | 9000 SF  |
| 125 | 03-057275  | COLLINS BEXLEY                                                      | 183 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 183   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 6272/135 | RESIDENTIAL | R-2 | 9000 SF  |
| 126 | 03-083829  | OPWINDJAMMER LLC                                                    | 181 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 83    | LOWER N SHORE RD       | BRANCHVILLE NJ 07826    | 7689/146 | RESIDENTIAL | R-2 | 9000 SF  |
| 127 | 03-052028  | ZIMMERMAN HENDRY DONALD III & ZUIMMERMAN SHARON PETERS              | 179 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 134   | ROCKLAND RD            | WESTMINSTER MD 21158    | 6788/67  | RESIDENTIAL | R-2 | 9000 SF  |
| 128 | 03-069583  | CLARK JOSEPH V & CONSUELA I                                         | 177 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 8806  | ROYALD RIDGE LN        | LAUREL MD 20708         | 3313/219 | RESIDENTIAL | R-2 | 9000 SF  |
| 129 | 03-062856  | GROVES JOSEPH A & NANCY F GROVES                                    | 175 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 11405 | BELL RD                | WHALEYVILLE MD 21872    | 2955/147 | RESIDENTIAL | R-2 | 9000 SF  |
| 130 | 03-079406  | JOHN AND JANICE BELZ LIVING TRUST BELZ JOHN FRANCIS CO TRUSTEE      | 171 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 38401 | LORCOM LN              | ARLINGTON VA 22207      | 6692/278 | RESIDENTIAL | R-2 | 9000 SF  |
| 131 | 03-038785  | KEVLIN FAMILY REV TR KEVLIN STEVEN G TRUSTEE ET AL                  | 169 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 169   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8968/56  | RESIDENTIAL | R-2 | 9000 SF  |
| 132 | 03-044963  | WILLIAMS PAUL S & WILLIAMS JESSICA ERIN                             | 167 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 167   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 6802/424 | RESIDENTIAL | R-2 | 9000 SF  |
| 133 | 03-038556  | QUINN BARRY & QUINN GRAINNE                                         | 165 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 19    | TWIN PINE WAY          | GLEN MILLS PA 19342     | 6518/128 | RESIDENTIAL | R-2 | 9000 SF  |
| 134 | 03-081389  | LILL GEORGE PATRICK & LILL KAREN M                                  | 163 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 4612  | PENN HILL RD           | SCHNECKSVILLE PA 18078  | 5679/381 | RESIDENTIAL | R-2 | 9000 SF  |
| 135 | 03-081397  | HARRIS JAMES G & HARRIS MARGARET ANN ETAL                           | 161 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 161   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8542/468 | RESIDENTIAL | R-2 | 8963 SF  |
| 136 | 03-076105  | KOCON MICHELLE WEST & KOCON JEREMIAH G                              | 4   | DRAWBIRDGE RD   | OCEAN PINES MD 21811 | 4     | DRAWBRIDGE RD          | OCEAN PINES MD 21811    | 6026/1   | RESIDENTIAL | R-2 | 10500 SF |
| 137 | 03-059324  | PROCOPIO JOSEPH J III & JEAN LOUISE MCCORMICK                       | 6   | DRAWBIRDGE RD   | OCEAN PINES MD 21811 | 6     | DRAWBIRDGE RD          | OCEAN PINES MD 21811    | 5170/435 | RESIDENTIAL | R-2 | 10500 SF |
| 138 | 03-084779  | HILL TIMOTHY B & HILL KATHRYN A                                     | 8   | DRAWBIRDGE RD   | OCEAN PINES MD 21811 | 8     | DRAWBIRDGE RD          | OCEAN PINES MD 21811    | 6191/436 | RESIDENTIAL | R-2 | 10500 SF |
| 139 | 03-045390  | CHRISTIE ROBERT H JR & HELEN J                                      | 5   | DRAWBIRDGE RD   | OCEAN PINES MD 21811 | 5     | DRAWBIRDGE RD          | OCEAN PINES MD 21811    | 447/530  | RESIDENTIAL | R-2 | 10500 SF |
| 140 | 03-055884  | CHOATE CHARLES F & JACQUELINE H CHOATE                              | 3   | DRAWBIRDGE RD   | OCEAN PINES MD 21811 | 3     | DRAWBIRDGE RD          | OCEAN PINES MD 21811    | 4277/474 | RESIDENTIAL | R-2 | 10778 SF |
| 141 | 03-085201  | THORN AMY L                                                         | 149 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 3102  | WINDON AVE             | LANCASTER PA 17603      | 8910/179 | RESIDENTIAL | R-2 | 9595 SF  |
| 142 | 03-067858  | LITTMAN KIMBERLY & LITTMAN PETER E                                  | 147 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 147   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 6605/463 | RESIDENTIAL | R-2 | 9000 SF  |
| 143 | 03-0678477 | DYKES JUSTIN TYLER SR & DYKES STACIE E                              | 145 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 15    | W AVON RD              | BROOKHAVEN PA 19015     | 7970/210 | RESIDENTIAL | R-2 | 9000 SF  |
| 144 | 03-084744  | BOYLE TIMOTHY M & BOYLE LAURENE M                                   | 143 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 9361  | SPRING WATER PATH      | JESSUP MD 20794         | 4938/183 | RESIDENTIAL | R-2 | 9000SF   |
| 145 | 03-039366  | BLANCHETTE LEONARD J JR                                             | 141 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 141   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8753/49  | RESIDENTIAL | R-2 | 9000 SF  |
| 146 | 03-057615  | J AND JE LEASING LLC                                                | 139 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 12917 | RIGGIN RIDGE RD        | OCEAN CITY MD 21842     | 8762/78  | RESIDENTIAL | R-2 | 9000 SF  |
| 147 | 03-084221  | NICHOLS CAROL LYNN & BROWN JAMES H                                  | 137 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 7721  | TALL PINES WAY         | CLARKSVILLE MD 21029    | 8222/482 | RESIDENTIAL | R-2 | 9000 SF  |
| 148 | 03-050491  | KAPLAN DAVID B & KAPLAN SANDRA S                                    | 135 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 530   | RIVERSIDE DR STE 603   | SALISBURY MD 21801      | 8798/480 | RESIDENTIAL | R-2 | 9000 SF  |
| 149 | 03-057550  | REHANKE JOSEPH ANDREW                                               | 133 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 133   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 8395/157 | RESIDENTIAL | R-2 | 9000 SF  |
| 150 | 03-084345  | JONES KATHLEEN A                                                    | 131 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 131   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 7514/81  | RESIDENTIAL | R-2 | 9000 SF  |
| 151 | 03-074234  | CISNEROS CHRISTINA M                                                | 129 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 129   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 7011/462 | RESIDENTIAL | R-2 | 9000 SF  |
| 152 | 03-046516  | JONES JESSE JR & DONNA S JONES & BEARYMAN ELZA JAMES & EBONY BEARYM | 125 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 7816  | ZEELAND PL             | GAINESVILLE VA 20155    | 7028/337 | RESIDENTIAL | R-2 | 9000 SF  |
| 153 | 03-054810  | DAN CLAYLAND PROPERTIES LLC                                         | 123 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 12925 | HORN ISLNAD DR         | OCEAN CITY MD 21842     | 8889/351 | RESIDENTIAL | R-2 | 9000 SF  |
| 154 | 03-073904  | GRASSO MONICA & CHATWIN ANTHONY CARL                                | 121 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 7500  | CAYOUGA AVE            | BETHESDA MD 20817       | 7747/283 | RESIDENTIAL | R-2 | 9000 SF  |
| 155 | 03-079589  | WEIN BRUCE G & NANCY R                                              | 119 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 119   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 1621/389 | RESIDENTIAL | R-2 | 9000 SF  |
| 156 | 03-066657  | BRADLEY ROBERT J & OTT MICHELLE E                                   | 117 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 117   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 7660/370 | RESIDENTIAL | R-2 | 9000 SF  |
| 157 | 03-055108  | CHATTAS MARK SR & CHATTAS AMY MARIE                                 | 115 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 47    | SANDS CT               | CONOWINGO MD 21918      | 7663/41  | RESIDENTIAL | R-2 | 9000 SF  |
| 158 | 03-055094  | WISE MARIA V MESHKOVA                                               | 113 | WINDJAMMER RD   | OCEAN PINES MD 21811 | 113   | WINDJAMMER RD          | OCEAN PINES MD 21811    | 7421/167 | RESIDENTIAL | R-2 | 9000 SF  |



|     |           |                                                              |     |               |                      |       |                    |                          |           |             |     |          |
|-----|-----------|--------------------------------------------------------------|-----|---------------|----------------------|-------|--------------------|--------------------------|-----------|-------------|-----|----------|
| 159 | 03-078620 | FALOTICO MICHAEL CF & FALOTICO LAUREN M                      | 111 | WINDJAMMER RD | OCEAN PINES MD 21811 | 111   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 7432/91   | RESIDENTIAL | R-2 | 9000 SF  |
| 160 | 03-065839 | LARSON MARTIN E & LARSON EILEEN R                            | 109 | WINDJAMMER RD | OCEAN PINES MD 21811 | 109   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 4767/456  | RESIDENTIAL | R-2 | 9000 SF  |
| 161 | 03-047741 | SMITH MARK E & SMITH KATHERINE L                             | 107 | WINDJAMMER RD | OCEAN PINES MD 21811 | 107   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8656/262  | RESIDENTIAL | R-2 | 9000 SF  |
| 162 | 03-061191 | RUSHING ELAINE M & DONALD P RUSHING                          | 105 | WINDJAMMER RD | OCEAN PINES MD 21811 | 15717 | ALLANWOOD DR       | SILVER SPRING MD 20906   | 3920/62   | RESIDENTIAL | R-2 | 9000 SF  |
| 163 | 03-042251 | BURGESS REBECCA L                                            | 103 | WINDJAMMER RD | OCEAN PINES MD 21811 | 103   | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8768/119  | RESIDENTIAL | R-2 | 9000 SF  |
| 164 | 03-037649 | REEDER MICHAEL P & REEDER DEBORAH J FOR LIFE                 | 101 | WINDJAMMER RD | OCEAN PINES MD 21811 | 314   | HUNTERS RUN RD     | BEL AIR MD 21015         | 8063/390  | RESIDENTIAL | R-2 | 9000 SF  |
| 165 | 03-048608 | GIBSON CAROL MARIE                                           | 99  | WINDJAMMER RD | OCEAN PINES MD 21811 | 99    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8088/277  | RESIDENTIAL | R-2 | 9000 SF  |
| 166 | 03-087514 | WILLIAMS DAVID F & JOANNE W                                  | 97  | WINDJAMMER RD | OCEAN PINES MD 21811 | 97    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 1592/122  | RESIDENTIAL | R-2 | 9000 SF  |
| 167 | 03-042472 | CLAR, MICHAEL L & CLAR PATRICIA M                            | 95  | WINDJAMMER RD | OCEAN PINES MD 21811 | 3222  | OLD FENCE RD       | ELLICOTT CITY MD 21042   | 6274/329  | RESIDENTIAL | R-2 | 9000 SF  |
| 168 | 03-081370 | CURAL DENNIS S & CURAL ELLEN                                 | 93  | WINDJAMMER RD | OCEAN PINES MD 21811 | 93    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 4682/195  | RESIDENTIAL | R-2 | 9000 SF  |
| 169 | 03-068145 | MATHEWS REBECCA S                                            | 91  | WINDJAMMER RD | OCEAN PINES MD 21811 | 91    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6798/79   | RESIDENTIAL | R-2 | 9000 SF  |
| 170 | 03-049507 | RUSMAN HENRY J & PATRICIA V                                  | 89  | WINDJAMMER RD | OCEAN PINES MD 21811 | 89    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 2275/19   | RESIDENTIAL | R-2 | 9000 SF  |
| 171 | 03-068250 | HOOD THOMAS S & HOOD DEBORAH L                               | 87  | WINDJAMMER RD | OCEAN PINES MD 21811 | 4816  | VICKY RD           | BALTIMORE MD 21236       | 8174/496  | RESIDENTIAL | R-2 | 9000 SF  |
| 172 | 03-059561 | CREEL JOHN JR & CREEL CAROLYN                                | 85  | WINDJAMMER RD | OCEAN PINES MD 21811 | 3208  | KILKENNY ST        | SILVER SPRING MD 20904   | 6871/367  | RESIDENTIAL | R-2 | 9000 SF  |
| 173 | 03-048152 | SHAMET STEFANIA DALIANI                                      | 81  | WINDJAMMER RD | OCEAN PINES MD 21811 | 705   | OAK DR             | DOVER DE 19904           | 4358/150  | RESIDENTIAL | R-2 | 9000 SF  |
| 174 | 03-048160 | DALIANI JOHN VINCENT                                         | 79  | WINDJAMMER RD | OCEAN PINES MD 21811 | 705   | OAK DR             | DOVER DE 19904           | 4358/1556 | RESIDENTIAL | R-2 | 9000 SF  |
| 175 | 03-072657 | SAWCHAK MICHAEL CHARLES & SAWCHAK CATHERINE MARY             | 77  | WINDJAMMER RD | OCEAN PINES MD 21811 | 77    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8459/252  | RESIDENTIAL | R-2 | 18000 SF |
| 176 | 03-055922 | TALBERT CARRIE L                                             | 73  | WINDJAMMER RD | OCEAN PINES MD 21811 | 73    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 7067/409  | RESIDENTIAL | R-2 | 9000 SF  |
| 177 | 03-042901 | LAW JOHN H & LAW ELAINE                                      | 71  | WINDJAMMER RD | OCEAN PINES MD 21811 | 3000  | E SUNRISE BLVD 17A | FORT LAUDERDALE FL 33304 | 8365/30   | RESIDENTIAL | R-2 | 9000 SF  |
| 178 | 03-070573 | LOONEY JOHN F & LOONEY NOELLE ME                             | 69  | WINDJAMMER RD | OCEAN PINES MD 21811 | 9328  | RAINTREE RD        | BURKE VA 22015           | 8933/455  | RESIDENTIAL | R-2 | 9000 SF  |
| 179 | 03-069672 | HOLTKAMP ROGER H & NECESSARY BONITA L                        | 67  | WINDJAMMER RD | OCEAN PINES MD 21811 | 67    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 8657/207  | RESIDENTIAL | R-2 | 9000 SF  |
| 180 | 03-072398 | 65 WINDJHAMMER RD GENERAL PARTNERSHIP                        | 65  | WINDJAMMER RD | OCEAN PINES MD 21811 | 555   | ROCK SPRING RD     | BEL AIR MD 21014         | 6480/328  | RESIDENTIAL | R-2 | 9448 SF  |
| 181 | 03-056503 | BLACKFORD ROBERT & DULSKI SHELLY MARIE                       | 63  | WINDJAMMER RD | OCEAN PINES MD 21811 | 63    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 6344/255  | RESIDENTIAL | R-2 | 10113 SF |
| 182 | 03-045633 | TALBOT RICHARD L & TALBOT JANICE A                           | 61  | WINDJAMMER RD | OCEAN PINES MD 21811 | 5     | W CONSTITUTION DR  | BORDENTOWN NJ 08595      | 7456/99   | RESIDENTIAL | R-2 | 10113 SF |
| 183 | 03-046761 | SMITH STEVEN P & SMITH ILENE V                               | 59  | WINDJAMMER RD | OCEAN PINES MD 21811 | 59    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 5705/428  | RESIDENTIAL | R-2 | 10113 SF |
| 184 | 03-065642 | VAN BRUGGEN ROBIN H & MAUREEN A                              | 57  | WINDJAMMER RD | OCEAN PINES MD 21811 | 57    | WINDJAMMER RD      | OCEAN PINES MD 21811     | 1640/106  | RESIDENTIAL | R-2 | 10113 SF |
| 185 | 03-079325 | NAIRN GEORGE E JR & NAIRN REGINA C                           | 9   | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 8750  | LOCUST GROVE DR    | PORT TOBACCO MD 20677    | 8789/384  | RESIDENTIAL | R-2 | 10500 SF |
| 186 | 03-038319 | FLEISCHMANN ERICH H & RUFF MAUREEN                           | 11  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 38    | PARK ST UNIT 5G    | FLORHAM NJ 07932         | 8733/281  | RESIDENTIAL | R-2 | 10500 SF |
| 187 | 03-045935 | FLATTER FAMILY REVOCABLE TRUST                               | 13  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 3930  | CHATHAM RD         | ELLICOTT CITY MD 21042   | 5121/187  | RESIDENTIAL | R-2 | 10500 SF |
| 188 | 03-093158 | DALENBERG DAVID & ROMAGNOLI MARY D                           | 17  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 10729 | HUNTERS PL         | VIENNA VA 22181          | 8842/460  | RESIDENTIAL | R-2 | 10500 SF |
| 189 | 03-085007 | STARKS LESLIE E & STARKS MICHELE B                           | 19  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 19    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 7344/321  | RESIDENTIAL | R-2 | 10500 SF |
| 190 | 03-056619 | GRAUSE ROBERT & GRAUSO LEAH                                  | 21  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 1201  | WOODMONT CT        | MT ARLINGTON NJ 07856    | 8949/156  | RESIDENTIAL | R-2 | 10500 SF |
| 191 | 03-066568 | KOROKNAY KENNETH C & KOROKNAY VIVIAN J                       | 23  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 23    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 4432.462  | RESIDENTIAL | R-2 | 10500 SF |
| 192 | 03-057011 | MEALIA KEVIN T & MORRISON CAROL                              | 25  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 25    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 4859/455  | RESIDENTIAL | R-2 | 11277 SF |
| 193 | 03-092682 | PEARSON JOHN S & JANET K PEARSON                             | 27  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 27    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 5052/219  | RESIDENTIAL | R-2 | 12058 SF |
| 194 | 03-051803 | WELCH EDWARD A & PATRICIA WELCH                              | 29  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 29    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 3676/503  | RESIDENTIAL | R-2 | 12058 SF |
| 195 | 03--71693 | KING PENELOPE ANN PATTON                                     | 31  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 31    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 4429/249  | RESIDENTIAL | R-2 | 11970 SF |
| 196 | 03-045285 | TIMMY Y CHIU & SUE S CHIU REV TRUST                          | 33  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 5     | CHOPIN LN          | LAWRENCEVILLE NJ 08648   | 5471/429  | RESIDENTIAL | R-2 | 10500 SF |
| 197 | 03-057712 | WINEKE PAUL J JR & WINEKE SUSAN D                            | 35  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 35    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 6260/282  | RESIDENTIAL | R-2 | 10500 SF |
| 198 | 03-090523 | STINE CRAIG & STINE TRACY DELUCA FOR LIVE                    | 37  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 840   | TREMONT DR         | DOWNINGTON PA 19335      | 8936/9    | RESIDENTIAL | R-2 | 10500 SF |
| 199 | 03-087026 | DIORIO VINCENT J & DIORIO LISA E                             | 39  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 39    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 8344/222  | RESIDENTIAL | R-2 | 10500 SF |
| 200 | 03-042847 | MCMICHAEL CHARLES H & MCMICHAEL PATRICIA FOR LIVE            | 41  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 41    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 8761/425  | RESIDENTIAL | R-2 | 10500 SF |
| 201 | 03-070565 | FERRER RONNIE W SR & FERRER SANDRA ETAL                      | 43  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 808   | NORTH SHORE DR     | GLEN BURNIE MD 21060     | 8115/215  | RESIDENTIAL | R-2 | 10500 SF |
| 202 | 03-073165 | ADELHARDT GARY P & LAURIE J ADELHARDT                        | 45  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 45    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 3436/510  | RESIDENTIAL | R-2 | 10500 SF |
| 203 | 03-068382 | HHI PROPERTIES LLC                                           | 47  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 2189  | AMOSS MILL RD      | PYLESVILLE MD 21132      | 8920/321  | RESIDENTIAL | R-2 | 10500 SF |
| 204 | 03-091643 | HOKANSON ROLFE & HOKANSON TERRY                              | 49  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 49    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 6937/291  | RESIDENTIAL | R-2 | 10500 SF |
| 205 | 03-067351 | FUSCO MARIA                                                  | 51  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 10723 | ROCK RUN DR        | POTOMAC MD 20854         | 6413/393  | RESIDENTIAL | R-2 | 10500 SF |
| 206 | 03-046265 | HBXECOMINOS LIVING TRUST THE XECOMINOS HAROLD CO TRUSTEE ETL | 53  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 3426  | N TRAIL WAY        | PARKVILLE MD 21234       | 8925/33   | RESIDENTIAL | R-2 | 10500 SF |
| 207 | 03-057100 | LOFFLER ANDREAS P & BARBARA P                                | 55  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 55    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 2106/578  | RESIDENTIAL | R-2 | 10500 SF |
| 208 | 03-037231 | DRESSMAN STEPHEN G & STEPHEN J VARGO                         | 57  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 57    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 2345/190  | RESIDENTIAL | R-2 | 10500 SF |
| 209 | 03--88847 | GOOD JOHN & CAHTY GOOD                                       | 59  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 59    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 5475/383  | RESIDENTIAL | R-2 | 10600 SF |
| 210 | 03-051080 | COOK JACOB D & COOK ERIKA M                                  | 61  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 61    | DRAWBRIDGE RD      | OCEAN PINES MD 21811     | 7059/266  | RESIDENTIAL | R-2 | 11615 SF |
| 211 | 03-073742 | VEGA VICTOR & VEGA RUTH                                      | 63  | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 1704  | ROCKHAVEN AVE      | CATONSVILLE MD 21228     | 7090/6    | RESIDENTIAL | R-2 | 11213 SF |



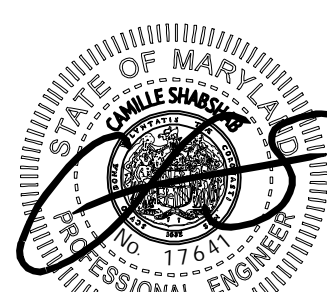
6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



Milestone  
Towers

OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811

SEAL:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025

SUBMITTALS

| DATE         | DESCRIPTION   | REV. |
|--------------|---------------|------|
| 11--11--2025 | ZONING REVIEW | A    |
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PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED  
TO BE FULL-SIZE  
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GRAPHIC SCALE IN INCHES

SHEET TITLE:

PROPERTY  
ADJOINERS

SHEET NUMBER:

Z-2D





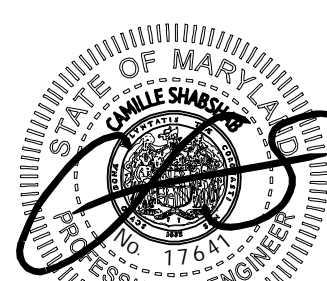
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PROPERTY  
ADJOINERS

SHEET NUMBER:

Z-2E

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|-----|-----------|--------------------------------------------------------------|----|---------------|----------------------|-------|---------------------|-------------------------|-----------|-------------|-----|----------|
| 212 | 03-092380 | JOAN LEE WINTERS REVOCABLE TRUST WINTERS JOAN LEE TRUSTEE    | 62 | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 7942  | FERNDAL E BEND DR   | LAKEWORTH FL 33467      | 8791/404  | RESIDENTIAL | R-2 | 11213 SF |
| 213 | 03-092127 | DREDGE TALBOT W JR & DREDGE PENNY                            | 60 | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 60    | DRAWBRIDGE RD       | OCEAN PINES MD 21811    | 4211/459  | RESIDENTIAL | R-2 | 11213 SF |
| 214 | 03-038947 | BAKER SANDRA L                                               | 58 | DRAWBRIDGE RD | OCEAN PINES MD 21811 | 58    | DRAWBRIDGE RD       | OCEAN PINES MD 21811    | 6734/465  | RESIDENTIAL | R-2 | 11213 SF |
| 215 | 03-059723 | HIRSHOUT BEATRICE & SCHOENBERG BARBARA H                     | 3  | BROOKSIDE RD  | OCEAN PINES MD 21811 | 3411  | SILVERSIDE RD       | WILMINGTON DE 19810     | 6000/458  | RESIDENTIAL | R-2 | 11135 SF |
| 216 | 03-058603 | SCHNEIDER LINDA D                                            | 5  | BROOKSIDE RD  | OCEAN PINES MD 21811 | 5     | BROOKSIDE RD        | OCEAN PINES MD 21811    | 6718/214  | RESIDENTIAL | R-2 | 10500 SF |
| 217 | 03-070441 | REESE DENNIS & REESE JEAN A                                  | 7  | BROOKSIDE RD  | OCEAN PINES MD 21811 | 7     | BROOKSIDE RD        | OCEAN PINES MD 21811    | 6978/108  | RESIDENTIAL | R-2 | 10500 sf |
| 218 | 03-078957 | MAHLSTEDT MATTHEW M & MAHLSTEDT KENNETH M                    | 9  | BROOKSIDE RD  | OCEAN PINES MD 21811 | 9     | BROOKSIDE RD        | OCEAN PINES MD 21811    | 6393/118  | RESIDENTIAL | R-2 | 10500 SF |
| 219 | 03-078450 | GIBSON MICHAEL R & GIBSON RENNIE L                           | 11 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 3524  | N 4TH ST            | HARRISBURG PA 17110     | 6857/47   | RESIDENTIAL | R-2 | 10500 SF |
| 220 | 03-038254 | QUINN DENNIS J & QUINN NANCY R                               | 13 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 13    | BROOKSIDE RD        | OCEAN PINES MD 21811    | 7716/224  | RESIDENTIAL | R-2 | 10500 SF |
| 221 | 03-049795 | GERWER RUSSELL & GERWER LYNN                                 | 15 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 181   | MORRISON AVE        | STATEN ISLAND NY 10310  | 5732/4    | RESIDENTIAL | R-2 | 10500 SF |
| 222 | 03-037673 | PRINCE BRIAN E                                               | 17 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 720   | CHURCH ST           | BOHEMIN NY 11716        | 5666/132  | RESIDENTIAL | R-2 | 10500 SF |
| 223 | 03-091864 | KANZ ANTHONY C & PATRICIA N                                  | 19 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 25965 | RACEL HILL DR       | SOUTH RIDING VA 20152   | 791/80    | RESIDENTIAL | R-2 | 10500 SF |
| 224 | 03-054918 | CULBERTSON RICYPHARD C & CULBERTSON TERE JANE                | 21 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 9929  | JACOB EAN PL        | NEW MARKET MD 21774     | 9024/144  | RESIDENTIAL | R-2 | 10500 SF |
| 225 | 03-064484 | RICH SUSAN L                                                 | 23 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 457   | SAW MILL RIVER RD   | MILLWOOD NY 10546       | 9025/372  | RESIDENTIAL | R-2 | 10500 SF |
| 226 | 03-078515 | FERRUSI RALPH JOSEPH II & FERRUSI KATHRYN ANN                | 25 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 25    | BROOKSIDE RD        | OCEAN PINES MD 21811    | 7532/370  | RESIDENTIAL | R-2 | 10500 SF |
| 227 | 03-048772 | MCQUAY CARL R                                                | 27 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 1722  | TROTting CT         | JARRETTSVILLE MD 21084  | 7070/284  | RESIDENTIAL | R-2 | 10500 SF |
| 228 | 03-080749 | HOFF DAVID I JR & HOFF JESSICA M                             | 29 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 29    | BROOKSIDE RD        | OCEAN PINES MD 21811    | 7209/321  | RESIDENTIAL | R-2 | 10500 SF |
| 229 | 03-090116 | VARGAS FELIX LUIS JR                                         | 31 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 31    | BROOKSIDE RD        | OCEAN PINES MD 21811    | 7866/309  | RESIDENTIAL | R-2 | 10500 SF |
| 230 | 03-043800 | GORDON SUZANNE M & GORDON SCOTT R                            | 33 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 33    | BROOKSIDE RD        | OCEAN PINES MD 21811    | 7764/130  | RESIDENTIAL | R-2 | 10500 SF |
| 231 | 03-074757 | JALAIE PARIVASH & GHARADACHI NOSRAT ETAL                     | 35 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 8504  | QUAINT LN           | VIENNA VA 22182         | 8886/324  | RESIDENTIAL | R-2 | 10386 SF |
| 232 | 03-077411 | CJL PROPERTIES LLC                                           | 37 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 4301  | PYLES FORD RD       | WILMINGTON DE 19807     | 8656/15   | RESIDENTIAL | R-2 | 14319 SF |
| 233 | 03-088111 | CRESWELL GREGORY & CRESWELL MELISSA                          | 39 | BROOKSIDE RD  | OCEAN PINES MD 21811 | 39    | BROOKSIDE RD        | OCEAN PINES MD 21811    | 7425/364  | RESIDENTIAL | R-2 | 20985 SF |
| 234 | 03-079899 | SANTACROCE GREGORY J & SANTACROCE SHARON L                   | 23 | WHARF CT      | OCEAN PINES MD 21811 | 23    | WHARF CT            | OCEAN PINES MD 21811    | 5182/91   | RESIDENTIAL | R-2 | 18208 SF |
| 235 | 03-043266 | CALHOUN MARY KATHEEN & BANNON JOHN E JR                      | 25 | WHARF CT      | OCEAN PINES MD 21811 | 25    | WHARF CT            | OCEAN PINES MD 21811    | 7811/1    | RESIDENTIAL | R-2 | 17126 SF |
| 236 | 03-073270 | MURRAY JOHN L & MURRAY RAE MARGARET                          | 26 | WHARF CT      | OCEAN PINES MD 21811 | 16    | DELREY AVE          | CATONSVILLE MD 21228    | 739/235   | RESIDENTIAL | R-2 | 12935 SF |
| 237 | 03-065545 | DAVIS REED JAMES & DAVIS TERESA JEAN                         | 24 | WHARF CT      | OCEAN PINES MD 21811 | 393   | VANADIUM RD STE 301 | PITTSBURGH PA 15243     | 5398/423  | RESIDENTIAL | R-2 | 11527 SF |
| 238 | 03-084035 | KATHRYN A ELLIS TRUST THE ELLIS KATHRYN A TRUSTEE            | 22 | WHARF CT      | OCEAN PINES MD 21811 | 3910  | MEADOWHILL RD       | UPPER MARLBORO MD 20774 | 7334/48   | RESIDENTIAL | R-2 | 11524 SF |
| 239 | 03-058115 | VEZZA CATHERINE MARY & VEZZA ELENA THEREST                   | 3  | PELICAN CT    | OCEAN PINES MD 21811 | 3     | PELICAN CT          | OCEAN PINES MD 21811    | 8131/229  | RESIDENTIAL | R-2 | 12562 SF |
| 240 | 03-093115 | BOYD STEPHEN G & BOYD JANET                                  | 5  | PELICAN CT    | OCEAN PINES MD 21811 | 5     | PELICAN CT          | OCEAN PINES MD 21811    | 7066/135  | RESIDENTIAL | R-2 | 11500 SF |
| 241 | 03-076989 | J 1 CORP INC C/O HUB ENTERPRISES                             | 7  | PELICAN CT    | OCEAN PINES MD 21811 | POB   |                     | 7 HEBRON MD 21830       | 2158/119  | RESIDENTIAL | R-2 | 11213 SF |
| 242 | 03-066053 | CLIFFORD MATTHEW                                             | 8  | PELICAN CT    | OCEAN PINES MD 21811 | 1198  | PALMWOOD CT         | ARNOLD MD 21012         | 8463/31   | RESIDENTIAL | R-2 | 11213 SF |
| 243 | 03-072428 | RILEY RICHARD D & HOWELLS RILEY LINDA A                      | 6  | PELICAN CT    | OCEAN PINES MD 21811 | 6     | PELICAN CT          | OCEAN PINES MD 21811    | 4491/77   | RESIDENTIAL | R-2 | 11500 SF |
| 244 | 03-060144 | MADDOX MICHAEL THOMAS & MADDOX AMY LAURA                     | 5  | DECATUR CT    | OCEAN PINES MD 21811 | 10211 | BRUNSWICK AVE       | SILVER SPRING MD 20902  | 7904/95   | RESIDENTIAL | R-2 | 19050 SF |
| 245 | 03-088855 | JANICE E KOSKO LIVING TRUST THE KOSKO JANICE E TRUSTEE ET AL | 6  | DECATUR CT    | OCEAN PINES MD 21811 | 817   | MERRY GO ROUND WAY  | MOUNT AIRY MD 21771     | 8542/276  | RESIDENTIAL | R-2 | 12152 SF |
| 246 | 03-047962 | TOMARELLI JOSEPH A & TOMARELLI MARGARET                      | 4  | DECATUR CT    | OCEAN PINES MD 21811 | 4     | DECATUR CT          | OCEAN PINES MD 21811    | 7219/328  | RESIDENTIAL | R-2 | 11714 SF |
| 247 | 03-044947 | MATTER ROBERT W & MATTER SHERI A                             | 81 | BATTERSEA RD  | OCEAN PINES MD 21811 | 16    | DEER TRAIL CIR      | LIVERPOOL PA 21811      | 6683/105  | RESIDENTIAL | R-2 | 12820 SF |
| 248 | 03-052079 | ROSAS DAVID M & ROSAS JEANNE M                               | 83 | BATTERSEA RD  | OCEAN PINES MD 21811 | 708   | PHEASANT RD         | FOREST HILL MD 21050    | 7323/146  | RESIDENTIAL | R-2 | 11213 SF |
| 249 | 03-052060 | BIRCH KEVIN W & KIMBERLY M MCCUE                             | 84 | BATTERSEA RD  | OCEAN PINES MD 21811 | 84    | BATTERSEA RD        | OCEAN PINES MD 21811    | 4598/125  | RESIDENTIAL | R-2 | 11213 SF |
| 250 | 03-049434 | HANNA DAVID ALAN & HANNA LAURA LEE                           | 82 | BATTERSEA RD  | OCEAN PINES MD 21811 | 82    | BATTERSEA RD        | OCEAN PINES MD 21811    | 7588/397  | RESIDENTIAL | R-2 | 11500 SF |
| 251 | 03-075958 | TOMS DONALD C JR & TOMS DOROTHY A                            | 80 | BATTERSEA RD  | OCEAN PINES MD 21811 | 80    | BATTERSEA RD        | OCEAN PINES MD 21811    | 6456/104  | RESIDENTIAL | R-2 | 10007 SF |
| 252 | 03-080862 | HARRISON MICHAEL J & HUGHES KELLY ANN                        | 78 | BATTERSEA RD  | OCEAN PINES MD 21811 | 78    | BATTERSEA RD        | OCEAN PINES MD 21811    | 6617/9    | RESIDENTIAL | R-2 | 11417 SF |
| 253 | 03-064972 | LEKITES BRENDA                                               | 76 | BATTERSEA RD  | OCEAN PINES MD 21811 | 76    | BATTERSEA RD        | OCEAN PINES MD 21811    | 5416/392  | RESIDENTIAL | R-2 | 12783 SF |
| 254 | 03-079716 | BLANCH BURTON LORD & BLANCH JANIE MARIE                      | 74 | BATTERSEA RD  | OCEAN PINES MD 21811 | 74    | BATTERSEA RD        | OCEAN PINES MD 21811    | 8683/102  | RESIDENTIAL | R-2 | 11582 SF |
| 255 | 03-043231 | BREEDEN MIRIAM A FOR LIFE                                    | 72 | BATTERSEA RD  | OCEAN PINES MD 21811 | 72    | BATTERSEA RD        | OCEAN PINES MD 21811    | 8654/95   | RESIDENTIAL | R-2 | 10500 SF |
| 256 | 03-073408 | WILSON MARGARET H & WILSON BYRON LEWIS                       | 70 | BATTERSEA RD  | OCEAN PINES MD 21811 | 70    | BATTERSEA RD        | OCEAN PINES MD 21811    | 8933/312  | RESIDENTIAL | R-2 | 10500 SF |
| 257 | 03-058425 | EILEEN A MCCLELLAND IRREVOCABLE TRUST                        | 68 | BATTERSEA RD  | OCEAN PINES MD 21811 | 68    | BATTERSEA RD        | OCEAN PINES MD 21811    | 7303/207  | RESIDENTIAL | R-2 | 10500 SF |
| 258 | 03-082652 | LAQUE JOSEPH E & LAQUE SHELBY K                              | 66 | BATTERSEA RD  | OCEAN PINES MD 21811 | 66    | BATTERSEA RD        | OCEAN PINES MD 21811    | 8383/191  | RESIDENTIAL | R-2 | 11043 SF |
| 259 | 03-077853 | MCCORMICK MARY P                                             | 64 | BATTERSEA RD  | OCEAN PINES MD 21811 | 64    | BATTERSEA RD        | OCEAN PINES MD 21811    | 3186/173  | RESIDENTIAL | R-2 | 11055 SF |
| 260 | 03-061728 | SIPES JOHN L & SIPES JOAN ME                                 | 62 | BATTERSEA RD  | OCEAN PINES MD 21811 | 62    | BATTERSEA RD        | OCEAN PINES MD 21811    | 2396/280  | RESIDENTIAL | R-2 | 11044 SF |
| 261 | 03-078973 | WRIGHT JESSE CLIFFORD & WRIGHT NANCY ELLEN                   | 60 | BATTERSEA RD  | OCEAN PINES MD 21811 | 198   | CAMPUS GREEN DR     | ARNOLD MD 21012         | 6987/289  | RESIDENTIAL | R-2 | 10500 SF |
| 262 | 03-048659 | MURPHY NORMAN J & MURPHY DARLENE H                           | 58 | BATTERSEA RD  | OCEAN PINES MD 21811 | 58    | BATTERSEA RD        | OCEAN PINES MD 21811    | 43790/284 | RESIDENTIAL | R-2 | 10500 SF |
| 263 | 03-072363 | CONNELLY JOHN A JR & CONNELLY DEBRA S                        | 56 | BATTERSEA RD  | OCEAN PINES MD 21811 | 56    | BATTERSEA RD        | OCEAN PINES MD 21811    | 8468/55   | RESIDENTIAL | R-2 | 10500 SF |
| 264 | 03-045595 | LOEWE RONALD W & SANDRA L                                    | 54 | BATTERSEA RD  | OCEAN PINES MD 21811 | 3204  | PAPER MILL RD       | PHOENIX MD 21131        | 4670/355  | RESIDENTIAL | R-2 | 10500 SF |



|     |           |                                                                   |    |              |                      |      |                    |                        |          |             |     |           |
|-----|-----------|-------------------------------------------------------------------|----|--------------|----------------------|------|--------------------|------------------------|----------|-------------|-----|-----------|
| 265 | 03-090558 | SHELDERFER ROGBERT W JR & SHELDERFER DIANE L                      | 52 | BATTERSEA RD | OCEAN PINES MD 21811 | 2    | PEACEDALE CT       | OXFORD PA 19363        | 7101/382 | RESIDENTIAL | R-2 | 10500 SF  |
| 266 | 03-048942 | ROSEMARY DELLAPINA IRREV TRUST THE KRETKOWSKI LAURA ETAL TRUSTEES | 50 | BATTERSEA RD | OCEAN PINES MD 21811 | 106  | ANASTASIA LAKES DR | ST AUGUSTINE FL 32080  | 8289/293 | RESIDENTIAL | R-2 | 10500 SF  |
| 267 | 03-054357 | PILARSKI KEVIN M & PILARSKI TINA L                                | 48 | BATTERSEA RD | OCEAN PINES MD 21811 | 438  | ROBERTS WAY        | ABERDEEN MD 21001      | 7115/182 | RESIDENTIAL | R-2 | 10500 SF  |
| 268 | 03-069656 | SCHNADER JEFFREY J & MARY LYBNN H                                 | 46 | BATTERSEA RD | OCEAN PINES MD 21811 | 46   | BATTERSEA RD       | OCEAN PINES MD 21811   | 2349/562 | RESIDENTIAL | R-2 | 10500 SF  |
| 269 | 03-072304 | LEE TANYA M                                                       | 44 | BATTERSEA RD | OCEAN PINES MD 21811 | 426  | AMELANCHIER CT     | BEL AIR MD 21015       | 8162/212 | RESIDENTIAL | R-2 | 10500 SFG |
| 270 | 03-063844 | BROOKS ROBERT G JR & BROOKS SUSAN S                               | 42 | BATTERSEA RD | OCEAN PINES MD 21811 | 2763 | DRAGON FLY WAY     | ODENTON MD 21113       | 5646/287 | RESIDENTIAL | R-2 | 11429 SF  |
| 271 | 03-081133 | SADLER C DON & SANDRA LEIGHT                                      | 40 | BATTERSEA RD | OCEAN PINES MD 21811 | 404  | BEACH RD           | ARNOLD MD 21012        | 565/323  | RESIDENTIAL | R-2 | 11148 SF  |
| 272 | 03-052621 | BECK ROBERT & BECK KELLI                                          | 38 | BATTERSEA RD | OCEAN PINES MD 21811 | 38   | BATTERSEA RD       | OCEAN PINES MD 21811   | 3780/441 | RESIDENTIAL | R-2 | 10896 SF  |
| 273 | 03-042928 | RAYMOND JOSEPH S & RAYMOND JUDITH ANN                             | 36 | BATTERSEA RD | OCEAN PINES MD 21811 | 36   | BATTERSEA RD       | OCEAN PINES MD 21811   | 4159/1   | RESIDENTIAL | R-2 | 10473 SF  |
| 274 | 03-074773 | HICKLE EDWIN E FOR LIVER                                          | 34 | BATTERSEA RD | OCEAN PINES MD 21811 | 34   | BATTERSEA RD       | OCEAN PINES MD 21811   | 8792/32  | RESIDENTIAL | R-2 | 10896 SF  |
| 275 | 03-070654 | WILD LINDSAY & KOLANKOWSKI MICHAEL                                | 32 | BATTERSEA RD | OCEAN PINES MD 21811 | 32   | BATTERSEA RD       | OCEAN PINES MD 21811   | 7108/151 | RESIDENTIAL | R-2 | 10896 SF  |
| 276 | 03-078833 | FIGARD MATTHEW W & FIGARD LINDA S                                 | 30 | BATTERSEA RD | OCEAN PINES MD 21811 | 30   | BATTERSEA RD       | OCEAN PINES MD 21811   | 7419/3   | RESIDENTIAL | R-2 | 10473 SF  |
| 277 | 03-072894 | MACINTOSH CHARLES S & MACINTOSH CYNTHIA M                         | 28 | BATTERSEA RD | OCEAN PINES MD 21811 | 28   | BATTERSEA RD       | OCEAN PINES MD 21811   | 5709/441 | RESIDENTIAL | R-2 | 10896 SF  |
| 278 | 03-069524 | MCCURRY JOHN J & MCCURRY LINDA L                                  | 26 | BATTERSEA RD | OCEAN PINES MD 21811 | 26   | BATTERSEA RD       | OCEAN PINES MD 21811   | 4501/527 | RESIDENTIAL | R-2 | 10500 SF  |
| 279 | 03-069532 | ZYNN ROBERT M & ZYNN ROBYNE L                                     | 24 | BATTERSEA RD | OCEAN PINES MD 21811 | 24   | BATTERSEA RD       | OCEAN PINES MD 21811   | 6847/51  | RESIDENTIAL | R-2 | 10500 SF  |
| 280 | 03-069079 | COUNTY COMMISSIONER OF WORCESTER COUNTY MD                        | 0  | BATTERSEA RD | OCEAN PINES MD 21811 | 1    | WEST MARKET ST     | SNOW HILL MD 21863     | 1993/576 | RESIDENTIAL | R-2 | 13541 SF  |
| 281 | 03-061671 | DEOLIVEIRA JANET                                                  | 20 | BATTERSEA RD | OCEAN PINES MD 21811 | 8518 | CEDAR CHASE DR     | CLINTON MD 20735       | 6652/449 | RESIDENTIAL | R-2 | 10592 SF  |
| 282 | 03-040534 | BERKOV ELLEN E & AMY C BERKOV                                     | 18 | BATTERSEA RD | OCEAN PINES MD 21811 | 112  | HILLTOP DR         | SEVERNA PARK MD 21146  | 5492/495 | RESIDENTIAL | R-2 | 10592 SF  |
| 283 | 03-043495 | STUIBER DARIN W & STUIBER TERRI L                                 | 16 | BATTERSEA RD | OCEAN PINES MD 21811 | 16   | BATTERSEA RD       | OCEAN PINES MD 21811   | 7009/144 | RESIDENTIAL | R-2 | 10942 SF  |
| 284 | 03-060691 | BULL DONALD L JR & BULL CHRISTIANNA H                             | 14 | BATTERSEA RD | OCEAN PINES MD 21811 | 14   | BATTERSEA RD       | OCEAN PINES MD 21811   | 6471/24  | RESIDENTIAL | R-2 | 10500 SF  |
| 285 | 03-047571 | FREESE MICHELLE K                                                 | 12 | BATTERSEA RD | OCEAN PINES MD 21811 | 1012 | MERRIDALE BLVD     | MT AIRY MD 21771       | 6298/151 | RESIDENTIAL | R-2 | 10500 SF  |
| 286 | 03-090698 | WALKER MARK J & DENISE M WALKER                                   | 10 | BATTERSEA RD | OCEAN PINES MD 21811 | 716  | 13TH AVE           | PROSPECT PARK PA 19076 | 5429/194 | RESIDENTIAL | R-2 | 10500 SF  |
| 287 | 03-041409 | HATFIELD JOHN C & HATFIELD ELIZABETH                              | 8  | BATTERSEA RD | OCEAN PINES MD 21811 | 1041 | LEXINGTON DR       | EXPORT PA 15632        | 7045/304 | RESIDENTIAL | R-2 | 10500 SF  |
| 288 | 03-094960 | CHRZANOWSKI MICHAEL PAUL                                          | 6  | BATTERSEA RD | OCEAN PINES MD 21811 | 6    | BATTERSEA RD       | OCEAN PINES MD 21811   | 8319/298 | RESIDENTIAL | R-2 | 10481 SF  |
| 289 | 03-077500 | VANVICK THEODORE & CHARLENE VANVICK                               | 4  | BATTERSEA RD | OCEAN PINES MD 21811 | 4    | BATTERSEA RD       | OCEAN PINES MD 21811   | 4133/41  | RESIDENTIAL | R-2 | 10111 SF  |
| 290 | 03-077446 | NOSS KENNETH R                                                    | 2  | BATTERSEA RD | OCEAN PINES MD 21811 | 1168 | LAKE AVE APT 313   | METAIRIE LA 70005      | 1412/25  | RESIDENTIAL | R-2 | 10645 SF  |


  
communication services, Inc.  
6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811



| SUBMITTALS |               |      |
|------------|---------------|------|
| DATE       | DESCRIPTION   | REV. |
| 11-11-2025 | ZONING REVIEW | A    |
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|---------------------------------------------------------------------------------------|----------|
| PROJECT NO:                                                                           | 1050.472 |
| DESIGNER:                                                                             | R.S.     |
| ENGINEER:                                                                             | C.S.     |
| THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE                                          |          |
|  |          |
| GRAPHIC SCALE IN INCHES                                                               |          |
| SHEET TITLE:                                                                          |          |
| PROPERTY ADJOINERS                                                                    |          |
| SHEET NUMBER:                                                                         |          |
| Z-2F                                                                                  |          |



LINE TYPES

- CONCRETE CURB
- FENCE LINE — CHAIN
- EX. 1' CONTOUR LINE
- EX. 5' CONTOUR LINE
- LIMITS OF DISTURBANCE
- SILT FENCE

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT SHALL ADHERE TO THE REQUIREMENTS SPECIFIED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND THE REQUIREMENTS OF THE TOWN OF SHARPTOWN.
2. PREPARE CLEARING AND GRUBBING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
3. COMPLETE ALL REQUIRED CLEARING AND GRUBBING.
4. COMPLETE ROUGH GRADING OF SITE.
5. INSTALL UTILITIES.
6. COMPLETE TOWER SITE CONSTRUCTION.
7. COMPLETE FINAL GRADING, AND STABILIZATION.
8. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL DEVICES.

UTILITY WORK NOTES

1. PLACE ALL EXCAVATED MATERIAL ON HIGH SIDE OF TRENCH.
2. ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACK FILLING , FINAL GRADING, SEEDING AND MULCHING CAN OCCUR.
3. ANY SEDIMENT CONTROL MEASURES DISTURBED BY CONSTRUCTION WILL BE PREPARED THE SAME DAY.
4. ALL DISTURBANCE FROM SECONDARY UTILITIES SUCH AS PHONE CABLE, ELECTRIC CABLE, TV CABLE, ETC. WILL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO BRING THE WORK AREA BACK TO GRADE LEVEL THAT WAS EXISTING AND SEED AND MULCH ANY DISTURBANCE FROM INSTALLATION OF LINES OR CONDUIT.
5. SUBCONTRACTORS WILL BE RESPONSIBLE FOR REINSTALLING OR REPAIRING ANY SILT FENCE OR SEDIMENT CONTROLS THAT WERE EXISTING TO MAINTAIN PROPER SEDIMENT CONTROL THAT MIGHT HAVE BEEN DAMAGED.

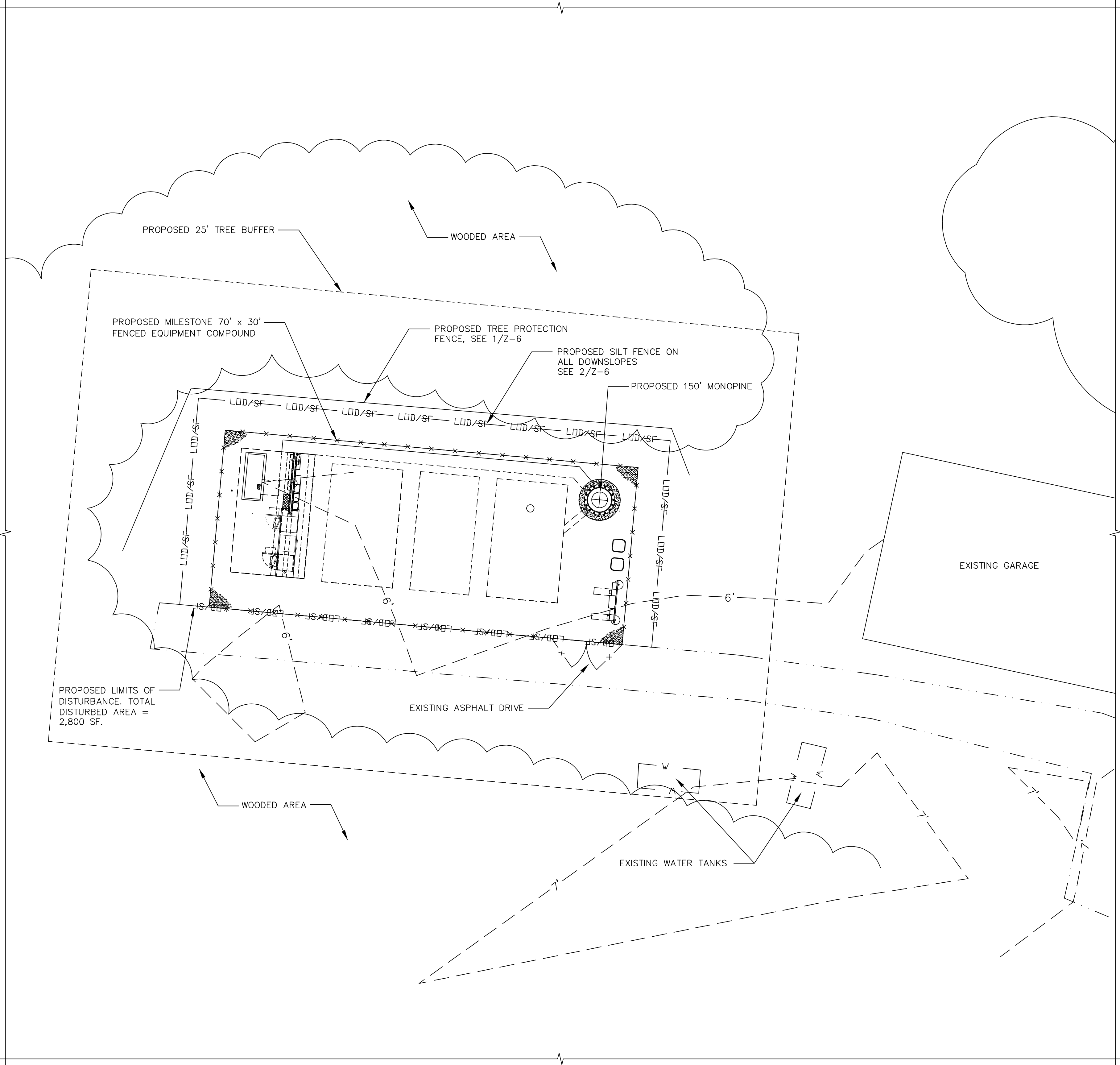
STOCKPILE NOTES

1. NO STOCKPILING ALLOWED ON ASPHALT.
2. ALL STOCKPILES LEFT AT THE END OF THE DAY NEED TO BE STABILIZED UNTIL THE NEXT REDISTURBANCE.

AREA TABULATION

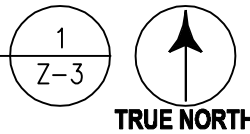
SITE AREA: 174.37 AC

DISTURBED AREA: 2,800 SF



EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 10'



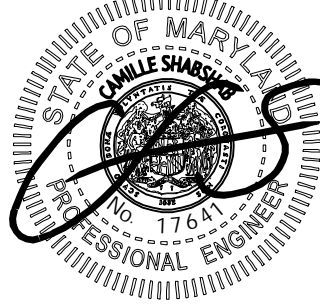
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Milestone  
Towers

OCEAN PINES  
GOLF COURSE  
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OCEAN PINES, MD 21811

SEAL:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025.

SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
|------------|---------------|------|
| 11-11-2025 | ZONING REVIEW | A    |
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PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

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0 1/2 1

GRAPHIC SCALE IN INCHES

SHEET TITLE:

EROSION AND  
SEDIMENT CONTROL  
PLAN

SHEET NUMBER:

Z-3



| SUBMITTALS |               |      |
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PROJECT NO: 1050.472  
DESIGNER: R.S.  
ENGINEER: C.S.

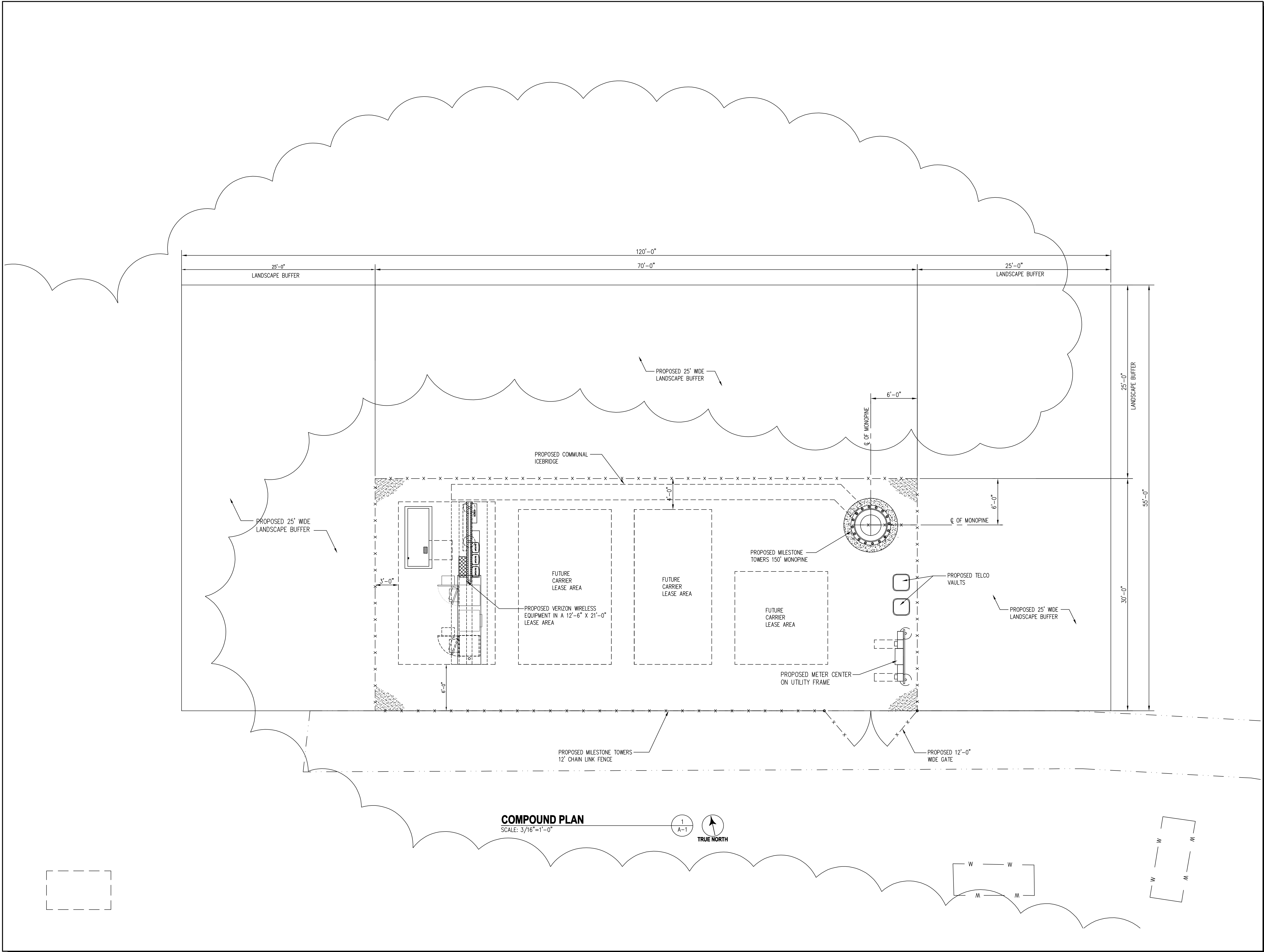
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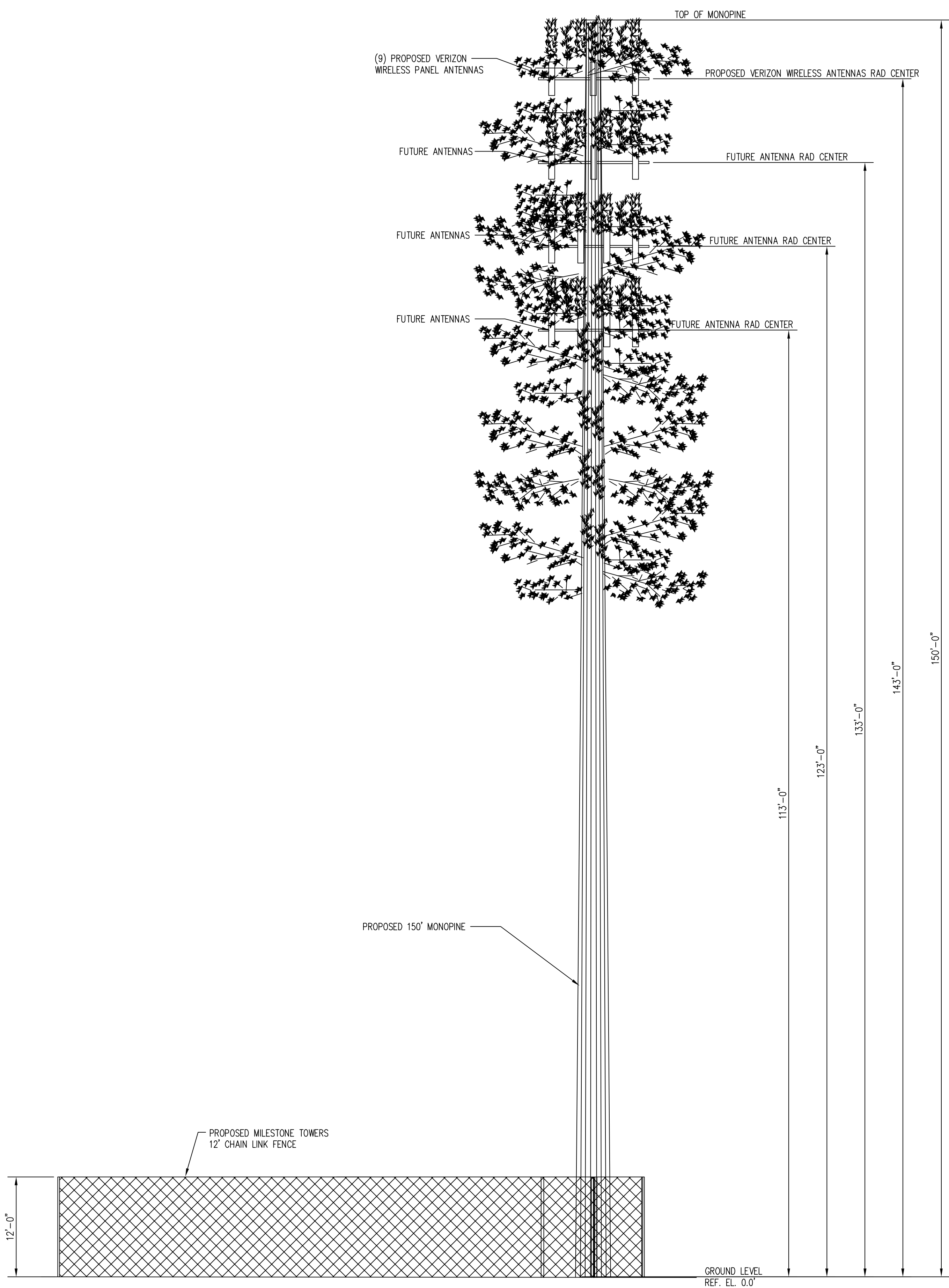
SHEET TITLE:

**COMPOUND  
PLAN**

SHEET NUMBER:

**Z-4**





**MONOPINE ELEVATION**  
SCALE: 1/8"=1'-0"

1

Z-5



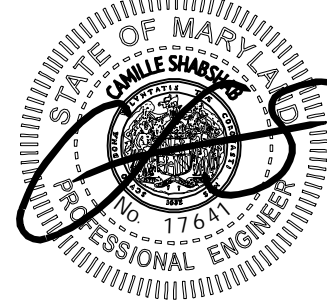
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**Milestone**  
Towers

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OCEAN PINES, MD 21811**

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**SUBMITTALS**

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PROJECT NO: 1050.472  
DESIGNER: R.S.  
ENGINEER: C.S.

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GRAPHIC SCALE IN INCHES

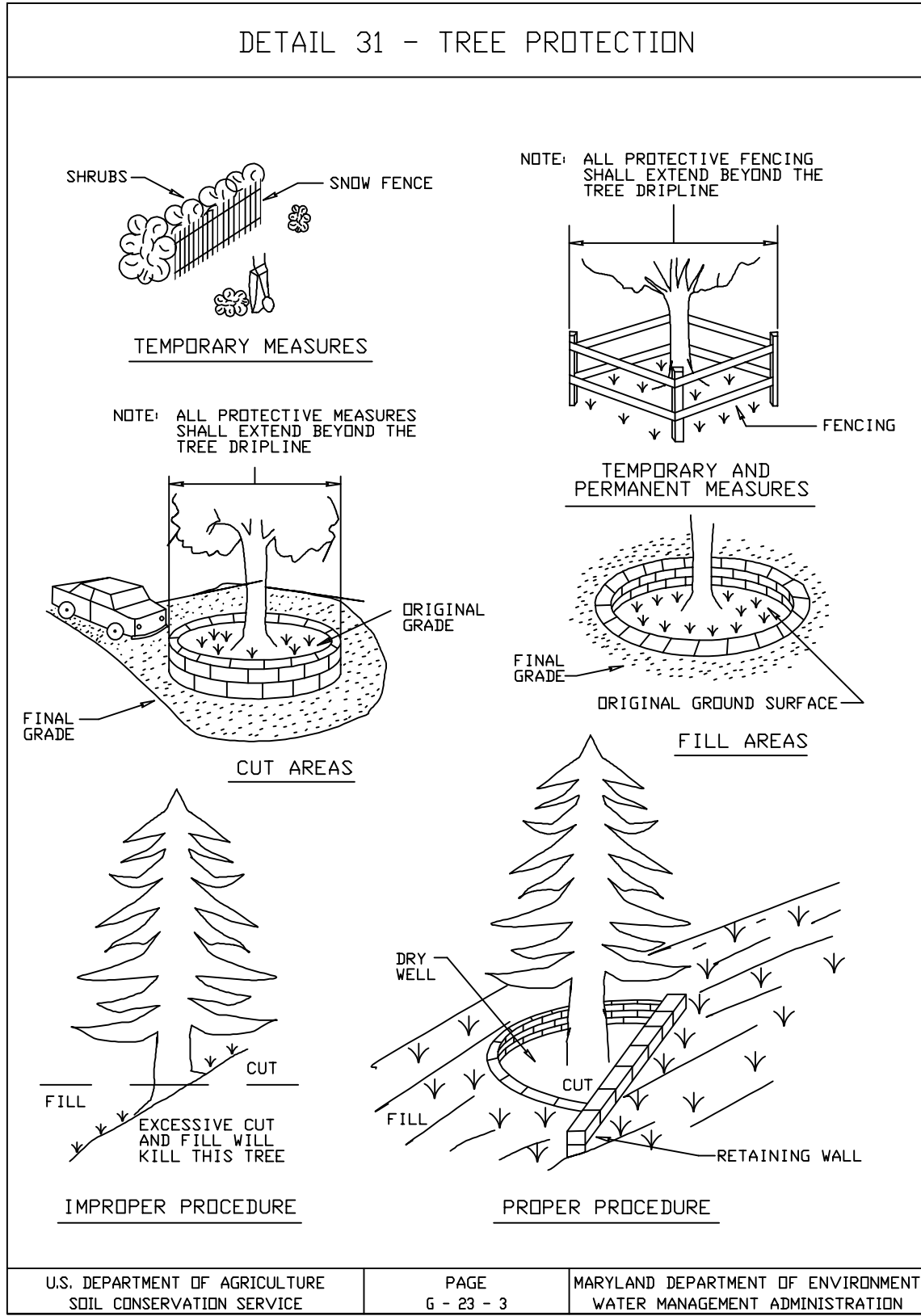
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**MONOPINE  
ELEVATION**

SHEET NUMBER:

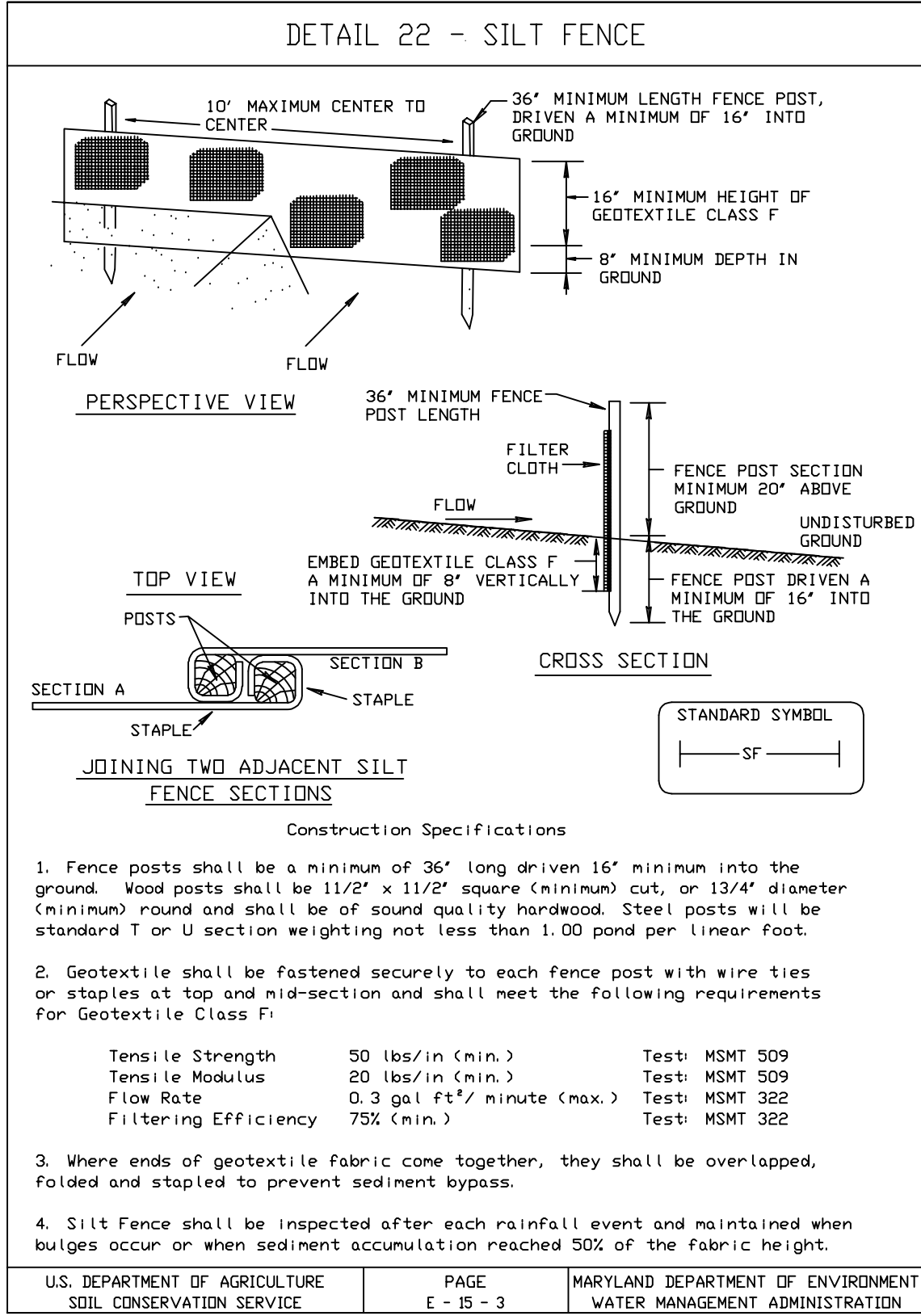
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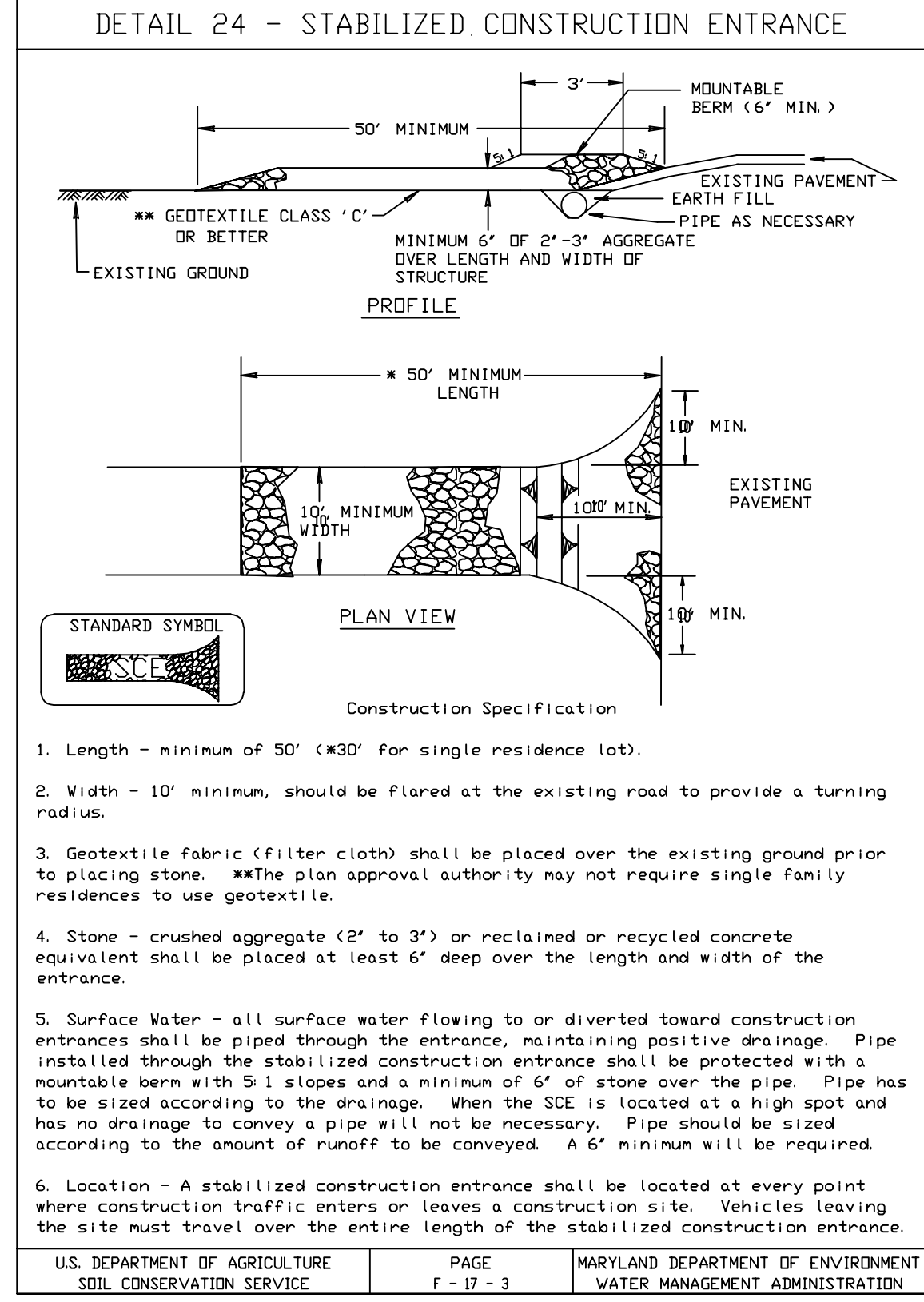
**TREE PROTECTION FENCE DETAIL**  
SCALE: N.T.S.

1  
Z-6



**SILT FENCE DETAIL**  
SCALE: N.T.S.

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Z-6



**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
SCALE: N.T.S.

3  
Z-6



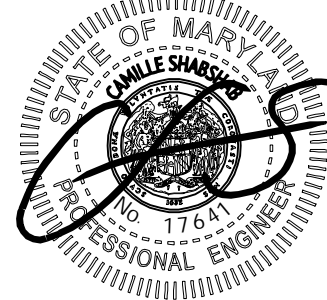
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PROJECT NO: 1050.472

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ENGINEER: C.S.

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GRAPHIC SCALE IN INCHES

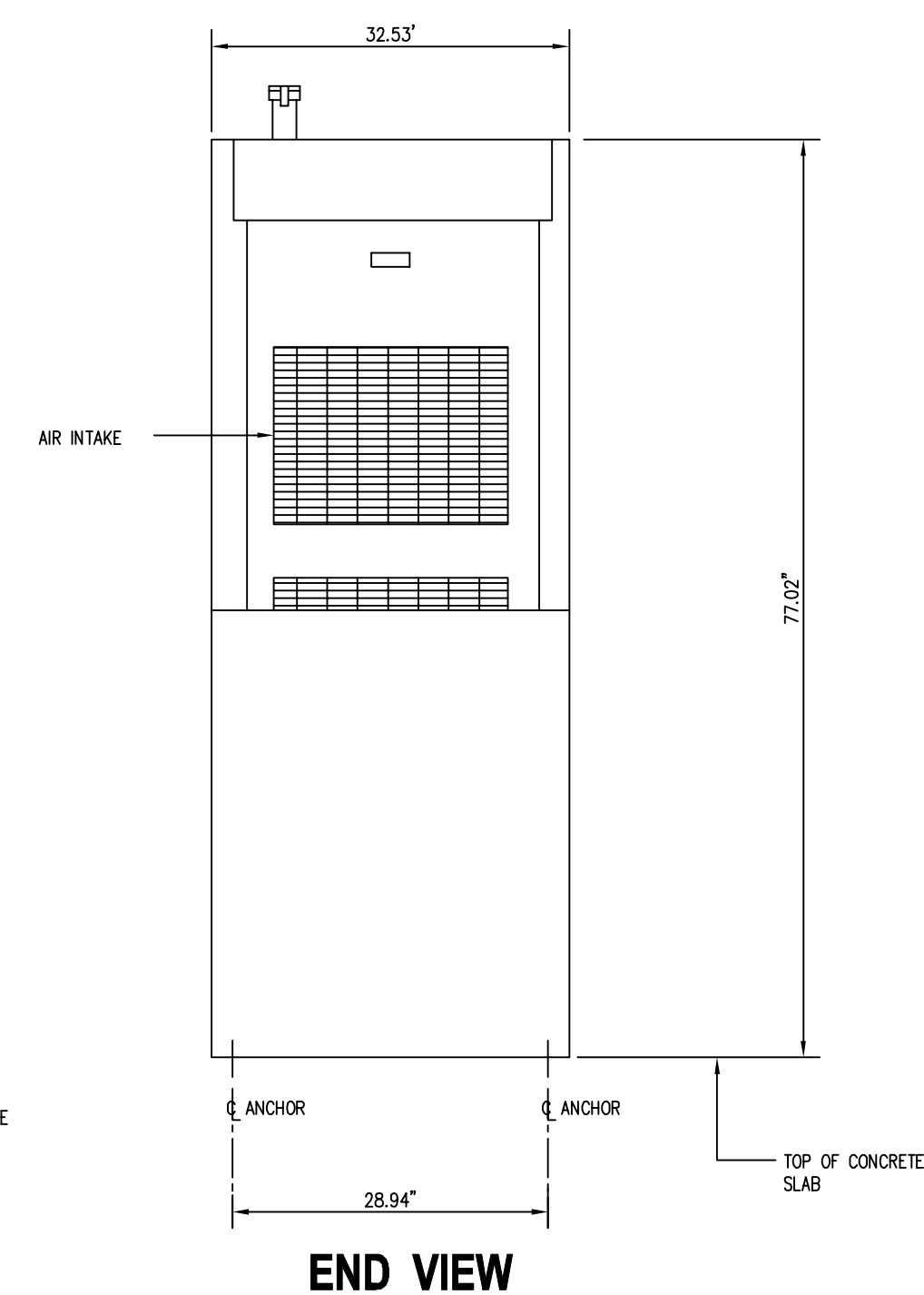
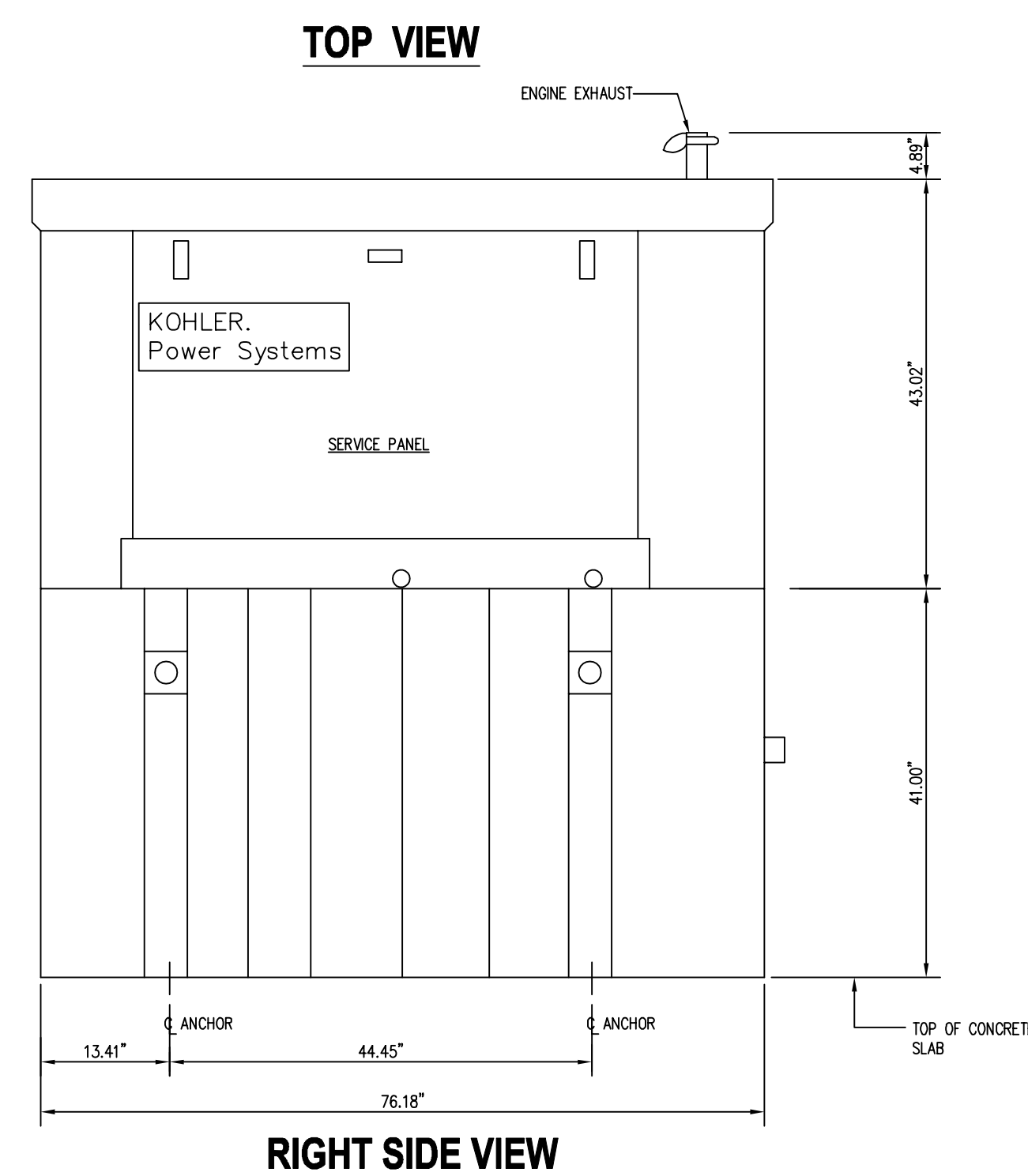
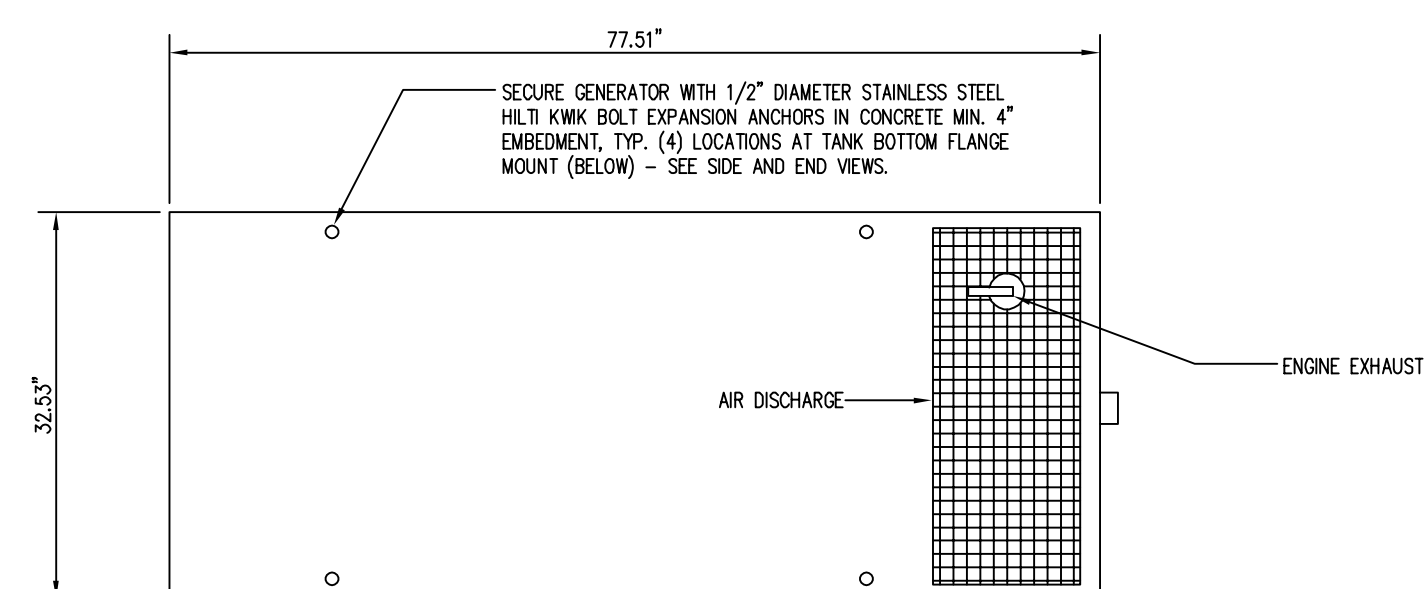
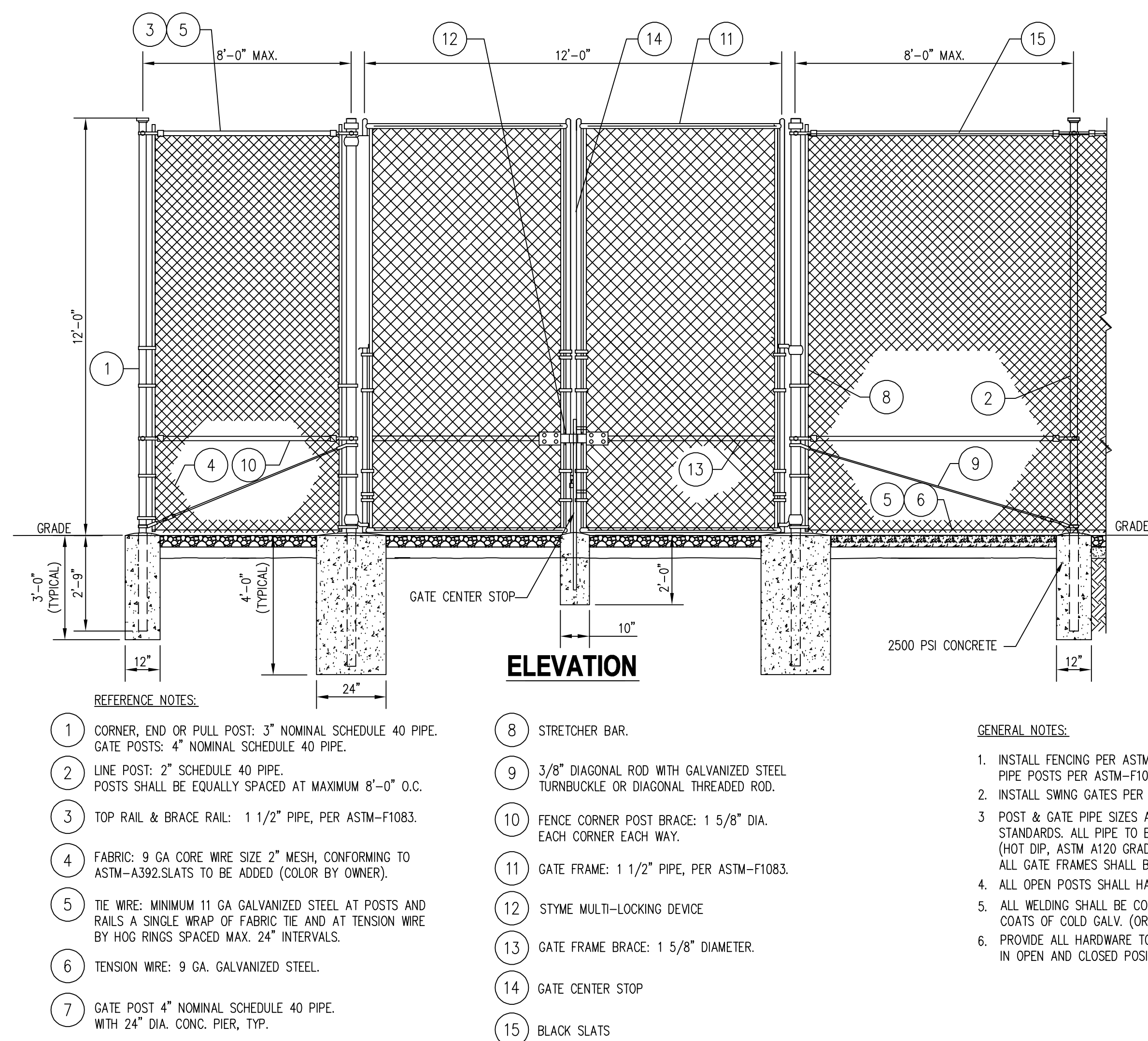
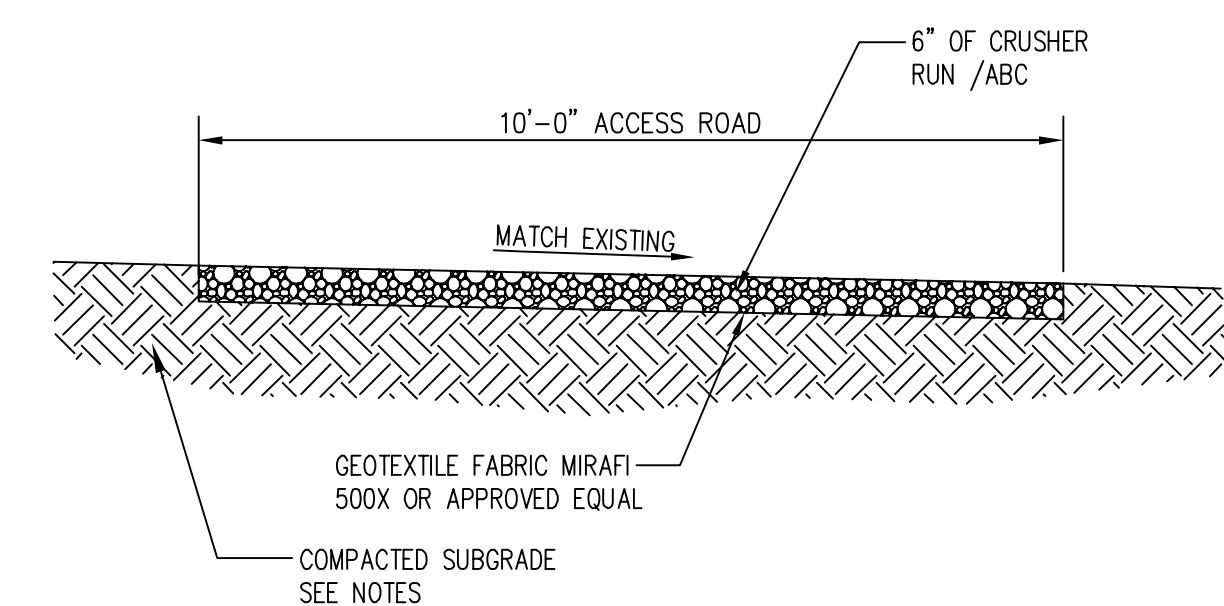
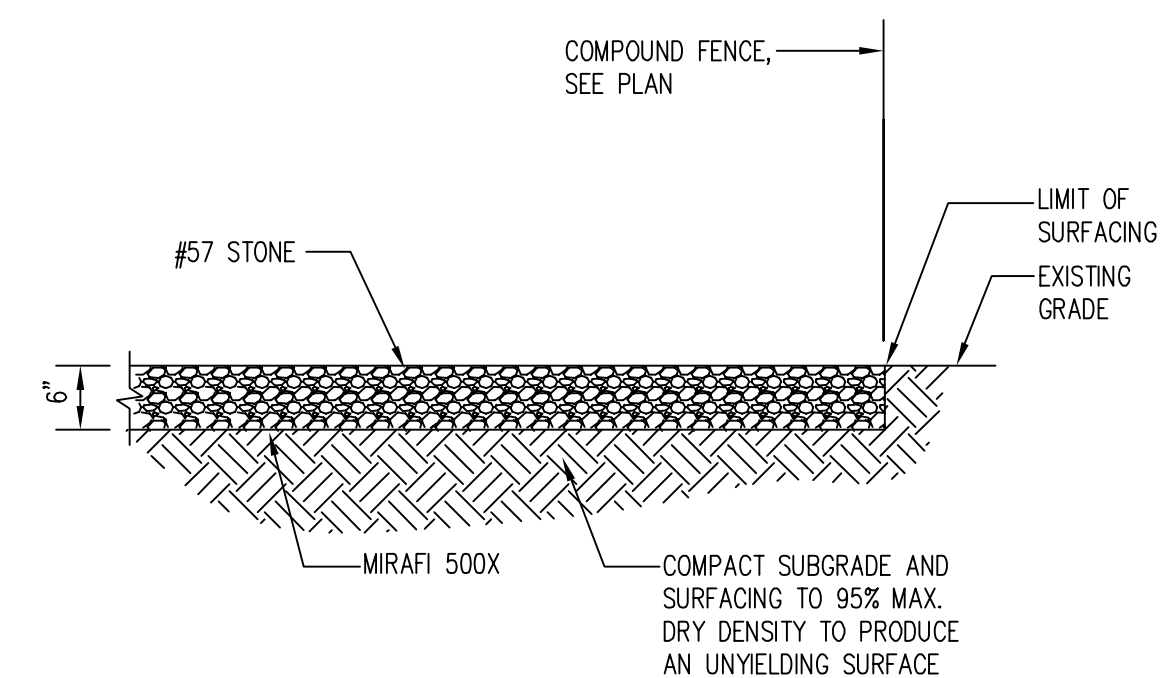
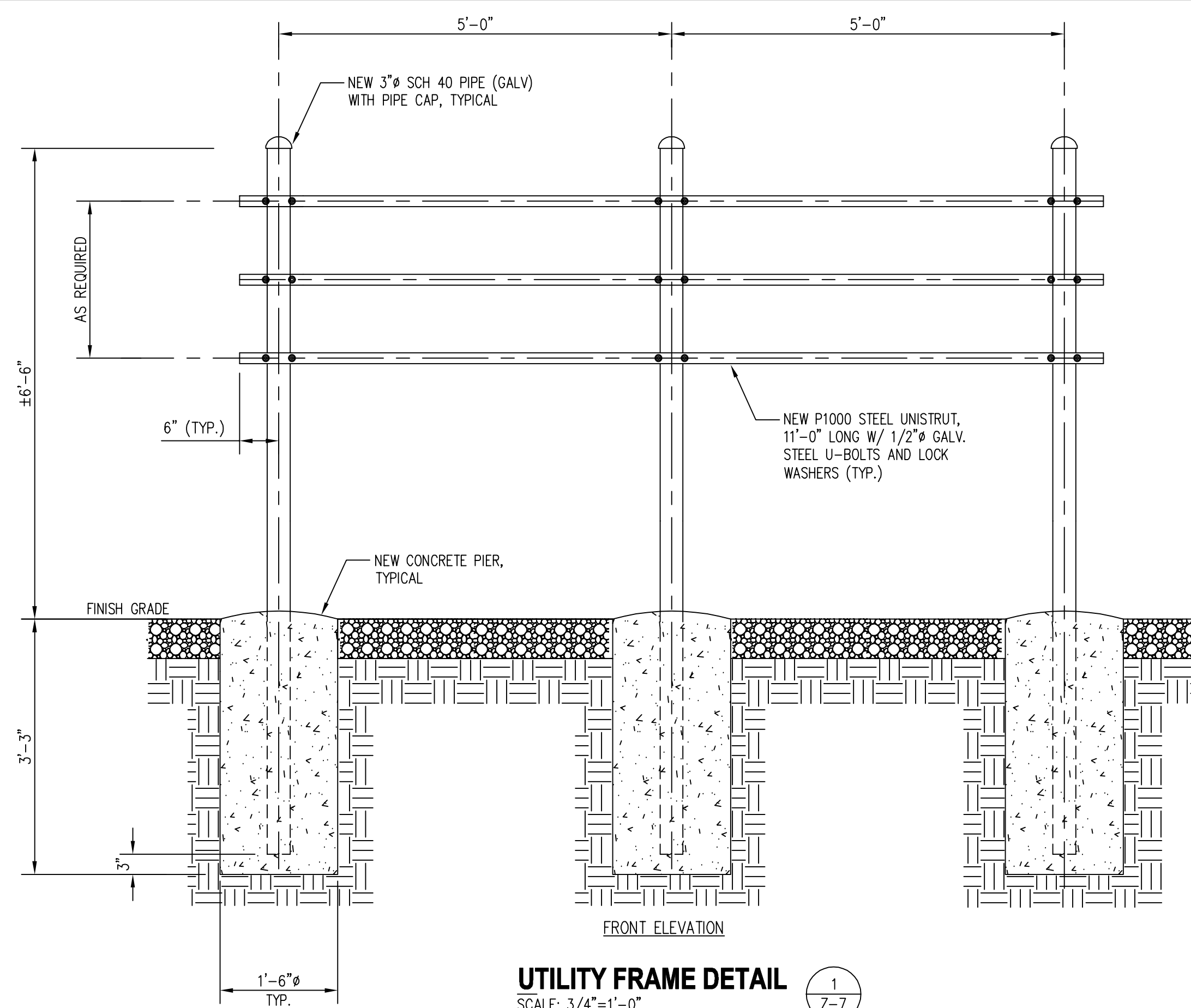
SHEET TITLE:

**EROSION AND  
SEDIMENT CONTROL  
DETAILS**

SHEET NUMBER:

**Z-6**

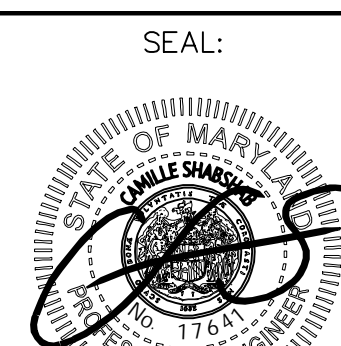




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|-------------|----------|
| PROJECT NO: | 1050.472 |
| DESIGNER:   | R.S.     |
| ENGINEER:   | C.S.     |

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SHEET TITLE:

## SITE DETAILS

SHEET NUMBER:

**Z-7**



SITE SIGNAGE DETAILS



MARKETING / ID SIGN

SCALE: N.T.S.

1  
Z-8

WHITE BACK GROUND  
W/ BLACK LETTERING

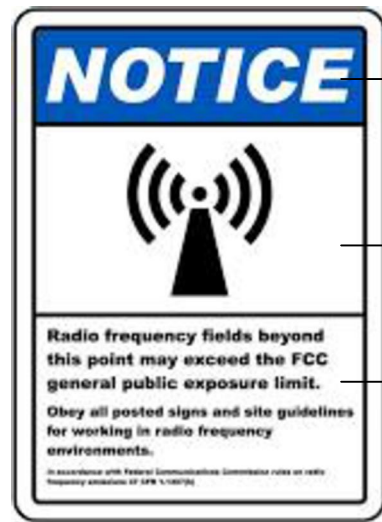


NO TRESPASSING SIGN

SCALE: N.T.S.

2  
Z-8

WHITE BACKGROUND  
W/ RED LETTERING  
18"H X 24"W



RF NOTICE SIGN

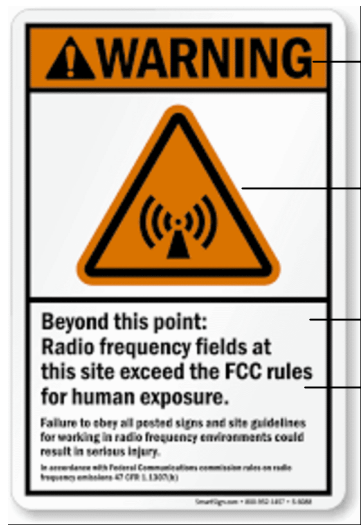
SCALE: N.T.S.

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Z-8

BLUE BACKGROUND  
W/ WHITE LETTERING

WHITE BACKGROUND  
W/ BLACK LETTERING

12"W X 18"H  
W/ BLACK LETTERING  
LOCATE ON FRONT OF GATE



RF WARNING SIGN

SCALE: N.T.S.

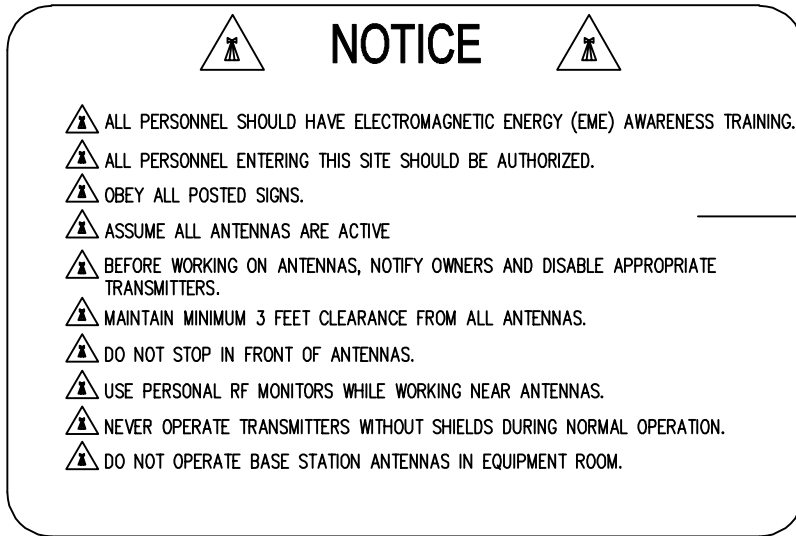
5  
Z-8

ORANGE BACKGROUND  
W/ BLACK LETTERING

ORANGE BACKGROUND  
W/ BLACK LETTERING

WHITE BACKGROUND  
W/ BLACK LETTERING

12"W X 18"H  
LOCATE AT BASE OF TOWER



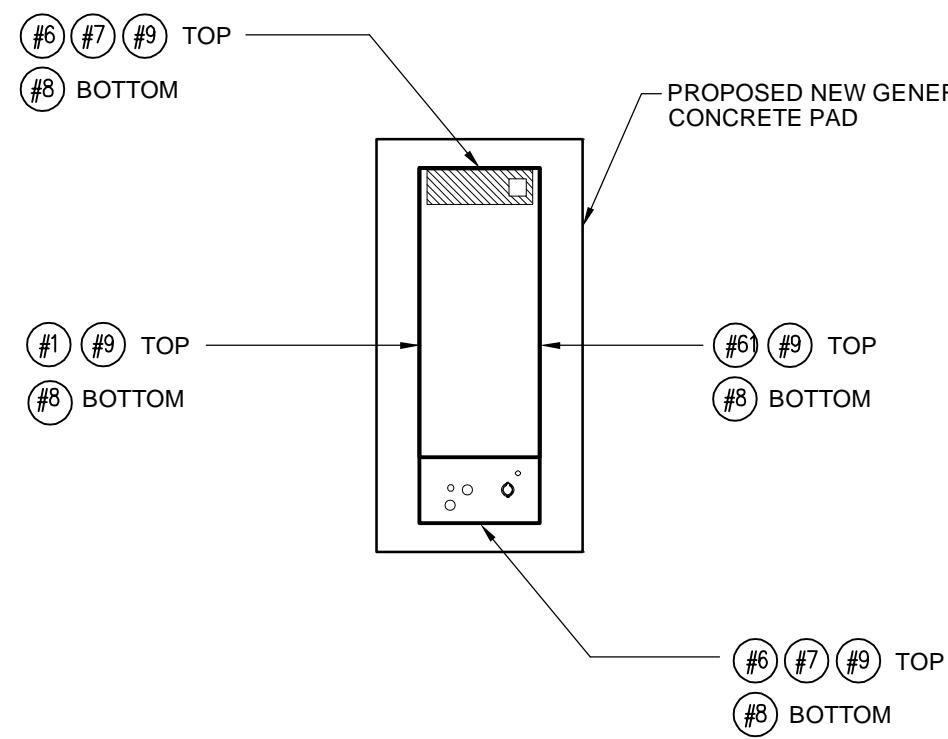
RF NOTICE SIGN 2

SCALE: N.T.S.

4  
Z-8

ORANGE BACKGROUND  
W/ BLACK LETTERING  
12"W X 18"H

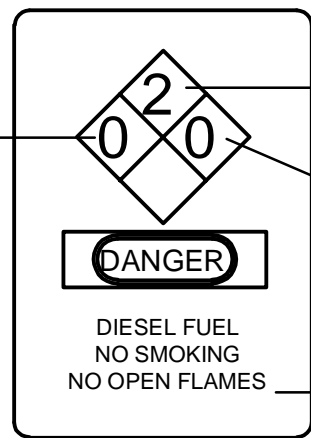
GENERATOR SIGNAGE DETAILS



SIGN KEY PLAN

SCALE: N.T.S.

BLUE BACKGROUND W/  
BLACK LETTERING



SIGN DIMENSIONS: 4" WIDE X 14" HIGH

DANGER - DIESEL FUEL - SIGN #1

SCALE: N.T.S.

6  
Z-8

RED BACKGROUND W/  
BLACK LETTERING

YELLOW BACKGROUND  
W/ BLACK LETTERING

WHITE BACKGROUND W/  
BLACK LETTERING



SIGN DIMENSIONS: 30" WIDE X 12" HIGH

FUEL TANK - SIGN #3

SCALE: N.T.S.

8  
Z-8

GREEN W/ WHITE  
LETTERING



SIGN DIMENSIONS: 20" WIDE X 14" HIGH

SITE ID - SIGN #2

SCALE: N.T.S.

7  
Z-8

WHITE BACKGROUND W/  
BLACK LETTERING

2" HIGH BLACK LETTERS ON  
WHITE BACKGROUND  
(STICKERS)



SIGN DIMENSIONS: 8" WIDE X 4" HIGH

EMERGENCY RESPONSE - SIGN #4

SCALE: N.T.S.

9  
Z-8

WHITE BACKGROUND W/  
BLACK LETTERING



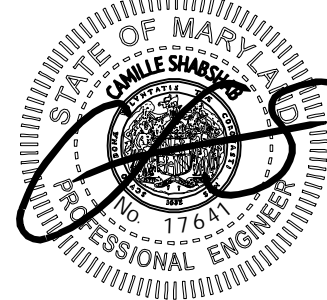
6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



Milestone  
Towers

OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811

SEAL:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025

SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
|------------|---------------|------|
| 11-11-2025 | ZONING REVIEW | A    |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |

PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED  
TO BE FULL-SIZE

0 1/2 1

GRAPHIC SCALE IN INCHES

SHEET TITLE:

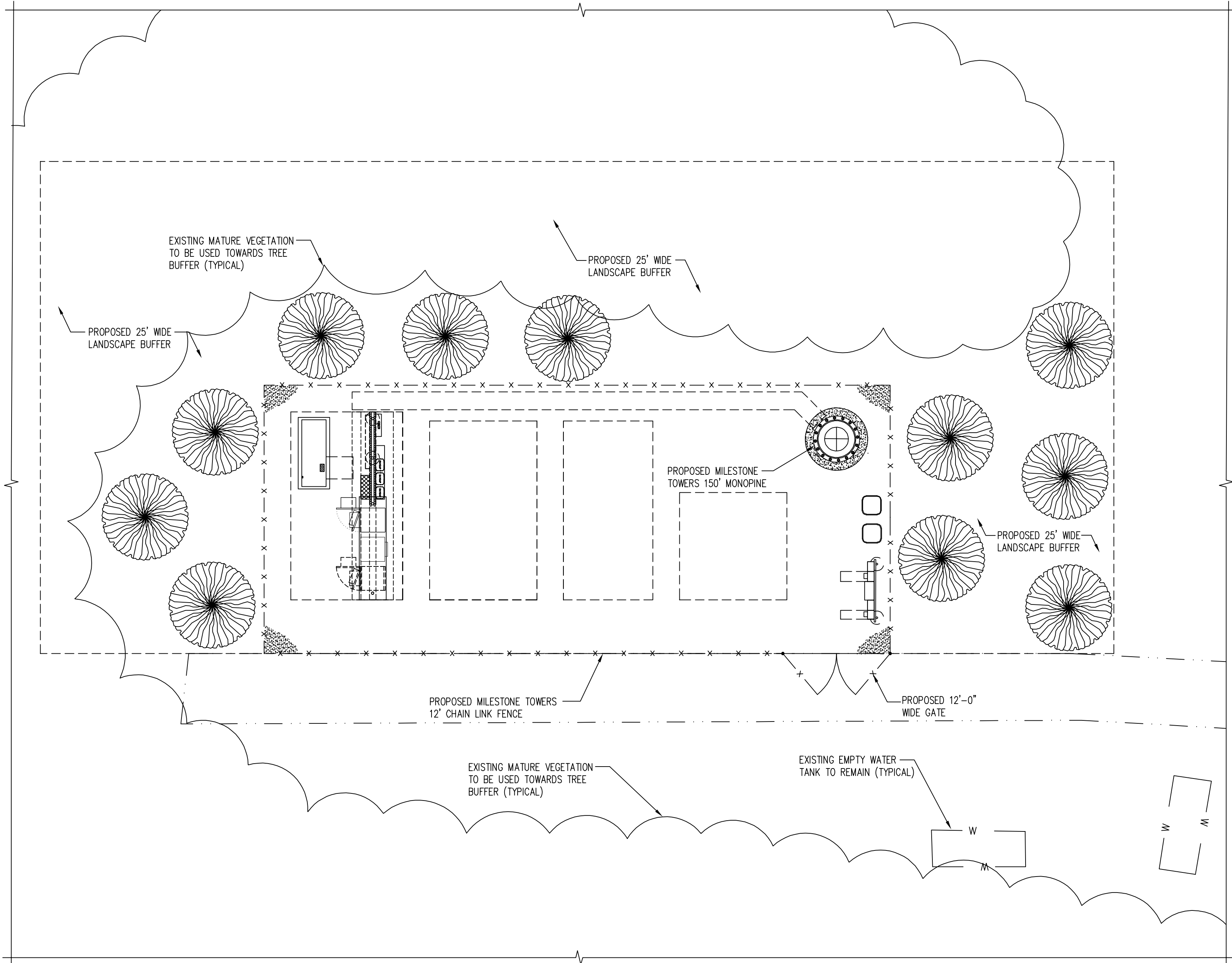
SIGNAGE  
DETAILS

SHEET NUMBER:

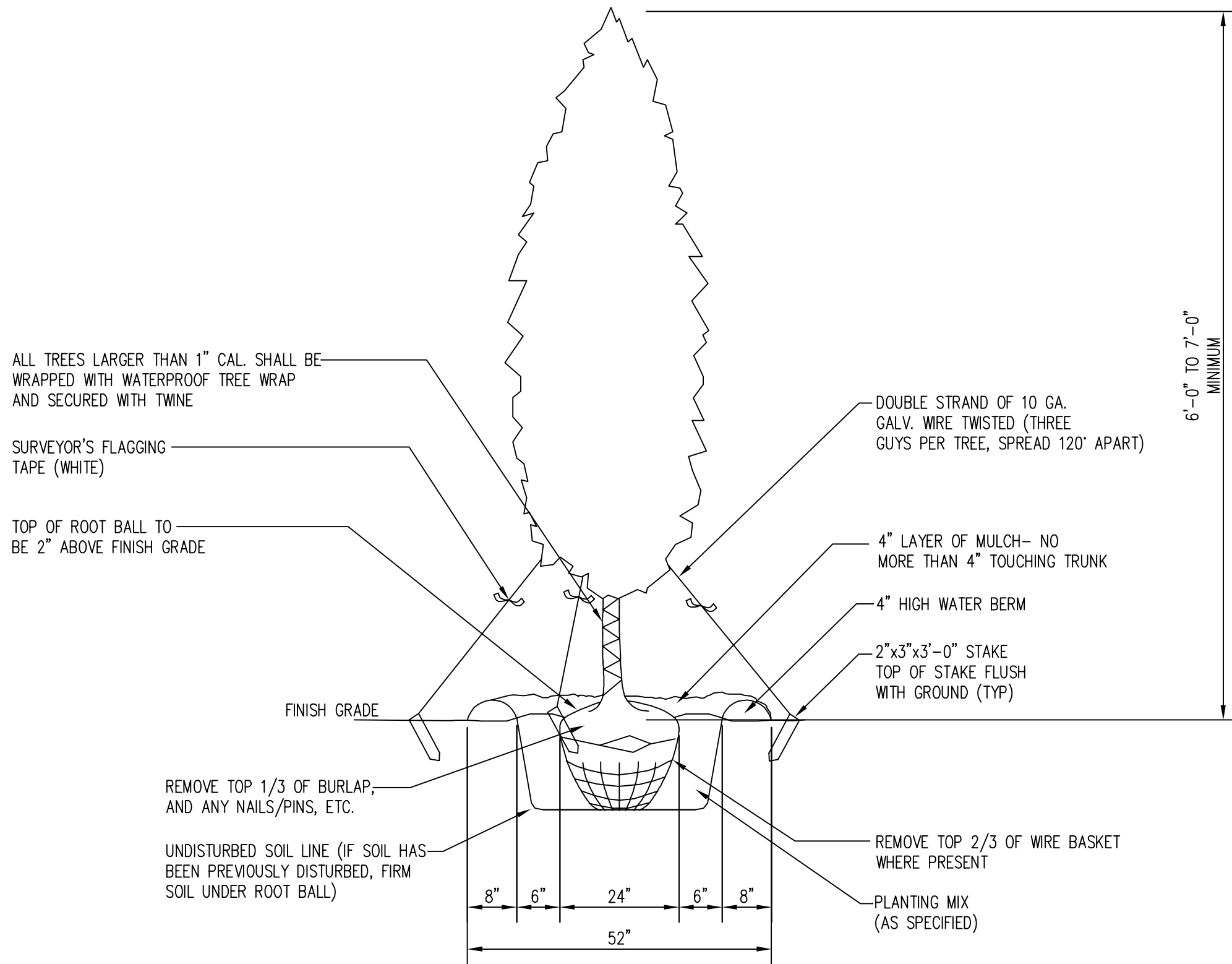
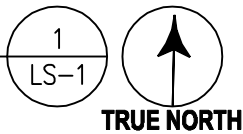
Z-8

PLANT LIST

| SYMBOL | TYPE            | BUFFER<br>YARD QTY. | CALIPER | HEIGHT |
|--------|-----------------|---------------------|---------|--------|
|        | LARGE EVERGREEN | 11                  | 6"      | 6'     |

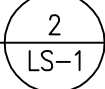


LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



- NOTES:
1. REMOVE WIRE OR NYLON TWINE FROM BALL.
  2. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE.
  3. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY.
  4. 4" SAUCER WILL BE OUTSIDE OF BACKFILL.

TREE PLANTING DETAIL  
SCALE: N.T.S.



GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER-GROWN OR BALLED AND BURLAPPED.
3. ALL TREES SHALL BE STRAIGHT TRUNKED, FULL HEADED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES SHALL BE GUIED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS SHALL BE COMPLETELY MULCHED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER'S REPRESENTATIVE.
10. THE OWNER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
11. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
12. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. CONTRACTOR TO WATER AND WARRANTY TREES FOR 1 YEAR.

PLANTING NOTE:

THE OWNER OF FEE TITLE TO ANY PROPERTY ON WHICH PLANT MATERIAL HAS BEEN ESTABLISHED IN ACCORDANCE WITH AN APPROVED LANDSCAPING/PLANTING PLAN SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THE APPROVED PLANT MATERIAL AS REQUIRED BY THE ORDINANCE.



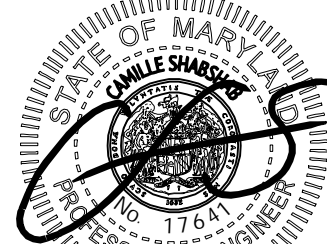
6100 EXECUTIVE BLVD.  
SUITE 430  
ROCKVILLE, MD 20852  
PHONE: (202) 408-0960



Milestone  
Towers

OCEAN PINES  
GOLF COURSE  
98 CLUBHOUSE DR  
OCEAN PINES, MD 21811

SEAL:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/31/2025.

SUBMITTALS

| DATE       | DESCRIPTION   | REV. |
|------------|---------------|------|
| 11-11-2025 | ZONING REVIEW | A    |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |
|            |               |      |

PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE

0 1/2 1

GRAPHIC SCALE IN INCHES

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

LS-1



**TECHNICAL REVIEW COMMITTEE**

DATE OF MEETING: January 14, 2026

PROJECT: Ocean City Cable Landing Station

APPLICANT(S) IN ATTENDANCE:

\_\_\_\_\_  
\_\_\_\_\_

TRC MEMBERS IN ATTENDANCE:

\_\_\_\_\_ Tremblay, Zoning Administrator  
\_\_\_\_\_ Zito, DRP Specialist III  
\_\_\_\_\_ Miller, Building Plans Reviewer III  
\_\_\_\_\_ Mitchell, Environmental Programs  
\_\_\_\_\_ White, Environmental Programs  
\_\_\_\_\_ Soper, Environmental Programs  
\_\_\_\_\_ Birch, Environmental Programs  
\_\_\_\_\_ Mathers, Environmental Programs  
\_\_\_\_\_ Owens, Fire Marshal  
\_\_\_\_\_ Korb, Deputy Fire Marshal  
\_\_\_\_\_ Lynch, County Roads  
\_\_\_\_\_ Berdan, County Roads  
\_\_\_\_\_ Wilson, State Highway Admin.  
\_\_\_\_\_ Fritts, State Highway Admin.  
\_\_\_\_\_ Beauchamp, W & WW, DPW  
\_\_\_\_\_ Knight, Planning Commission Rep.

~~~~~



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

January 14, 2026

Project: OC Cable Landing Site – Major Site Plan Review

Proposed construction of a 24,247 square foot building and associated site improvements for a cable landing station. Located at Tax Map 33, Parcel 136 on the easterly side of Stephen Decatur Highway (MD Route 611), C-2 General Commercial District. Sandbridge Subsea 888 LLC, owner / Atlantic Group & Associates, Inc., engineer/applicant.

Prepared by: Ben Zito, DRP Specialist

Contact: bmzito@worcestermd.gov or (410) 632-1200, extension 1134

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete building permit application along with the initial fee of \$350 made payable to "Worcester County."
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan) and building elevations (front, rear and sides). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.

3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-210	C-2 General Commercial District, Public Utility Structures and Properties Other than Essential Services
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-321	Off-Street Loading Spaces
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-324	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

*The proposed project is also subject to the *Design Guidelines and Standards for Commercial Uses* as revised and adopted on January 17, 2017. Under Section 2 of the Design Guidelines, the Planning Commission is able to grant a waiver to the requirements contained within, as long as the applicant can meet the provisions described. Please keep in mind that if a similar standard is listed in the Zoning Code and does not allow for a waiver, that standard cannot be waived. "These guidelines and standards apply to all projects other than multi-family and townhouse development which are subject to site plan review under ZS1-325 of the Zoning and Subdivision Control Article and which cumulatively total ten thousand square feet in gross floor area or more."

1. All sheets: Please revise the side and rear setbacks to 30.' §ZS1-210(b)(14).
<https://ecode360.com/14019747>.
2. Sheet C101: In General Note 12, please also add "Worcester County."
3. Sheet C101: Please clarify how the existing graveyard easement will be accessed for visitors.

4. Sheet C101: Please denote the proposed sidewalk along Rt. 611 that is shown on the entrance plans.
5. Sheet C101: Please clarify the proposed structures in the proposed gravel area. These structures will also need to maintain 6' separation distances from one another.
6. Sheet C101: Please denote that the proposed pavement will be asphalt to match the paving details shown on the entrance plans.
7. Sheet C101: Parking bumpers or wheelstops shall be at least five inches high and five inches wide, located no less than eighteen inches from the head of the parking space and attached to the parking lot surface. Where parking spaces abut sidewalks, pathways, walls or fences, landscaped areas or public rights-of-way, parking bumpers, wheel stops or curbing shall be located not less than three feet from these features to prevent vehicles from obstructing areas of pedestrian travel or damaging landscaping or structures. §ZS1-320(f)(5). <https://ecode360.com/14021053>.
8. Sheet C101: Please clarify if any off-street loading spaces will be needed, as a Loading Dock is proposed. Any commercial, industrial, business or other use requiring the receipt or distribution of materials or merchandise by tractor and trailer vehicles during normal business hours shall be provided with off-street loading space(s). §ZS1-321. <https://ecode360.com/14021074>.
9. Sheet C-504: Please confirm that the height of the post mounted handicap signage will be a minimum of 7' from high from grade.
10. Sheet L101: Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors. Drip irrigation systems are preferred. If an automatic system is not feasible, the Planning Commission at its discretion may approve an alternate watering system to maintain the plant material. §ZS1-322(b)(7). <https://ecode360.com/14021089>.
11. A maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate for a nursery will be required to be provided at permit stage to accurately determine the bond amount. §ZS1-322(g). <https://ecode360.com/14021139>
12. Sheet L-500, II (Standards) Subsection A. (Inspection and Approval): Please add that plant materials also need approval from Worcester County.
13. Sheet L-500, II (Standards), Subsection D. (Planting Execution): Please add that plant locations also need approval from Worcester County.
14. Sheet L-500, II (Standards), Subsection E. (Plant Warranty and Replacement): Please revise the landscape bond for two (2) years and one hundred and twenty-five percent (125%) of the installation cost.

Other Agency Approvals:

1. Written confirmation that the water and sewer requirements have been met will be required

to be provided from the Department of Environmental Programs prior to the Department granting signature approval.

2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.

***Please provide a detailed listing of all site plan changes along with any resubmission.**

NEXT STEPS: For a Major Site Plan, please address all comments provided by the TRC and resubmit any changes as needed for the Planning Commission. If approved by the Planning Commission, final approval of the site plan will not be granted until all comments provided to the applicant by the TRC have been addressed on the site plan and any associated documents. Once the site plan and other documents have been adjusted, it will need to be resubmitted to the TRC for ‘final signature approval’ before building/zoning permits will be issued.

The approval of the site plan or the installation of the improvements as required in this Title shall in no case serve to bind the County to accept such improvements for maintenance, repair or operation thereof. Acceptance of improvements shall be subject to applicable County or state regulations.

No public easement, right-of-way or public improvement shall be accepted for dedication unless approved by the County Commissioners. Such approval shall not be given by the County Commissioners until any such easement, right-of-way or improvement complies with all the requirements set forth by the approving body, including such other requirements that the approving body might impose for public utilities, streets, roads, drainage, etc. All improvements accepted for dedication shall be depicted on an instrument to be recorded in the land records of Worcester County.



Worcester County
Department of Environmental Programs
Environmental Programs Division

Memorandum

To: Technical Review Committee (TRC) for a January 14, 2026 Meeting

From: Environmental Programs Staff

Subject: OC Cable Landing Site Major Site Plan Review – Tax Map: 33, Parcel: 136

Date: January 12, 2025

Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. The initial expectation is for 4-5 staff members at most, with no growth in staffers working full-time for this facility?
2. In regards to cooling units, it is understood that facility will use CRAC units (computer room air conditioning units). These units are similar to standard HVAC (air handler and compressor). We are also under the impression that this facility will not use glycol or a water cooling tower. They will use traditional air handler with exterior condenser. The representatives were not certain that they will use recirculating water at this time. As the property is allocated a single EDU based on the use proposed and the nominal number of employees, the projected water use needs to be determined. We do need some certainty on the capacity needs for the proposed facility.
3. You have an initial set of generators shown on the site plan with a reported scale-up to a total of eight (8) generators, each rated at 750 horsepower (HP). All new, modified, or replacement installations which are potential sources of air pollution (including fuel burning equipment) are regulated and require an Air Quality Permit to Construct from the Maryland Department of the Environment (MDE). The applicant will need to investigate whether MDE would consider this facility coverage under a general or individual permit, among additional Air permit requirements.

Citizens and Government Working Together

4. It has been indicated that the storage volume for fuel will be 20-30,000 gallons. Any person who stores 10,000 gallons or more of oil in aboveground storage tanks (ASTs), must obtain an oil operations permit from MDE.
5. There will be a considerable amount of cooling and generative capacity proposed for this facility. The applicant should view the noise level limits under § ZS 1-346 for applicability for the equipment proposed.
6. Reviewing estimated emergency power generator installations at full buildout, the total power requirements could be equivalent to 1,200 single-family dwellings. Has the owner made inquiries to the local electrical utility on grid upgrades or infrastructure improvements?
7. Commercial plumbing plans will need to be submitted for plan review with the building permit and \$250 review fee submitted. A plumbing permit will also need to be obtained for the interior work and a separate one for the site utility work.
8. Plumbing Code is the 2021 International Plumbing Code (IPC) Illustrated.




Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner IV 

Subject: Forest Conservation & Stormwater Management Review

Date: January 2, 2026

Date of Meeting: January 14, 2026

Project: OC Cable Landing Site

Location: Stephen Decatur Hwy, Tax Map: 33, Parcel: 136

Owner/Developer: Sandbridge Subsea 888, LLC

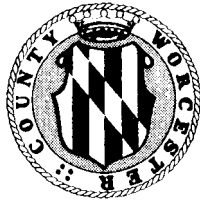
Engineer/Applicant: Atlantic Group & Associates, Inc.

This project is subject to the Worcester County Forest Conservation Law. This property is subject to Forest Conservation Plan #97-10. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of off-site Forest Conservation Easements. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements.

This project is subject to the Worcester County Stormwater Ordinance. The project has obtained Stormwater Concept Plan approval. Stormwater Site Development Plan approval is required prior to this project proceeding to Planning Commission. Stormwater Final Plan approval must be received prior to this project receiving Signature Plan approval.

All projects over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together



WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Ocean City Cable Landing Station

Date: 1/14/2026

Tax Map: 33 Parcel: 136 Section: _____ Lot: _____ Block: _____

STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval. Will be necessary upon permit application submittal.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead, and other structural loads.
3. Soils report required at the time of building permit application.
4. Compaction reports are due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing, and electrical plans are required.
6. Provide information for wind, snow, and seismic loads.
7. Special inspections (Third party) required steel, concrete, masonry, wood, prepared fill, foundations, and structural observations. **These are required in addition to the required Worcester County inspections.**
8. Provide plan for the owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation.
14. Architect / Engineer to provide verification construction is in accordance with approved plans and specifications prior to final inspection.
15. Provide your design professional with a copy of these comments.

SITE SPECIFIC COMMENTS

1. Current Codes: 2021 International Building Code
 2021 International Energy Conservation Code
 2021 International Mechanical Code
 2020 NEC
 Maryland Accessibility Code (MAC)
 2010 ADA Standards for Accessible Design
1. Complete sealed architectural, structural, mechanical, plumbing, electrical and energy code plans are required.
2. Wind Design: 140 MPH Risk category IV; Exposure "C"
 Overhead garage door to be rated for 140 MPH.
3. Provide occupant load for use of building.
4. Provide an egress plan.
5. Mechanical ventilation
6. Automatic fire suppression system required
7. Egress doors to swing in direction of travel.
8. Provide an Energy Compliance Report and lighting plan.
9. Complete detailed air barrier design.
10. Building envelope performance verification by certified third party engineer or certified contractor.
11. Additional energy-efficiency credit requirements to be included with the submittal.
12. Provide all details and specifications per 2010 ADA design standards and MAC (Maryland Accessibility Code).
13. Provide an accessible route from the parking lot to the building entry.

14. An ADA drinking fountain (hi/low) required.

Provide generator foundation, anchoring and specifications.

Provide foundation and anchoring for fuel tanks.

There is not enough information provided at this time to provide additional comments.



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1302

SNOW HILL, MARYLAND 21863-1294

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: **Ocean City Cable Landing Station**

TRC #: **20260017**

LOCATION: **Tax Map 33, Parcel 136 – Stephen Decatur Hwy – Berlin, Maryland**

CONTACT: **Atlantic Group & Associates**

MEETING DATE: **January 14, 2026**

COMMENTS BY: **Robert Korb, Jr.**

Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions, or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project:

Proposed construction of a 24,247 square foot building and associated site improvements for a cable landing station.

Specific Comments:

1. A complete set of building plans shall be submitted and approved prior to start of construction.
2. The building will be required to be protected by an automatic fire suppression system.
3. The building will be required to be protected by an automatic fire alarm system.
4. A fire hydrant will be required to be installed within 100' of the fire department connection on the building. Coordinate hydrant locations with this office.
5. The building will be required to have a "Knox Box" provided by the Berlin Volunteer Fire Company as well as a "Siren operated sensor" installed on the gate opener.

6. The building may be required to have a public safety two-way radio in-building communications system installed. Check with the Worcester County Department of Emergency Services for requirements.
7. No further comments at this time.

Ocean City Cable Landing Station TRC Comments

From Tony Fascelli <tfascelli@worcestermd.gov>

Date Fri 1/9/2026 11:37 AM

To Benjamin M. Zito <bmzito@worcestermd.gov>

Cc Kevin Lynch <klynch@worcestermd.gov>; Lee R. Beauchamp <lrbeauchamp@worcestermd.gov>

Ben,

Please see below list of comments for TRC Submittal of the Ocean City Cable Landing Station. Kevin I am assuming you don't have much for comments outside the road restoration needs to meet County standards for the utility trench and traffic control?

1. Please verify EDU's are available with Environmental Programs.
2. Please provide a separate submittal of Utility Plans for future submittals to Water and Wastewater office, located at 1000 Shore Lane, Berlin, MD.
3. A copy of the executed easement for the water line is going to be required prior to plan approval.
4. Utility Sheet U-101, Shows a 1" service but the plan details on Sheet U-501 show a water meter and 2" service connection. Please clarify what the intentions are for sizing.
 - a. Water meters shall be Neptune T-10 pro-coder meter with R900i radio. The developer will be responsible for purchasing of the meter.
 - b. Additionally, there is no fire service shown is this the intention please verify with your point by point response.

Thanks,

Tony Fascelli
Water & Wastewater Superintendent
Department of Public Works
Worcester County Government
1000 Shore Lane
Berlin, MD 21811
Phone: 410-641-5251
Email: tfascelli@co.worcester.md.us
www.co.worcester.md.us



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RE: TRC Agenda - 01.14.2026

From Jeffrey Fritts <JFritts@mdot.maryland.gov>

Date Thu 1/8/2026 11:37 AM

To Benjamin M. Zito <bmzito@worcestermid.gov>; Kevin Lynch <klynch@worcestermid.gov>; Laurie Bew <lbew@worcestermid.gov>; Robert Korb Jr. <rkorb@worcestermid.gov>; Robert Mitchell <bmitchell@worcestermid.gov>; Stuart White <swhite@worcestermid.gov>; Tony Fascelli <tfascelli@worcestermid.gov>; Lee R. Beauchamp <lrbeauchamp@worcestermid.gov>

Hello,

1. Ocean Pines Golf Course Monopole, no comment.
2. OC Cable Landing is currently under plan review with SHA.



Jeff Fritts
Access Management
Regional Engineer
410.677.4039 **office**
443.397.5063 **mobile**
Jfritts@mdot.maryland.gov
Maryland Department of Transportation
660 West Road, Salisbury, MD 21801

From: Benjamin M. Zito <bmzito@worcestermid.gov>

Sent: Thursday, January 8, 2026 8:10 AM

To: Jeffrey Fritts <JFritts@mdot.maryland.gov>; Kevin Lynch <klynch@worcestermid.gov>; Laurie Bew <lbew@worcestermid.gov>; Robert Korb Jr. <rkorb@worcestermid.gov>; Robert Mitchell <bmitchell@worcestermid.gov>; Stuart White <swhite@worcestermid.gov>; Tony Fascelli <tfascelli@worcestermid.gov>; Lee R. Beauchamp <lrbeauchamp@worcestermid.gov>


Subject: Re: TRC Agenda - 01.14.2026

Caution: CAUTION: Suspicious? Double-check! This email is from an external source. If something seems unusual, even from someone you know, verify directly. Forward suspicious emails directly to Email Abuse (abuse@mdot.maryland.gov) or call the MDOT Service Desk at 410-768-7181 for assistance.

All,

Please provide your comments for the attached TRC agenda items by 1/12/26 at the latest.

Digital copies of the site plans can be found in the following OneDrive link for your convenience:

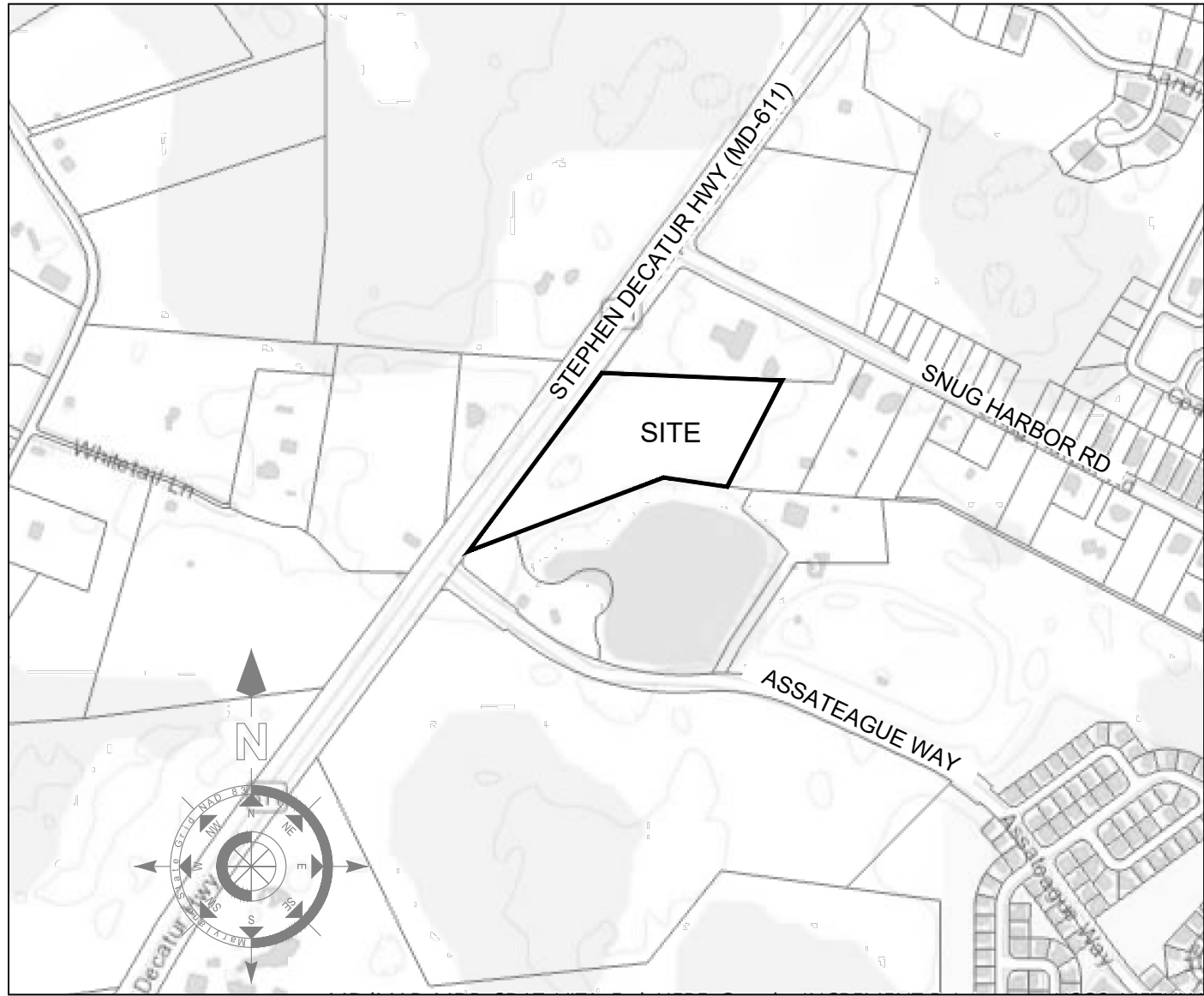
 [1-14-26 TRC](#)

OCEAN CITY CABLE LANDING STATION

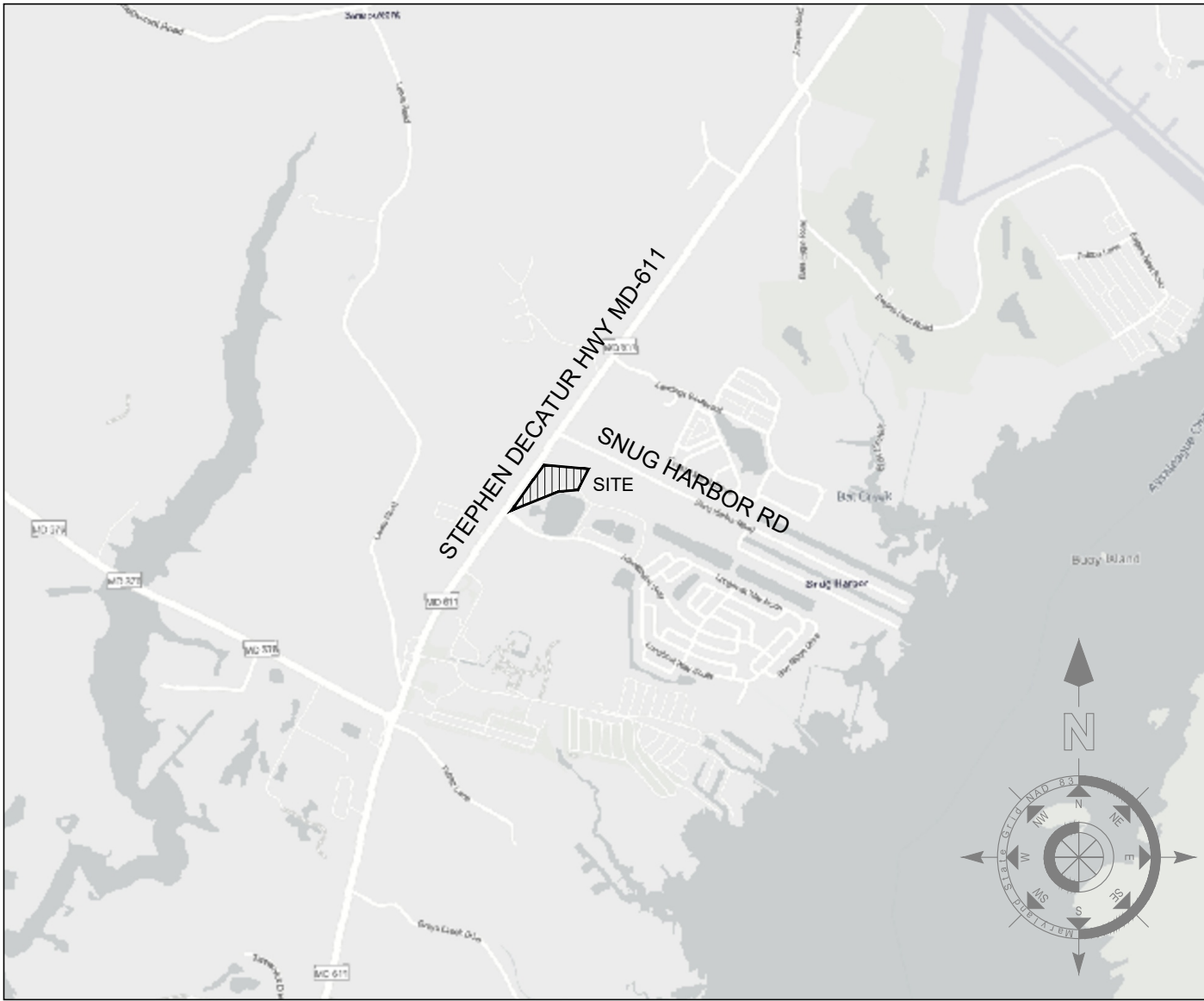
BERLIN, MARYLAND WORCESTER COUNTY SITE PLAN

General Notes:

- 1.) Vertical Datum: Maryland State Plane NAVD88
Horizontal Datum: NAD83/2011
- 2.) Contour Interval is 1 foot.
- 3.) Contractor shall be responsible for obtaining all required permits for the work indicated.
- 4.) The contractor shall satisfy himself as to all site conditions prior to bidding and construction.
- 5.) Contact Miss Utility (1-800-441-8355) for existing utility locations 48 hours prior to commencing work.
- 6.) Contractor shall be responsible for the coordination of construction efforts with utility companies/ providers, and others as may be required.
- 7.) All utility and survey data shown on the drawings have been provided by the Atlantic Group & Associates, Inc.. Information has been obtained from the best available sources at the time of the survey, but is not represented as being complete and accurate. It is the contractor's responsibility to locate and protect existing utilities and underground structures. Damage to existing utilities and underground structures shall be repaired by the contractor at no additional cost to the developer.
- 8.) The contractor shall re-establish all property pins, monuments, water meters, drainage culverts, fences, utility poles, driveways, curbs, gutters, etc. disturbed during construction at no additional cost to the developer.
- 9.) All disturbed areas, shall be repaired to a condition equal to or better than those existing prior to construction, or as shown on the drawing.
- 10.) The contractor shall use only new materials, parts and products. All materials shall be stored so as to assure the preservation of their quality and fitness for the work.
- 11.) Should unsuitable material be encountered during construction of the utilities, roadways, parking lots, and building pads, it shall be the contractor's responsibility to remove the unsuitable material and replace it with suitable material. The contractor shall be responsible for importing select material if on-site suitable material is not available. Cost for the actual imported material shall be the owners' developers responsibility.
- 12.) Any subsequent revisions, additions, and/or deletions shall require specific written approval of the owner.
- 13.) Any discrepancies with the plans and site conditions shall be brought to the immediate attention of the engineer.
- 14.) The absence of the developer or the engineer at the job site does not, in any way, relieve the contractor of the responsibility to perform the work in accordance with the drawings, contract documents, addenda, and written authorized plan revision.
- 15.) The contractor shall comply with all applicable laws, ordinances, rules, regulations, and orders of any body having jurisdiction. The contractor shall erect and maintain, as required by the conditions and progress of the work, all necessary safeguards for safety and protection.
- 16.) Any additional utilities to be relocated shall be relocated at the owners'/ developers expense, including utilities within public right-of-way.



PROJECT LOCATION SCALE 1" = 500'



MAP LOCATION SCALE 1" = 2000'

Sheet List Table

Sheet Number	Sheet Title
C-001	TITLE SHEET
C-002	TITLE SHEET NOTES
C-100	EXISTING CONDITIONS PLAN
C-101	SITE PLAN
C-102	CONCEPT GRADING PLAN
C-103	EXISTING DRAINAGE AREA
C-104	PROPOSED DRAINAGE AREA
C-105	CONCEPT SWM PLAN
C-106	SWM PROFILES
C-500	SWM DETAILS
C-107	ESC PLAN
C-501	ESC DETAILS
C-502	ESC DETAILS
U-101	CONCEPT UTILITY PLAN
U-500	UTILITY DETAILS
U-501	UTILITY DETAILS
C-108	ENTRANCE PLAN
C-109	ENTRANCE PLAN
C-110	ENTRANCE CROSS SECTION
C-503	ENTRANCE DETAILS
C-504	ENTRANCE DETAILS
C-505	ENTRANCE DETAILS
L-101	LANDSCAPE & LIGHTING PLAN
L-102	BMP PLANTING
L-500	LANDSCAPE DETAILS
L-501	LIGHTING DETAILS
L-502	DETAILS
A-1.1	FLOOR PLAN
A-2.1	EXTERIOR ELEVATIONS

Functional Classification: Minor Arterial (MD 611)
Speed Limit: 50 mph

Benchmark	Northing (ft)	Easting (ft)	Elevation (ft)	Description
1	235381.79	1844681.17	9.13	Iron Cap Found
2	235060.21	1844855.36	11.89	Iron Cap Set
3	234879.31	1844319.63	13.03	Iron Cap Set

CONSULTANTS

OWNER:

SURVEYOR, PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT:

Atlantic Group & Associates, Inc.
10044 Old Ocean City Boulevard
Berlin, MD 21811
Ph: (410) 629-1160

PROFESSIONAL CERTIFICATION

"I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND."

NAME: DAVID PERALTA

LICENSE NO.: 64498

EXPIRATION DATE: 03/13/2027

SEAL

PLANS ISSUED FOR:
Review

REVISIONS:

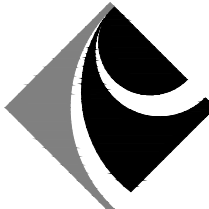
No.	Revision/Issue:	Date

OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

Civil Engineers
Land Planners
Landscape Architects
Surveyors

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& Associates, Inc.



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www.the-atlanticgrp.com

TITLE
SHEET

PROJECT: 25-110	DATE: 12/9/2025
DRAWN BY: KB	SCALE: NOTED

SHEET:

C-001

SHA GENERAL NOTES

Lane Closure Permits must be submitted for approval at least 2 working days (48 hours) in advance of work. To obtain a Lane Closure Permit or more information regarding Lane Closures contact the District 1 Maintenance of Traffic Inspector at, SHA_D1_Traffic@mdot.maryland.gov or 410-677-4000. Design, Fabrication, and installation of all permanent signing shall be as outlined in the most recent version of the Maryland Standard Sign Book, found at: http://apps.roads.maryland.gov/BusinessWithSHA/bizStdsSpecs/desManualStdPub/publicationsonline/ots/internet_signbook.asp.

The permittee for this project assumes all responsibility for the information contained within these plans and assumes all risk associated with such. Any agreement between the permittee and contractor does not relieve the permittee of their responsibilities associated with the Access Permit and the approved plans.

Vehicular access to and from the subject site by the public, for the purpose of conducting business for the permitted use of the property, shall not be allowed until all improvements within the Access Permit and as shown on the approved permit plans have been completed to the satisfaction of SHA.

If existing pavement markings are temporary y or permanently altered, perform mill, and overlay at those locations. Also show these resurfacing on the typical sections and other applicable sheets.

For all standards referred to on the plans the contractor must go to the book of standards which will have the most current version. the book of standards can be accessed at: <http://apps.roads.maryland.gov/businesswithshwbizstdsspecs/desmanualstdpub/publicationsonline/ohd/bookstd/index.asp>

To repair distresses which may occur due to construction activity and MOT, see standard details MD 578.03 and MD 578.03-1 for Partial-Depth Patching For Partial-Depth Patching use the following: 5 " SUPER PAVE ASPHALT MIX 19.0 mm for Partial-Depth Patch, PG64S-22, Level 2 (2-2.5" Lifts) or top of concrete, whichever is encountered first.

All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

Design, fabrication, and installation of all permanent signing shall be as outlined in the Maryland standard sign book (latest edition).

No work in the SHA right of way can begin until an approved access permit has been issued from SHA District 1 Access Management.

The contractor must have a copy of the approved commercial access permit and the SHA approved site plans at all times during any work being performed in the SHA right of way.

Design firm will provide as-built drawings or a professional engineers certification to SHA District 1 Access Management upon completion of this project, as a condition of the release of the surety bond.

All work in the SHA right of way shall conform to:- the SHA access manual (revised august 2016), at <https://www.roads.maryland.gov/mdotsha/pages/index.aspx?pageid=393>-

The Maryland Manual on the Uniform Traffic Control Devices (2011edition). https://www.roads.maryland.gov/mmutcd/2011_rev122011_mdmutcd_complete.pdf

The Maryland Department of Transportation State Highway Administration Standard Specifications for Construction and Materials (revised 2020), at <https://www.roads.maryland.gov/mdotsha/pages/sscm.aspx?pageid=853&lid=ssp>

For lane closure permit Contact James Moon at JMoon.consultant@mdot.maryland.gov or call 410-677-4000.

Once the access permit has been secured, the contractor will immediately need to contact the SHA District 1 access permit inspector Mr. Jon Chullin (JChullin.consultant@mdot.maryland.gov, phone: (443-365-7255) to initiate the construction/inspection phase of the project. Mr. Chullin will explain the steps that need to begin the process prior to any work being performed in the SHA right-of-way, a pre-construction meeting shall be held with representatives of the administration. In order to schedule the pre-construction meeting, all source of supply letters must be approved. Submit source of supply letters by mail (notifying Mr. Chullin when the letters are sent) to Mr. Marvin Coble, Lab Quality Manager, SHA, 7450 Traffic Drive, Hanover, MD 21076, or by email mcoble@mdot.maryland.gov (with Mr. Chullin in copy). Mr. Chullin will serve as primary contact for District 1 throughout the construction process in the State right of way/contact Mr. Chullin at least two (2) weeks prior to the date you tend to begin construction. Once you have approved source supply letters, you must notify Mr. Chullin (48) hours before the commencement of work and prior to each successive stage of construction.

Once the access permit has been issued, any revisions to the approved plans, during or before the construction process, need to be approved through the District 1 Access Management Office

The Permittee is required to hire a Third-Party firm, approved by the MDOT-SHA, for testing and inspection of all work performed within the Maryland Department of Transportation, State Highway Administration Right of Way.

SHA LANDSCAPE NOTES

Landscape construction within rights of way of the Maryland State Highway Administration (SHA) and within SHA property, easement areas and lands to be conveyed to SHA shall conform to these notes. For guidance regarding design modifications during construction, refer to the SHA landscape design guide, SHA landscape estimating manual, and the SHA environmental guide for access and district permit applicants at <http://www.roads.maryland.gov/index.aspx?pageid=25>.

Landscape construction shall conform to sections 701 through 716, and landscape materials shall conform to section 920 of the most recent revision of the SHA Standard Specifications for Construction and Materials, including all revisions and supplements and as specified in these notes. These requirements shall supersede all other specifications for work on SHA property. All SHA specifications for landscaping and landscape materials published in 2008 have been replaced. Current specifications are at <http://www.roads.maryland.gov/index.aspx?pageid=44>.

Soil disturbance such as grading, excavation, soil placement or other activities that involve soil disturbance shall be supervised by an escm manager with a valid "SHA yellow card" in conformance with SHA standard specifications and any applicable erosion and sediment control permit.

Temporary stabilization shall be installed in conformance with section 704 to ensure that areas of soil disturbance are protected from wind, rainfall, and flowing water until permanent stabilization is installed.

- a. Temporary mulch, either as temporary straw mulch or temporary matting mulch, shall be installed at the end of each working day to provide "same day stabilization" unless other approved stabilization is installed.
- b. Temporary straw mulch shall be installed on areas and slopes flatter than 4: 1; temporary matting mulch shall be applied on slopes 4:1 and steeper, and to areas with channels.
- c. Temporary seed shall be installed in lieu of temporary mulch when soil redisturbance is expected more than 3() days after soil disturbance. The Required application rate shall be 100 lbs. per acre of 37-0-0 (scu) fertilizer.

Areas of roadway pavement removal shall be excavated to remove pavements, aggregate base and compacted soil to a minimum depth of 10 inches below the pavement surface, or as necessary to remove all materials unsuitable for landscaping. The excavated areas shall be restored with subsoil and topsoil as part of soil restoration.

Debris related to the demolition of sidewalks, driveways, curbs, trees, stumps, roots, fencing, pipes, and other materials that may interfere with landscape installation or future maintenance shall be excavated as necessary for their complete removal and disposal.

Areas of pavement removal, excavation or drilling in landscaped areas shall remove excavated debris and restore the subgrade with approved subsoil and topsoil placed in conformance With section 701 of the SHA Standard Specifications.

- a. A layer of approved topsoil of at least a 4-inch depth shall be placed on all disturbed areas flatter than and in all channels prior to seeding, sodding or other landscaping, unless otherwise specified.
- b. A layer of approved topsoil of at least a 2-inch depth shall be placed on all disturbed areas 2:1 and steeper prior to seeding, sodding or other landscaping, unless otherwise specified.
- c. Bioretention soil mix (bsm) and other materials installed in conjunction with spi 319 - stormwater filtration facilities and SHA stormwater details shall be installed in conformance with SHA landscape notes and landscape plans. Plant materials and mulch shall be installed in bsm in conformance with stormwater details, section 710 or other SHA specifications.

Turfgrass establishment shall be performed in all disturbed areas, or Within the areas indicated in the plans, in conformance with section 705 of the SHA Standard Specifications. The required application rate of 20-16-12 fertilizer shall be 200 lbs. per acre, and no fertilizer shall be applied from November 15 to March 1.

Soil stabilization matting shall be installed in conformance with section 709 of the SHA Standard Specifications, in conjunction with turfgrass establishment per section 705 or meadow establishment per section 707 as follows:

- a. Area's flatter than 6:1. Type A or Type E matting may be installed in lieu of straw mulch and hydromulch binder in conjunction with turfgrass establishment.
- b. Area's steeper than 6:1 and flatter than 4:1. Type A or Type E matting shall be installed in lieu of straw mulch and hydromulch binder in conjunction with turfgrass establishment, unless delineated and noted otherwise.
- c. Channels, stormwater management facilities, and slopes and steeper. Type A soil stabilization matting shall be installed in lieu of straw mulch and hydromulch binder in conjunction with turfgrass establishment, unless delineated and noted otherwise.

UTILITY NOTES

Contractor to be responsible for the necessary relocation and/or adjustment of all existing utilities, as well as the installation of any new underground utilities to serve this development, prior to the construction of the improvements. All utility relocation work shall be accomplished under a separate permit issued to the respective Utility company by the **SHA District Utilities Engineer, Mr. Milan Shah, Salisbury, Maryland, (Phone: 410-677-4095) or by the SHA Assistant District Utilities Engineer, Mr. Robbie Muir, Salisbury, Maryland, (Phone: 410-677-4037).**

Notify **"MISS UTILITY"** (Phone: 1-800-441-8355) forty-eight (48) hours in advance of any construction so that all underground utilities can be identified in the field.

Notify the **Maryland State Highway Administration Office of Traffic and Safety (Phone: 1-888-963-0307)** forty-eight (48) hours in advance of excavation operation to allow any State-owned underground facility to be marked.

PLANS ISSUED FOR:
Review

REVISIONS:

No.	Revision/Issue:	Date

OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

Civil Engineers
Land Planners
Landscape Architects
Surveyors



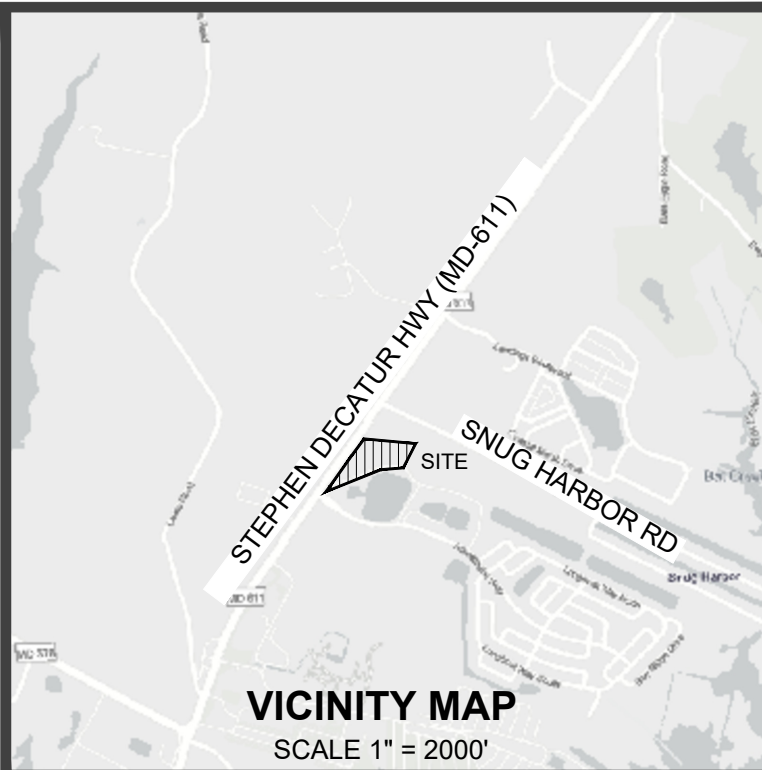
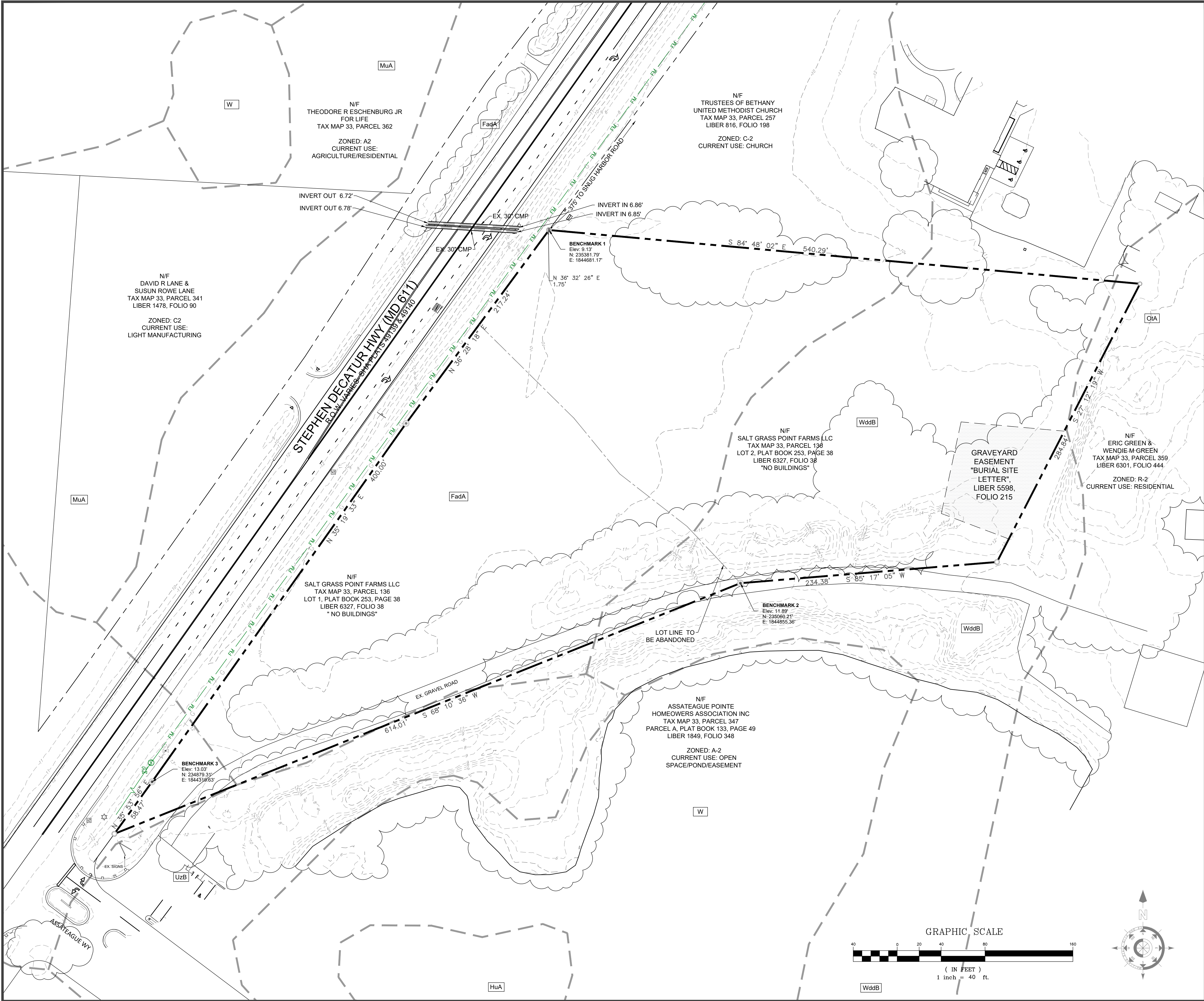
10044 Old Ocean City Boulevard
Berlin, Maryland 21811
Ph: (410) 629-1160
Fax: (410) 629-1710
www.the-atlanticgrp.com

TITLE
SHEET
NOTES

PROJECT:	25-110	DATE:	12/9/2025
DRAWN BY:	KB	SCALE:	NTS

SHEET:

C-002



SITE DATA:

GENERAL INFORMATION:

Tax Map: MAP 33, GRID 10, PARCEL 136
TENTH TAX DISTRICT
ID: 10-018188

Site Area: ±5.12 ACRES

Critical Area: N/A

Watershed: Coastal Area #021301
Sinexpent Bay #02130104

Flood Zone: Site is within Flood Zone X
per FEMA FIRM MAP
24047C0170H, DATED: 7/16/2015.

Zoning: C2 GENERAL BUSINESS

Max Height: Generally four stories or 45 ft.

Setbacks: Front: 50'
Side: 6'
Rear: 20'

GENERAL NOTES:

OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS PROVIDED FOR OUR USE.

SURVEY PLAT DATUM IS MARYLAND STATE GRID NORTH NAD '83.

WETLAND NOTE:

NO CURRENT WETLAND DELINEATION WAS PROVIDED FOR OUR USE BY THE OWNER. NO WETLANDS ARE SHOWN ON THE MARYLAND DEPARTMENT OF NATURAL RESOURCES DIGITAL MAPPING OF WETLANDS FOR THE AREA BEING SURVEYED. NO REGULATED WETLANDS OR WETLAND BUFFERS HAVE BEEN IDENTIFIED ON THIS PARCEL.

CRITICAL AREA NOTE:

THIS PARCEL WAS FOUND IS OUTSIDE THE ATLANTIC COASTAL BAY CRITICAL AREA AND CHESAPEAKE BAY CRITICAL AREA.

SOIL LEGEND:

Map Unit:	Map Unit Description:	Hydrologic Soil Group
OIA	Othello silt loams, 0 to 2 percent slopes, Northern Tidewater Area	C / D
WddB	Woodstown sandy loam, 2 to 5 percent slopes, Northern Tidewater Area	C
FadA	Fallsington sandy loams, 0 to 2 percent slopes, Northern Tidewater Area	B / D
RuB	Runclint loamy sand, 2 to 5 percent slopes	A
UzB	Udorthents, loamy, 0 to 5 percent slopes	C

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EASEMENT LINE
- SOIL BOUNDARY LINE
- SOIL MAP UNIT SYMBOL

PLANS ISSUED FOR:
Review

REVISIONS:

No.	Revision/Issue:	Date

OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

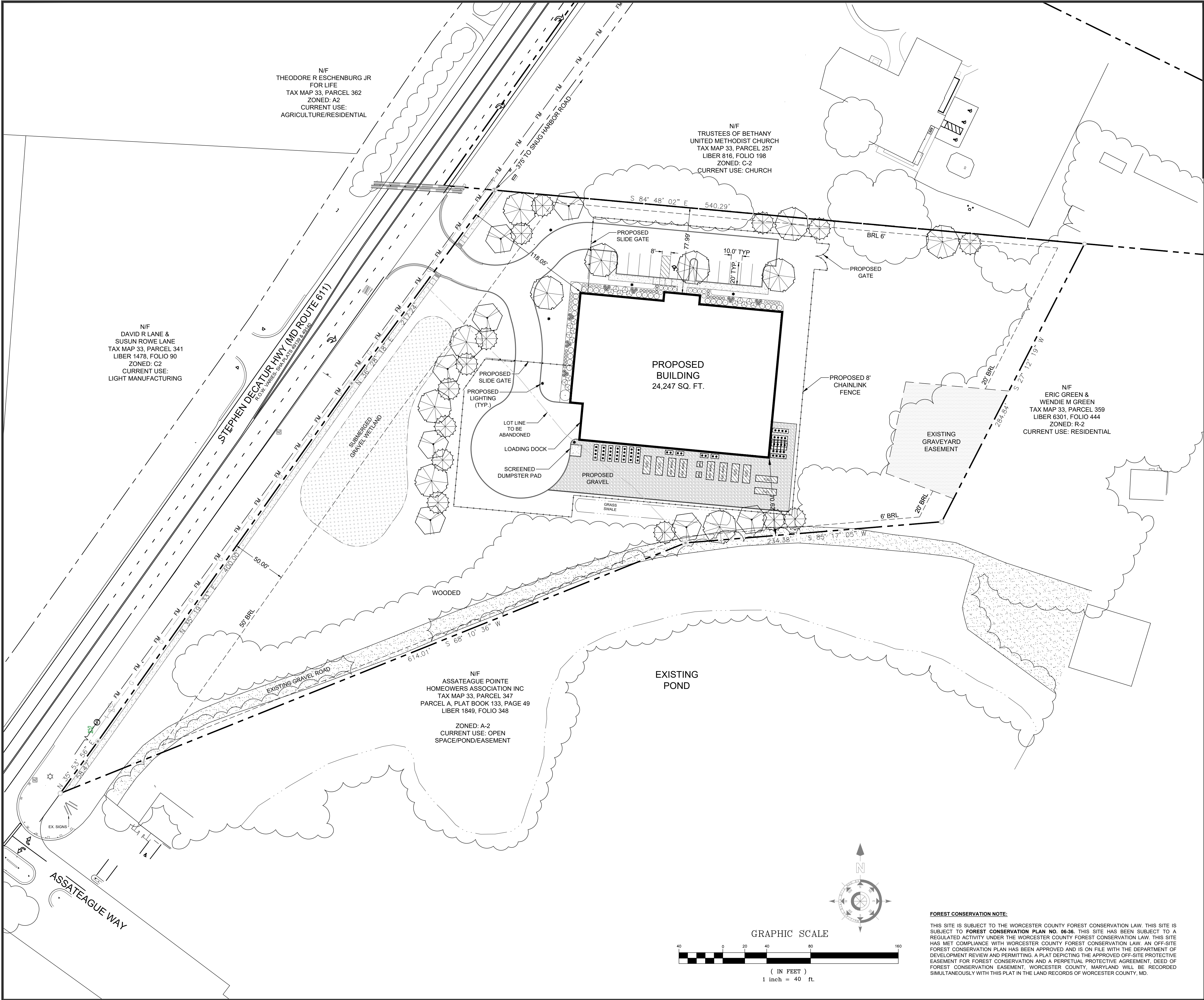
Civil Engineers
Land Planners
Landscape Architects
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EXISTING
CONDITIONS
PLAN

PROJECT: 25-110
DATE: 12/9/2025
DRAWN BY: MH
SCALE: 1"=40'
SHEET: C-100



VICINITY MAP
SCALE 1" = 2000'

SITE DATA:

GENERAL INFORMATION:

Tax Map: MAP 33, GRID 10, PARCEL 136
TENTH TAX DISTRICT
ID: 10-018188

Site Area: ±5.12 ACRES

Critical Area: N/A

Watershed: Coastal Area #021301
Sinepuxent Bay #02130104

Flood Zone: Site is within Flood Zone X
per FEMA FIRM MAP
24047C0170H, DATED: 7/16/2015.

Zoning: C2 GENERAL BUSINESS

Proposed Use: Public Utility Structure

Max Height: Four stories or 45 ft.

Building Height: 30 ft.

Setbacks: Front: 50'
Side: 6'
Rear: 20'

Utilities: Public Water: Worcester County
Public Sewer: Worcester County

PARKING:

Required: (Minimum: As determined by the
Department)

Proposed:
Standard Spaces Provided: 11 Spaces
ADA Spaces Provided: 1 Spaces
Total Spaces: 12 Spaces

GENERAL NOTES:

OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS PROVIDED FOR OUR USE.

SURVEY PLAT DATUM IS MARYLAND STATE GRID NORTH NAD '83.

WETLAND NOTE:

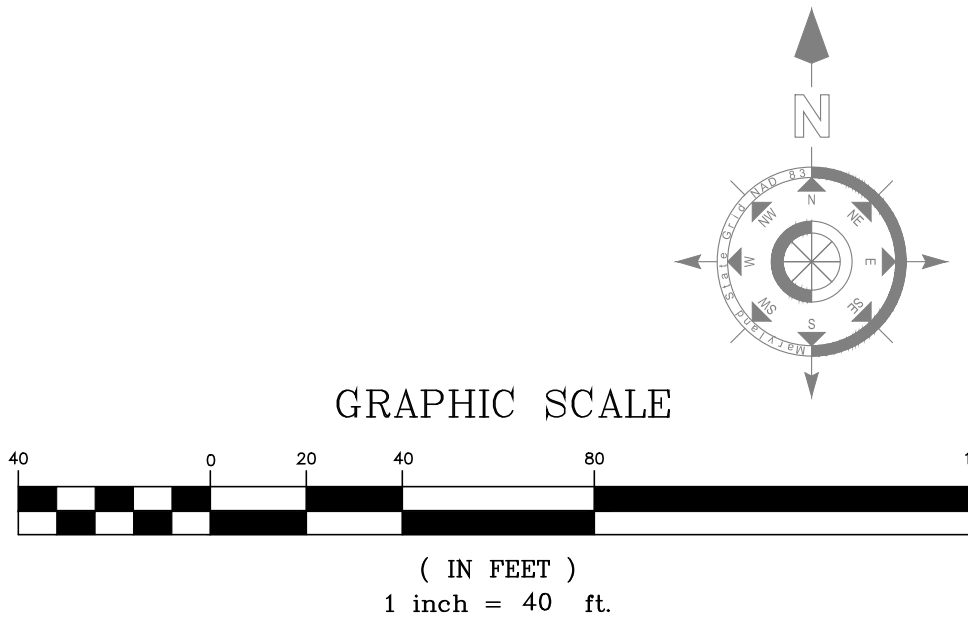
NO CURRENT WETLAND DELINEATION WAS PROVIDED FOR OUR USE BY THE OWNER. NO WETLANDS ARE SHOWN ON THE MARYLAND DEPARTMENT OF NATURAL RESOURCES DIGITAL MAPPING OF WETLANDS FOR THE AREA BEING SURVEYED. NO REGULATED WETLANDS OR WETLAND BUFFERS HAVE BEEN IDENTIFIED ON THIS PARCEL.

CRITICAL AREA NOTE:

THIS PARCEL WAS FOUND TO BE OUTSIDE THE ATLANTIC COASTAL BAY CRITICAL AREA AND CHESAPEAKE BAY CRITICAL AREA.

FOREST CONSERVATION NOTE:

THIS SITE IS SUBJECT TO THE WORCESTER COUNTY FOREST CONSERVATION LAW. THIS SITE IS SUBJECT TO FOREST CONSERVATION PLAN NO. 06-36. THIS SITE HAS BEEN SUBJECT TO A REGULATED ACTIVITY UNDER THE WORCESTER COUNTY FOREST CONSERVATION LAW. THIS SITE HAS MET COMPLIANCE WITH WORCESTER COUNTY FOREST CONSERVATION LAW. AN OFF-SITE FOREST CONSERVATION PLAN HAS BEEN APPROVED AND IS ON FILE WITH THE DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING. A PLAT DEPICTING THE APPROVED OFF-SITE PROTECTIVE EASEMENT FOR FOREST CONSERVATION AND A PERPETUAL PROTECTIVE AGREEMENT, DEED OF FOREST CONSERVATION EASEMENT, WORCESTER COUNTY, MARYLAND WILL BE RECORDED SIMULTANEOUSLY WITH THIS PLAT IN THE LAND RECORDS OF WORCESTER COUNTY, MD.



PLANS ISSUED FOR:		
Review		
REVISIONS:		
No.	Revision/Issue:	Date

OCEAN CITY CABLE LANDING STATION

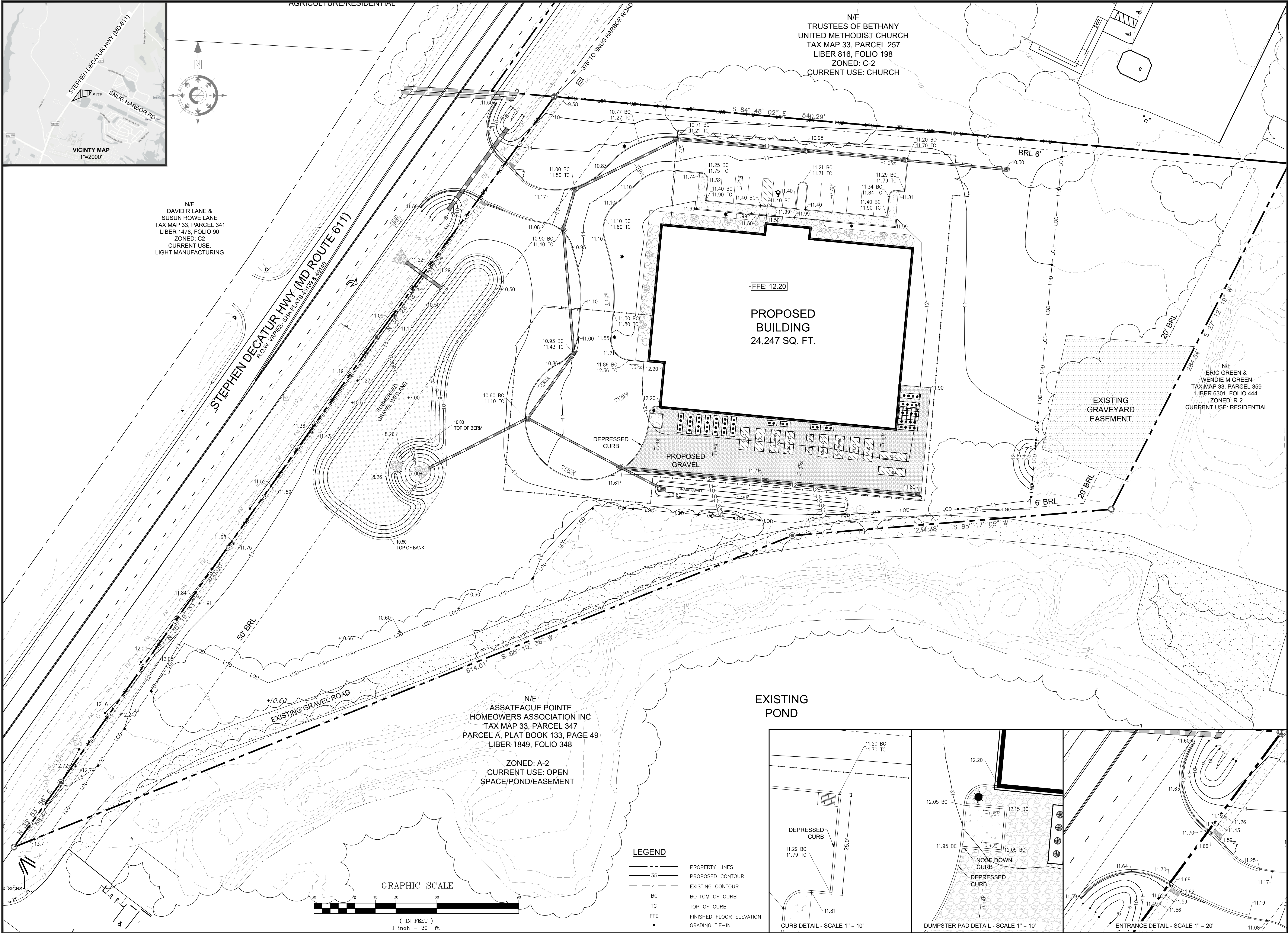
STEPHEN DECATUR HIGHWAY
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SITE PLAN	
PROJECT: 25-110	DATE: 12/9/2025
DRAWN BY: MH	SCALE: 1" = 40'
SHEET: C-101	



PLANS ISSUED FOR:
Review

REVISIONS:

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OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

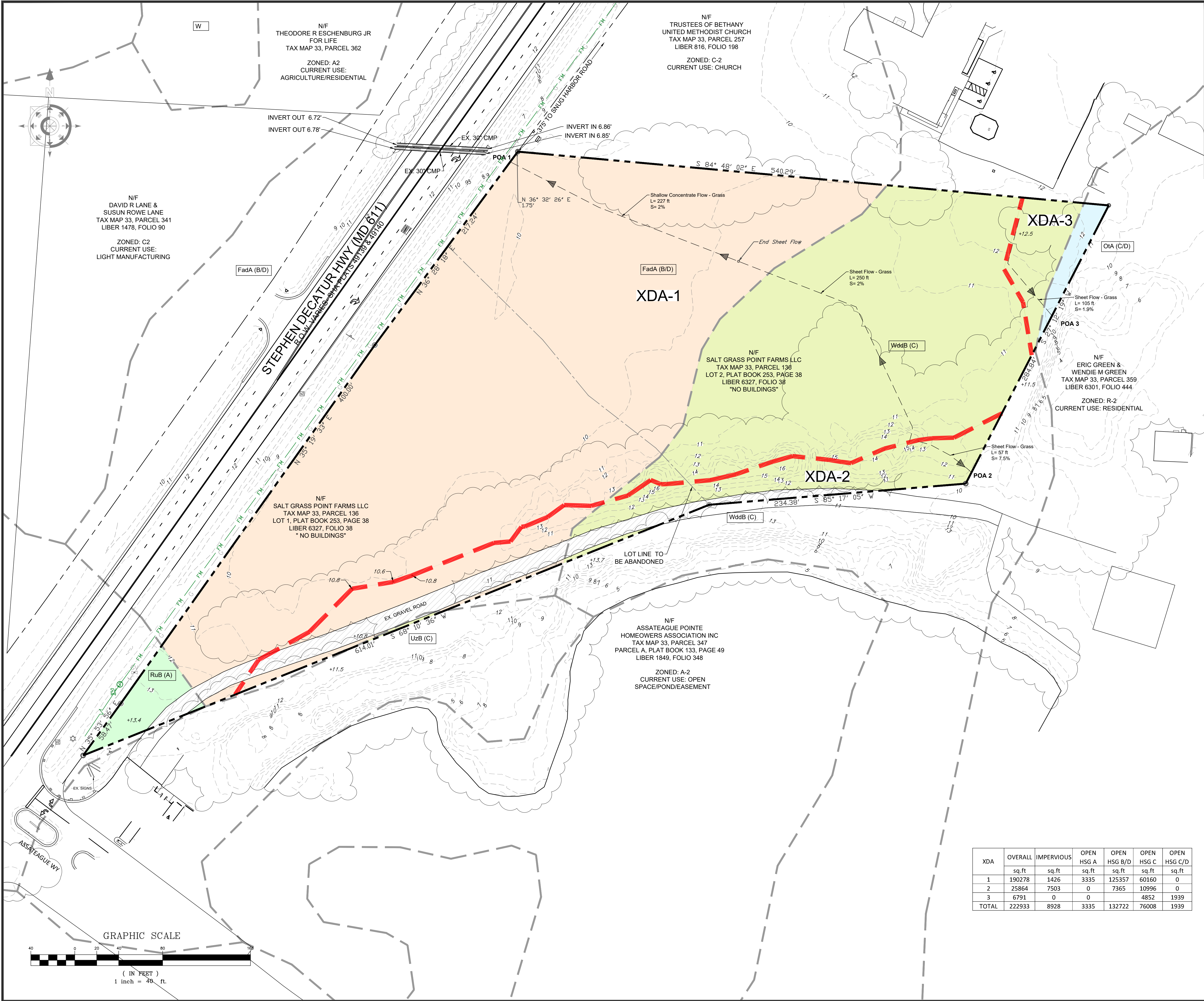
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CONCEPT
GRADING
PLAN

PROJECT: 25-110 DATE: 12/20/2025
DRAWN BY: DP SCALE: 1"=30'
SHEET: C-102



VICINITY MAP
SCALE 1" = 2000'

EXISTING DRAINAGE AREAS

DRAINAGE AREA 1:	
TOTAL AREA:	190,278 SQ. FT.
DRAINAGE AREA 2:	
TOTAL AREA:	25,864 SQ. FT.
DRAINAGE AREA 3:	
TOTAL AREA:	6,791 SQ. FT.
TOTAL DRAINAGE AREA:	222,933 SQ. FT.

AREA HATCHING LEGEND

	IMPERVIOUS
	OPEN HSG A
	OPEN HSG B/D
	OPEN HSG C/D
	OPEN HSG C

SOIL LEGEND:

Map Unit	Map Unit Description:	Hydrologic Soil Group
OIA	Othello silt loams, 0 to 2 percent slopes, Northern Tidewater Area	C / D
WddB	Woodstown sandy loam, 2 to 5 percent slopes, Northern Tidewater Area	C
FadA	Fallsington sandy loams, 0 to 2 percent slopes, Northern Tidewater Area	B / D
RuB	Runcint loamy sand, 2 to 5 percent slopes	A
UzB	Udorthents, loamy, 0 to 5 percent slopes	C

LEGEND

	PROPERTY LINES
	EXISTING CONTOUR
	DRAINAGE BOUNDARY
	SOIL BOUNDARY LINE
	SOIL MAP UNIT SYMBOL

XDA	OVERALL sq.ft	IMPERVIOUS sq.ft	OPEN HSG A sq.ft	OPEN HSG B/D sq.ft	OPEN HSG C sq.ft	OPEN HSG C/D sq.ft
1	190278	1426	3335	125357	60160	0
2	25864	7503	0	7365	10996	0
3	6791	0	0		4852	1939
TOTAL	222933	8928	3335	132722	76008	1939

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Review

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OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

Civil Engineers
Land Planners
Landscape Architects
Surveyors

**Atlantic Group
& Associates, Inc.**

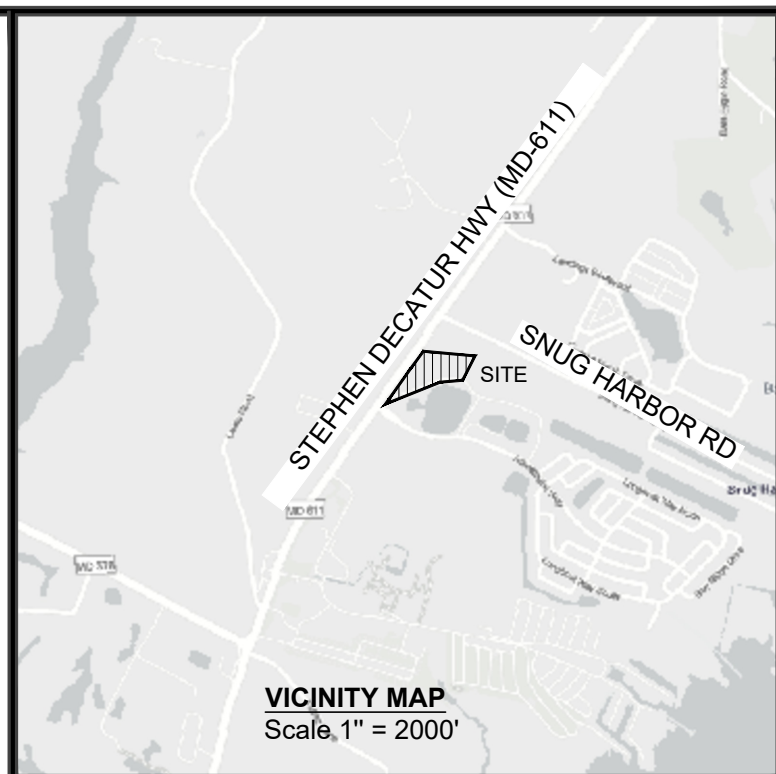
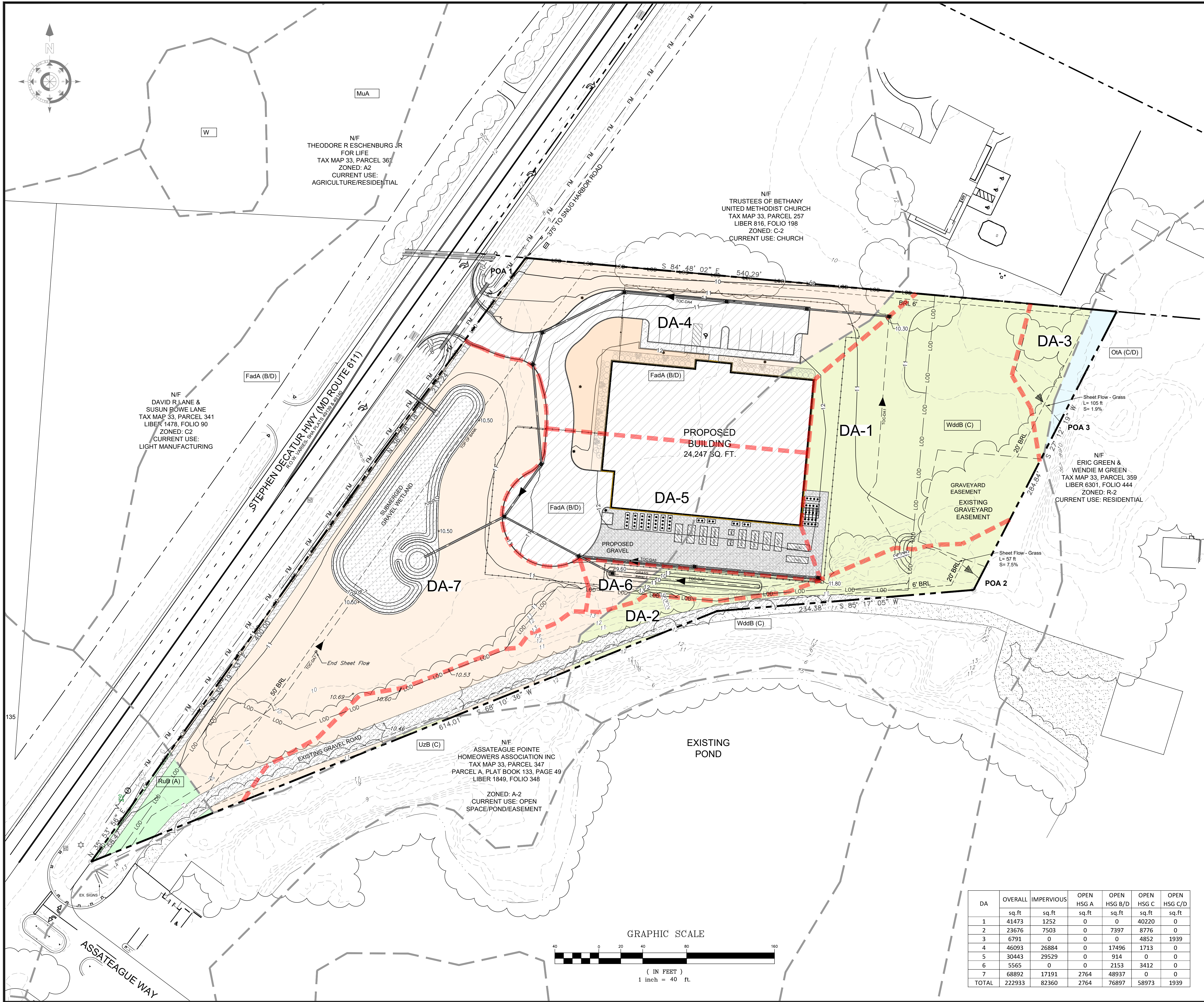
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EXISTING DRAINAGE AREA

PROJECT: 25-110 DATE: 12/9/2025

DRAWN BY: KA SCALE: 1" = 40'

SHEET: **C-103**



SITE DRAINAGE CALCULATIONS

TOTAL SITE AREA:	222,933 SQ. FT. (5.12 AC)
PROPOSED IMPERVIOUS:	82,360 SQ. FT. (1.89 AC)
LIMIT OF DISTURBANCE:	164,097 SQ. FT. (3.77 AC)
% IMPERVIOUS:	(82,360/222,933) x 100 = 36.9%

ESD SIZING REQUIREMENTS:
% I = 40%
HSG A = 3954 SQ. FT. (1.8 %), Pe = 1.8"
HSG B/D = 138,856 SQ. FT. (62.2 %), Pe = 1.8"
HSG C = 78,384 SQ. FT. (35.2 %), Pe = 1.8"
HSG C/D = 1,939 SQ. FT. (0.9%), Pe = 1.8"
Composite Pe = 1.8"
Rv = 0.05 + 0.009(36.9) = 0.3825
ESDv = 1.8"(0.3825)(222,933 SQ. FT.)/12 = 12,791 CU. FT.

PROPOSED DRAINAGE AREAS

DRAINAGE AREA 1:	
TOTAL AREA:	41,473 SQ. FT.
DRAINAGE AREA 2:	
TOTAL AREA:	23,676 SQ. FT.
DRAINAGE AREA 3:	
TOTAL AREA:	6,791 SQ. FT.
DRAINAGE AREA 4:	
TOTAL AREA:	46,093 SQ. FT.
DRAINAGE AREA 5:	
TOTAL AREA:	30,443 SQ. FT.
DRAINAGE AREA 6:	
TOTAL AREA:	5,565 SQ. FT.
DRAINAGE AREA 7:	
TOTAL AREA:	68,892 SQ. FT.
TOTAL DRAINAGE AREA:	222,933 SQ. FT.

SOIL LEGEND:

Map Unit:	Map Unit Description:	Hydrologic Soil Group
O1A	Othello silt loams, 0 to 2 percent slopes, Northern Tidewater Area	C / D
WddB	Woodstown sandy loam, 2 to 5 percent slopes, Northern Tidewater Area	C
FadA	Fallsington sandy loams, 0 to 2 percent slopes, Northern Tidewater Area	B / D
RuB	Runcint loamy sand, 2 to 5 percent slopes	A
UzB	Udorthents, loamy, 0 to 5 percent slopes	C

LEGEND

---	PROPERTY LINES
---	35' PROPOSED CONTOUR
---	7' EXISTING CONTOUR
---	DRAINAGE BOUNDARY
---	TC PATH
---	SOIL BOUNDARY LINE
UwB	SOIL MAP UNIT SYMBOL
▲	FLOW DIRECTION
●	SOIL BORING LOCATION

IMPERVIOUS
OPEN HSG A
OPEN HSG B/D
OPEN HSG C/D
OPEN HSG C

DA	OVERALL	IMPERVIOUS	OPEN HSG A	OPEN HSG B/D	OPEN HSG C	OPEN HSG C/D
	sq.ft	sq.ft	sq.ft	sq.ft	sq.ft	sq.ft
1	41473	1252	0	0	40220	0
2	23676	7503	0	7397	8776	0
3	6791	0	0	0	4852	1939
4	46093	26884	0	17496	1713	0
5	30443	29529	0	914	0	0
6	5565	0	0	2153	3412	0
7	68892	17191	2764	48937	0	0
TOTAL	222933	82360	2764	76897	58973	1939

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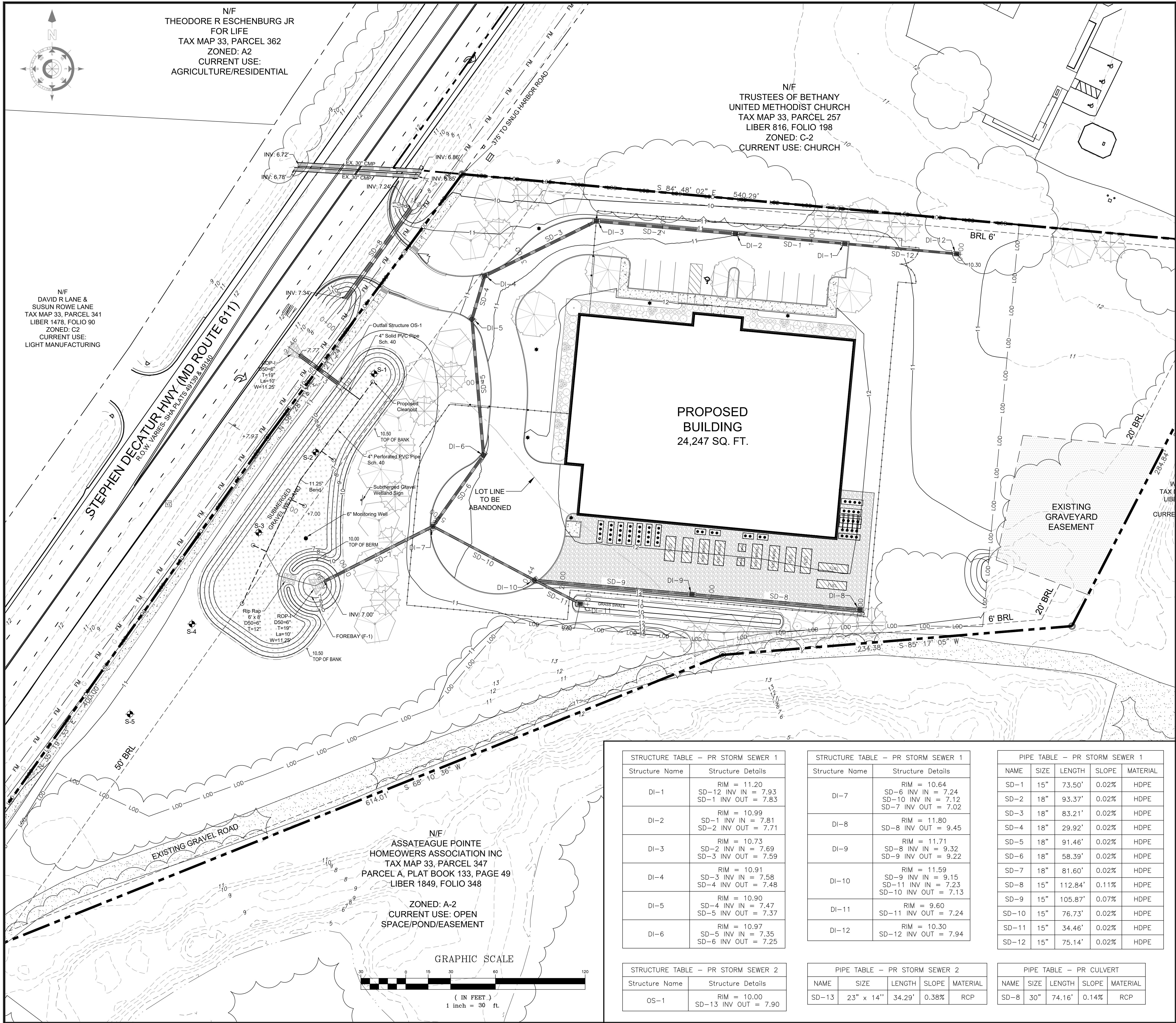
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PROPOSED DRAINAGE AREA

PROJECT: 25-110 DATE: 12/20/2025
DRAWN BY: KB SCALE: 1" = 40'
SHEET: C-104



SUBMERGED GRAVEL WETLAND CONSTRUCTION AND
INSTALLATION GUIDELINES:

1. CONTACT THE WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. **FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.**
2. ALL ON-SITE DISTURBED AREAS SHOULD BE STABILIZED PRIOR TO ALLOWING RUNOFF TO ENTER THE NEWLY CONSTRUCTED WETLAND.
3. THE PROPOSED LOCATION OF A SUBMERGED GRAVEL WETLAND SHALL BE PROTECTED DURING CONSTRUCTION. SURFACE RUNOFF SHALL BE DIVERTED AWAY FROM THE PRACTICE DURING GRADING OPERATIONS. FLOW SPLITTERS AND OTHER CONVEYANCE INFRASTRUCTURE SHALL BE BLOCKED.
4. WETLAND CONSTRUCTION SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA. ANY PUMPING OPERATIONS SHALL DISCHARGE FILTERED WATER TO A STABLE OUTLET.
5. THE AGGREGATE SHALL BE COMPOSED OF CLEAN WASHED, UNIFORMLY GRADED MATERIAL WITH A POROSITY OR 40%. ROUNDED BANK RUN GRAVEL IS RECOMMENDED.

MAINTENANCE AND INSPECTION:

1. REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
 - DURING EXCAVATION TO SUBGRADE.
 - DURING PLACEMENT OF BACKFILL OF PERFORATED INLET PIPE AND OBSERVATION WELLS.
 - DURING PLACEMENT OF GEOTEXTILES AND ALL FILTER MEDIA.
 - DURING CONSTRUCTION OF ANY APPURTENANCE CONVEYANCE SYSTEMS SUCH AS DIVERSION STRUCTURES, INLETS, OUTLETS, AND FLOW DISTRIBUTION STRUCTURES.
 - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION, AND BEFORE ALLOWING RUNOFF TO ENTER THE WETLAND.
2. PRIVATELY OWNED PRACTICES SHALL HAVE A MAINTENANCE PLAN AND SHALL BE PROTECTED BY EASEMENT, DEED RESTRICTION, ORDINANCE, OR OTHER LEGAL MEASURES PREVENTING ITS NEGLECT ADVERSE ALTERATION, AND REMOVAL.
3. DURING THE FIRST YEAR OF OPERATION, INSPECTIONS SHOULD BE CONDUCTED AFTER EVERY MAJOR STORM AND POORLY ESTABLISHED AREAS REVEGETATED.
 - 3.1. INSPECT TO BE CERTAIN SYSTEM DRAINS WITHIN 24-72 HRS (WITHIN THE DESIGN PERIOD, BUT ALSO NOT SO QUICKLY AS TO MINIMIZE STORMWATER TREATMENT).
 - 3.2. WATERING PLANTS AS NECESSARY DURING THE FIRST GROWING SEASON
 - 3.3. RE-VEGETATING POORLY ESTABLISHED AREAS AS NECESSARY
 - 3.4. TREATING DISEASED VEGETATION AS NECESSARY
 - 3.5. QUARTERLY INSPECTION OF SOIL AND REPAIRING ERODED AREAS, ESPECIALLY ON SLOPES
 - 3.6. CHECKING INLETS, OUTLETS, AND OVERFLOW SPILLWAY FOR BLOCKAGE, STRUCTURAL INTEGRITY, AND EVIDENCE OF EROSION
4. INSPECTION FREQUENCY SHOULD BE AT LEAST EVERY 6 MONTHS THEREAFTER, OR AS THE LOCAL JURISDICTION DEEMS NECESSARY. INSPECTION FREQUENCY CAN BE REDUCED TO ANNUAL FOLLOWING 2 YEARS OF MONITORING THAT INDICATES THE RATE OF SEDIMENT ACCUMULATION IS LESS THAN THE CLEANING CRITERIA LISTED BELOW. INSPECTIONS SHOULD FOCUS ON:
 - 4.1. CHECKING THE FILTER SURFACE FOR DENSE, COMPLETE, ROOT MAT ESTABLISHMENT ACROSS THE WETLAND SURFACE. THOROUGH REVEGETATION WITH GRASSES, FORBS, AND SHRUBS IS NECESSARY. UNLIKE BIORETENTION, WHERE MULCH IS COMMONLY USED, COMPLETE SURFACE COVERAGE WITH VEGETATION IS NEEDED.
 - 4.2. CHECKING THE GRAVEL WETLAND SURFACE FOR STANDING WATER OR OTHER EVIDENCE OF RISER CLOGGING, SUCH AS DISCOLORED OR ACCUMULATED SEDIMENTS.
 - 4.3. CHECKING THE SEDIMENTATION CHAMBER OR FOREBAY FOR SEDIMENT ACCUMULATION, TRASH, AND DEBRIS.
 - 4.4. INSPECT TO BE CERTAIN THE SEDIMENTATION FOREBAY DRAINS WITHIN 24 TO 72 HRS.
 - 4.5. CHECKING INLETS, OUTLETS, AND OVERFLOW SPILLWAY FOR BLOCKAGE, STRUCTURAL INTEGRITY, AND EVIDENCE OF EROSION.
 - 4.6. REMOVAL OF DECAYING VEGETATION, LITTER, AND DEBRIS.
5. SEDIMENT ACCUMULATION IN THE PRETREATMENT AREAS SHOULD BE REMOVED AS NECESSARY.
6. SIGNS OF UNEVEN FLOW DISTRIBUTION WITHIN THE WETLAND MAY MEAN THAT THE GRAVEL OR UNDERDRAIN IS CLOGGED. THE GRAVEL AND/OR UNDERDRAIN MAY NEED TO BE REMOVED, CLEANED, AND REPLACED.
7. A DENSE STAND OF WETLAND VEGETATION SHOULD BE MAINTAINED THROUGH THE LIFE OF THE FACILITY WITH PLANTINGS REPLACED AS NEEDED.
8. INLETS AND OUTLETS TO EACH SUBMERGED GRAVEL WETLAND CELL SHOULD BE FREE FROM DEBRIS TO PREVENT CLOGGING.
9. EROSION AT INFLOW POINTS SHOULD BE REPAIRED. FLOW SPLITTERS SHOULD BE FUNCTIONAL TO PREVENT BYPASSING OF THE FACILITY.
10. THE OUTFALL PIPE FROM THE SGV FACILITY SHOULD BE INSPECTED ANNUALLY TO DETERMINE IS JETTING/CLEANOUT WILL BE NECESSARY.

STRUCTURE TABLE -- PR STORM SEWER 1	
Structure Name	Structure Details
DI-1	RIM = 11.20 SD-12 INV IN = 7.93 SD-1 INV OUT = 7.83
DI-2	RIM = 10.99 SD-1 INV IN = 7.81 SD-2 INV OUT = 7.71
DI-3	RIM = 10.73 SD-2 INV IN = 7.69 SD-3 INV OUT = 7.59
DI-4	RIM = 10.91 SD-3 INV IN = 7.58 SD-4 INV OUT = 7.48
DI-5	RIM = 10.90 SD-4 INV IN = 7.47 SD-5 INV OUT = 7.37
DI-6	RIM = 10.97 SD-5 INV IN = 7.35 SD-6 INV OUT = 7.25

STRUCTURE TABLE -- PR STORM SEWER 2	
Structure Name	Structure Details
OS-1	RIM = 10.00 SD-13 INV OUT = 7.90

STRUCTURE TABLE -- PR STORM SEWER 1	
Structure Name	Structure Details
DI-7	RIM = 10.64 SD-6 INV IN = 7.24 SD-10 INV IN = 7.12 SD-7 INV OUT = 7.02
DI-8	RIM = 11.80 SD-8 INV OUT = 9.45
DI-9	RIM = 11.71 SD-8 INV IN = 9.32 SD-9 INV OUT = 9.22
DI-10	RIM = 11.59 SD-9 INV IN = 9.15 SD-11 INV IN = 7.23 SD-10 INV OUT = 7.13
DI-11	RIM = 9.60 SD-11 INV OUT = 7.24
DI-12	RIM = 10.30 SD-12 INV OUT = 7.94

PIPE TABLE -- PR STORM SEWER 2				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
SD-13	23" x 14"	34.29'	0.38%	RCP

PIPE TABLE -- PR STORM SEWER 1				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
SD-1	15"	73.50'	0.02%	HDPE
SD-2	18"	93.37'	0.02%	HDPE
SD-3	18"	83.21'	0.02%	HDPE
SD-4	18"	29.92'	0.02%	HDPE
SD-5	18"	91.46'	0.02%	HDPE
SD-6	18"	58.39'	0.02%	HDPE
SD-7	18"	81.60'	0.02%	HDPE
SD-8	15"	112.84'	0.11%	HDPE
SD-9	15"	105.87'	0.07%	HDPE
SD-10	15"	76.73'	0.02%	HDPE
SD-11	15"	34.46'	0.02%	HDPE
SD-12	15"	75.14'	0.02%	HDPE

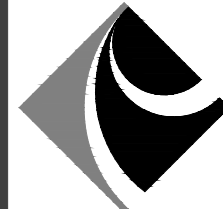
PIPE TABLE -- PR CULVERT				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
SD-8	30"	74.16'	0.14%	RCP

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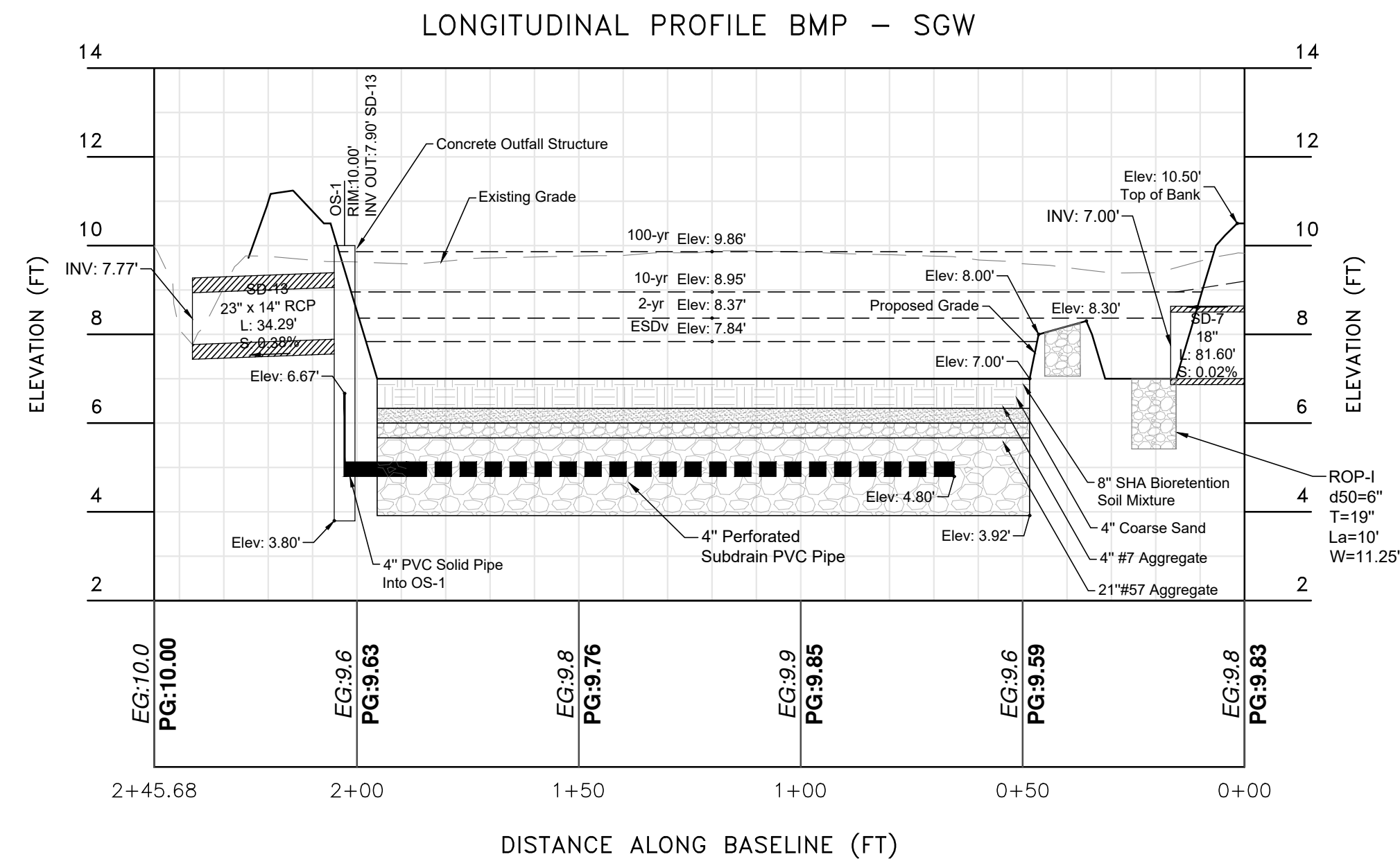
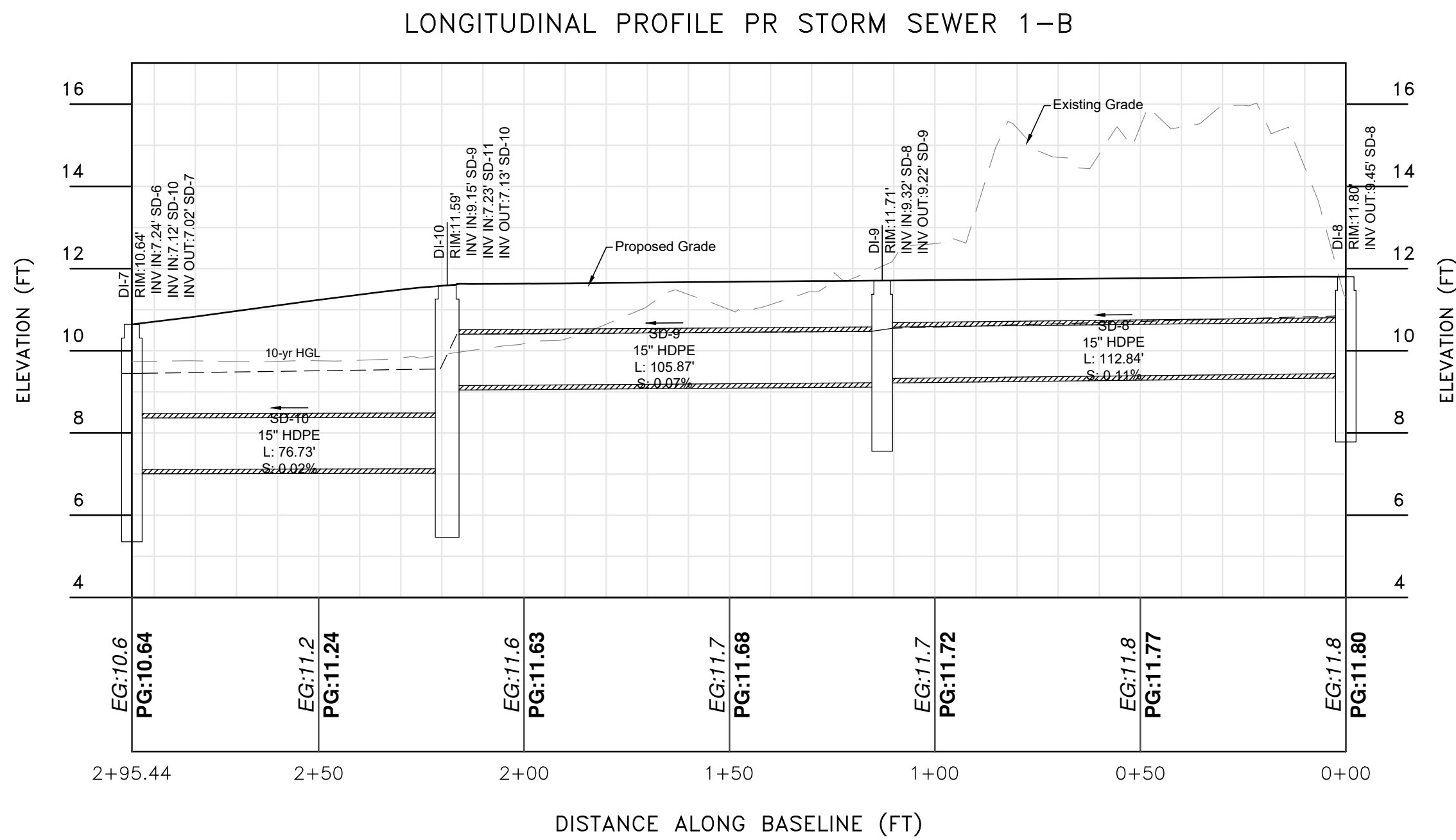
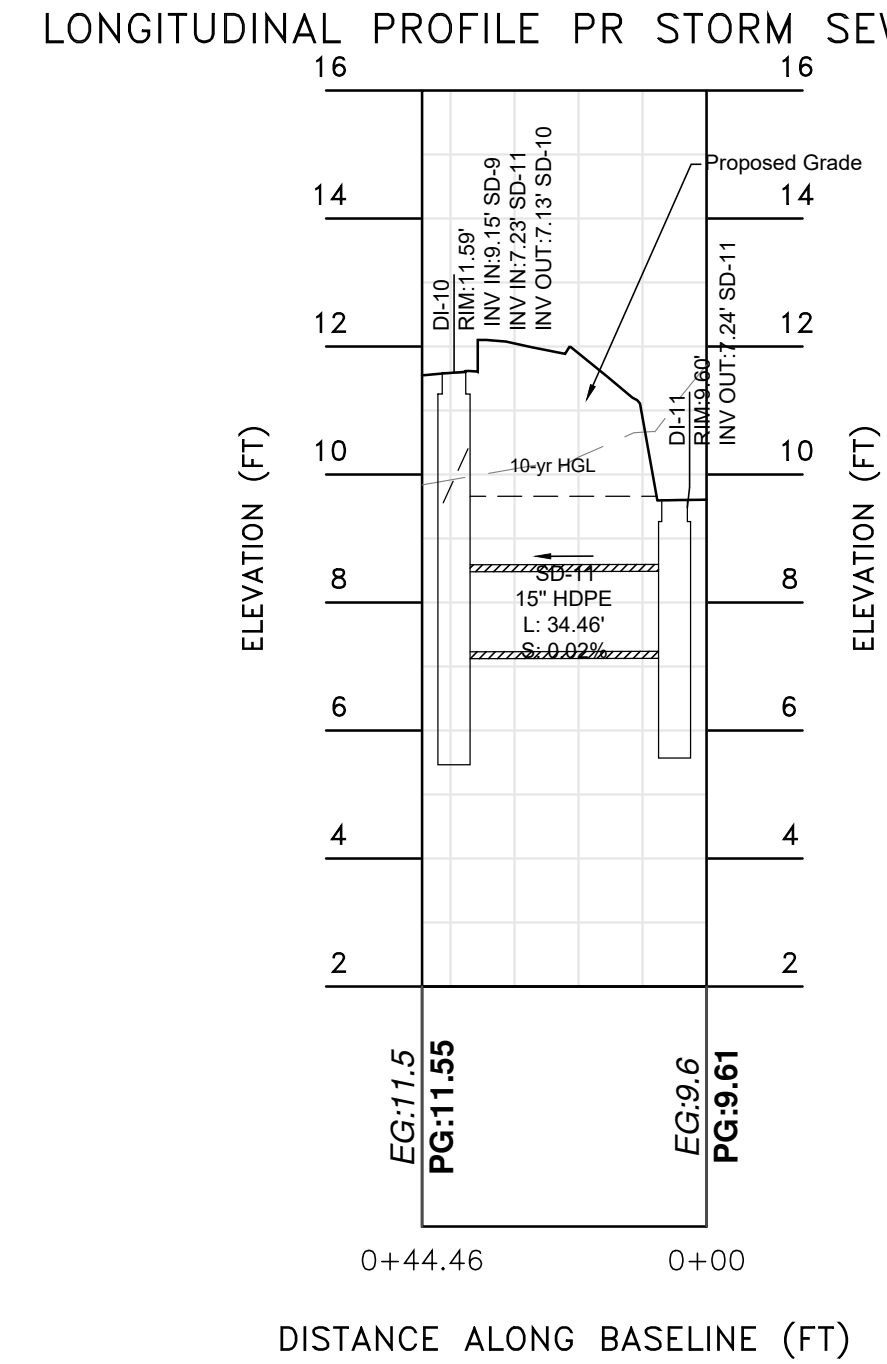
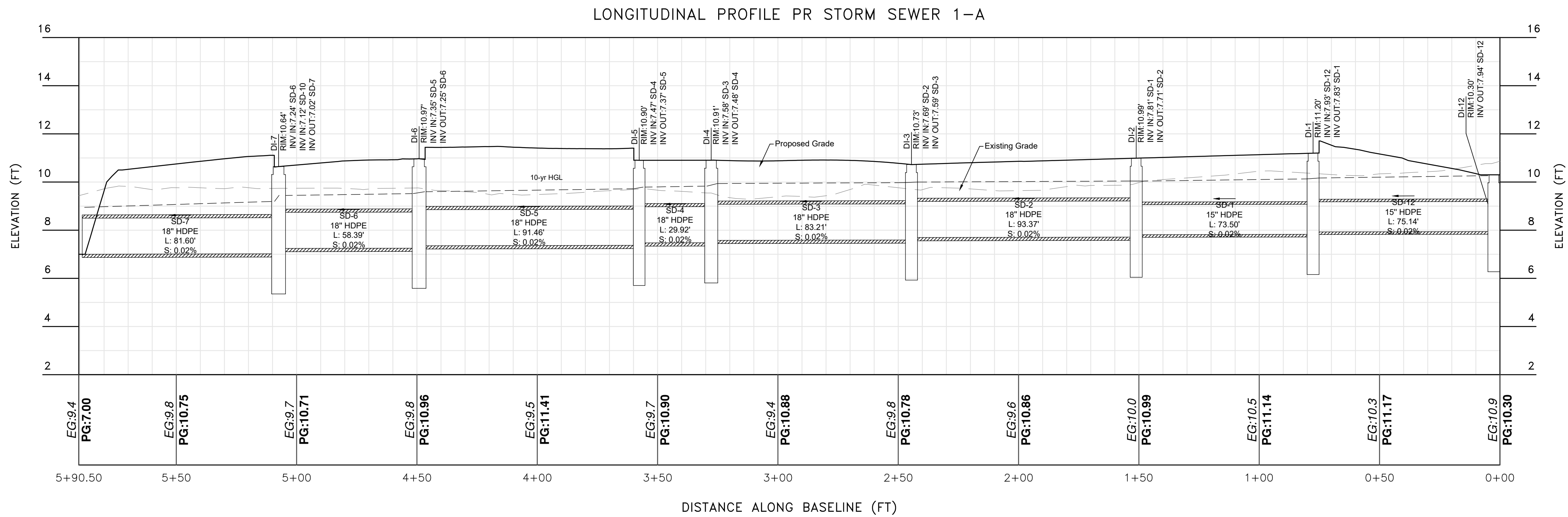
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CONCEPT
SWM
PLAN

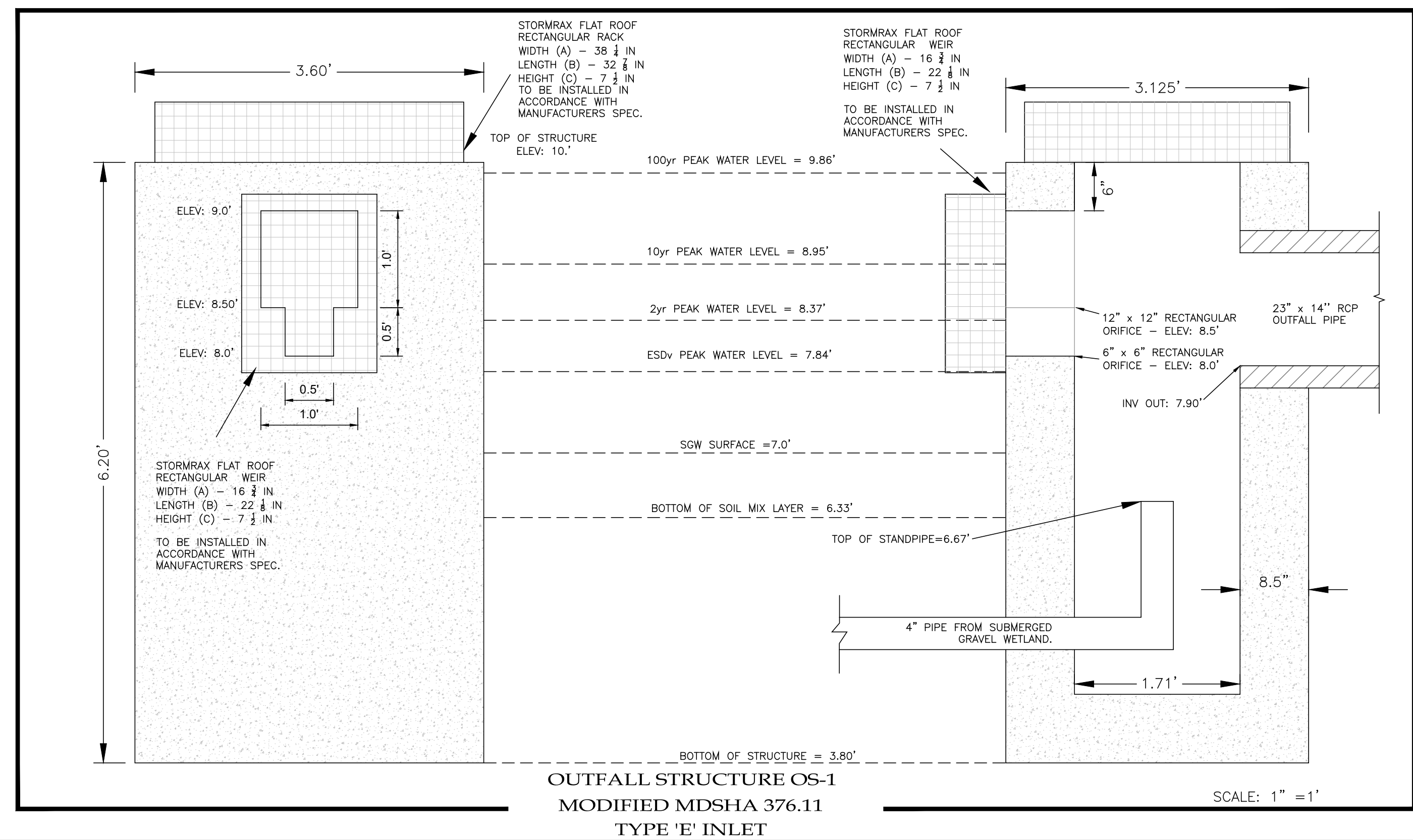
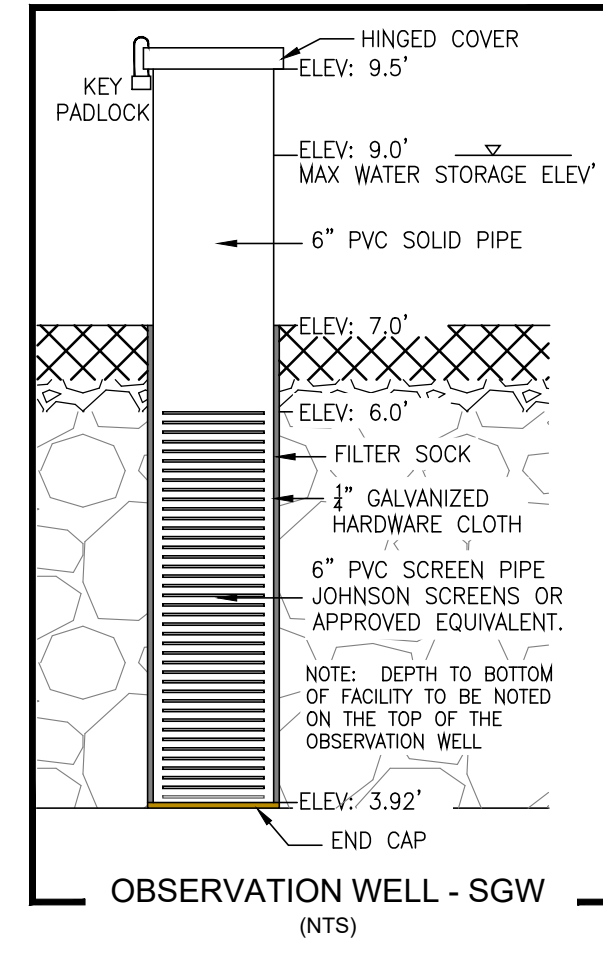
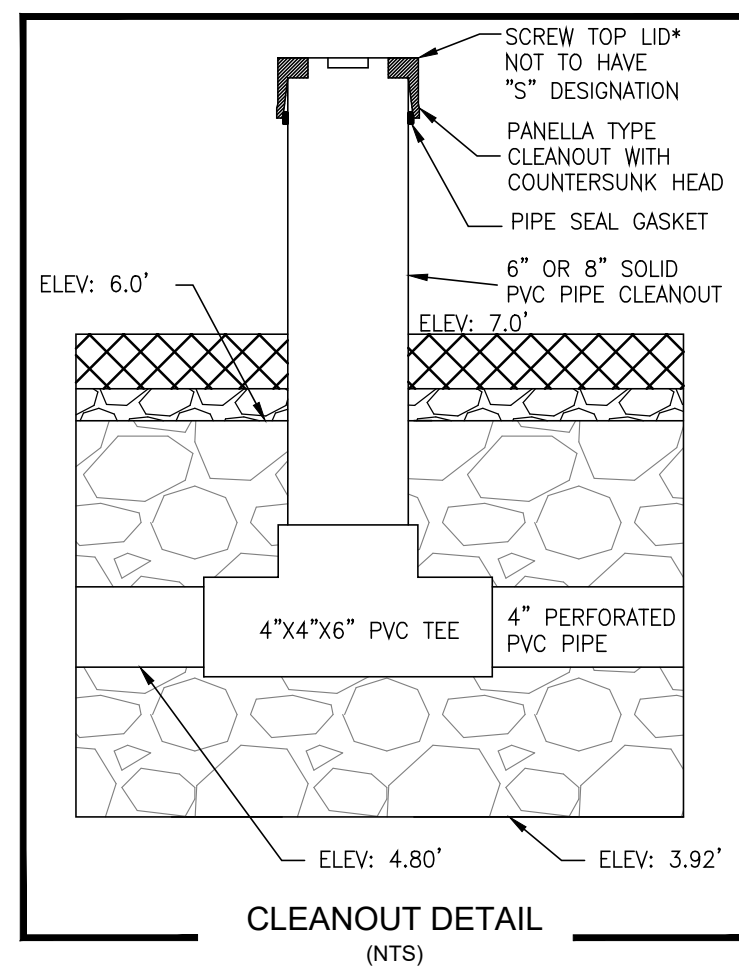
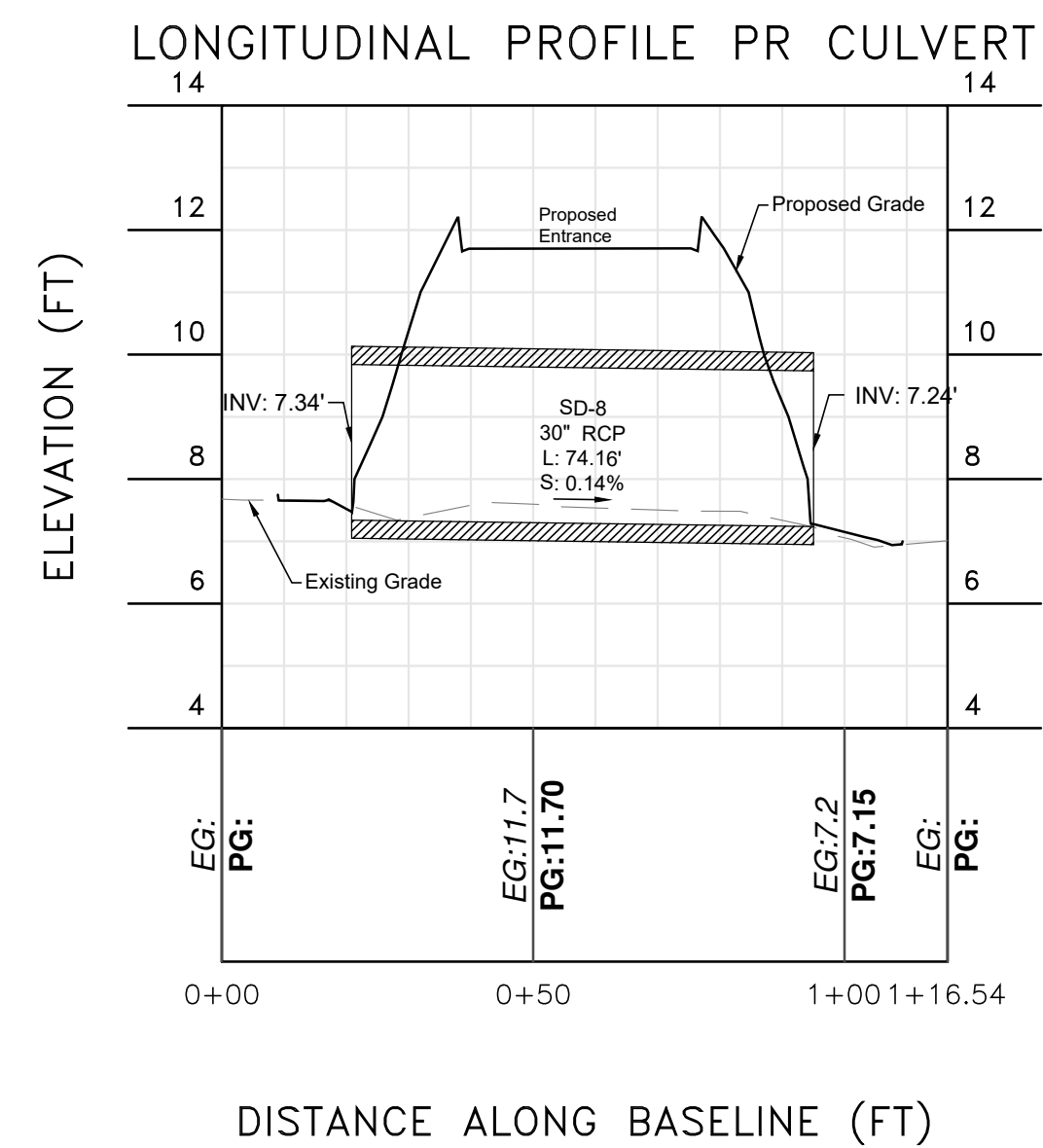
PROJECT: 25-110 DATE: 12/6/2025
DRAWN BY: DP SCALE: 1" = 30'

SHEET:
C-105

WORCESTER COUNTY, MARYLAND



ESDv Storage Calculations (Submerged Gravel Wetland)
Required ESDv to be treated = 12,791 cf.
Volume w/in Saturated Soil and Stone = 6,338 sf x (6.67' - 3.92') x 0.40 = 6,972 cf
Volume w/in Unsaturated Soil and Stone = 6,338 sf x (7.0' - 6.67') x 0.40 = 845 cf
Volume in Free Storage = (7 to 8) = 8,302 cf (Stage Storage Calc.)
Total ESDv Storage in Facility = 16,119 cf.



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SWM
PROFILES

PROJECT: 25-110 DATE: 12/6/2025
DRAWN BY: DP SCALE: Noted

SHEET:
C-106

PLANS ISSUED FOR: Review		
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No.	Revision/Issue:	Date

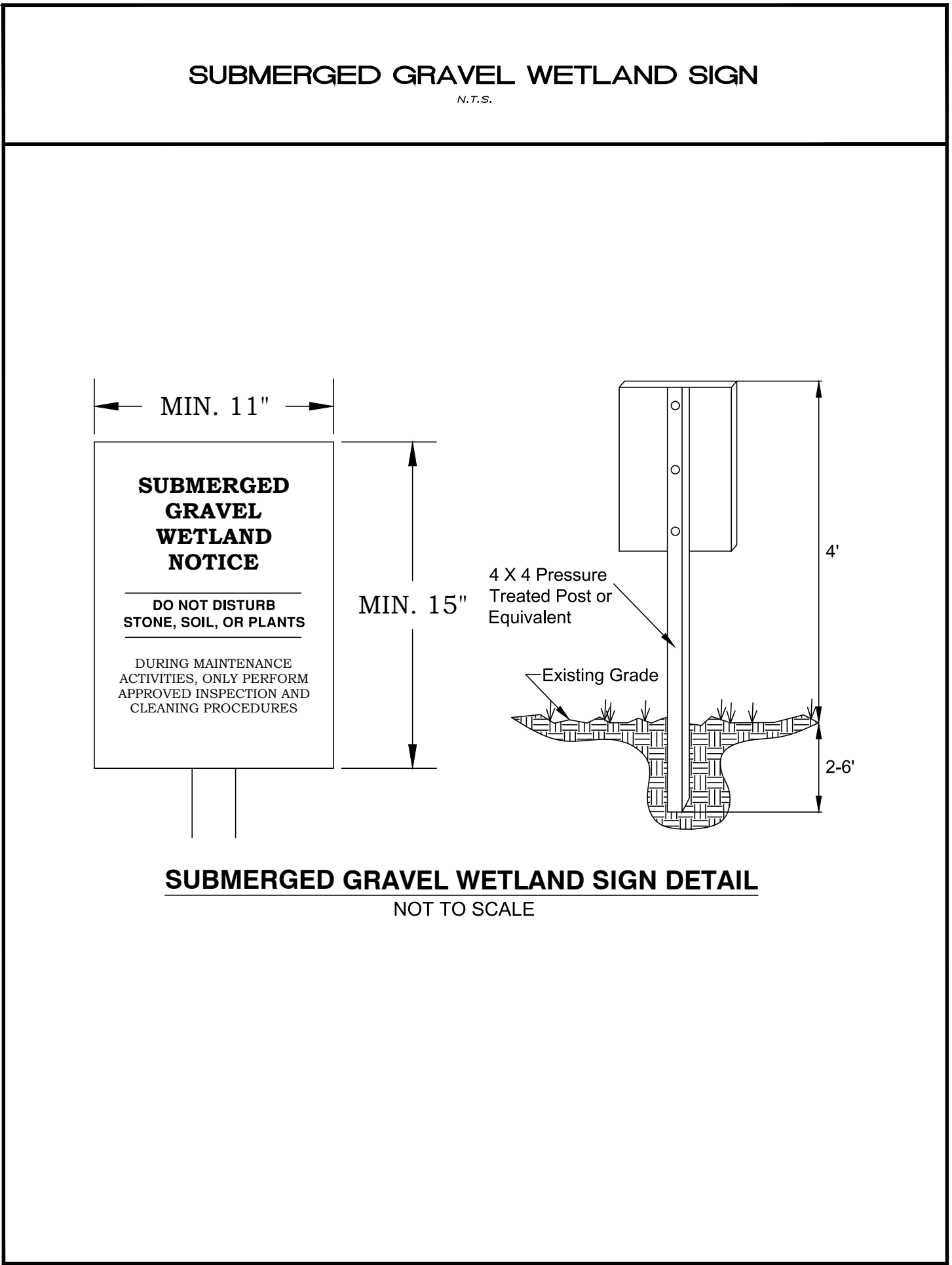
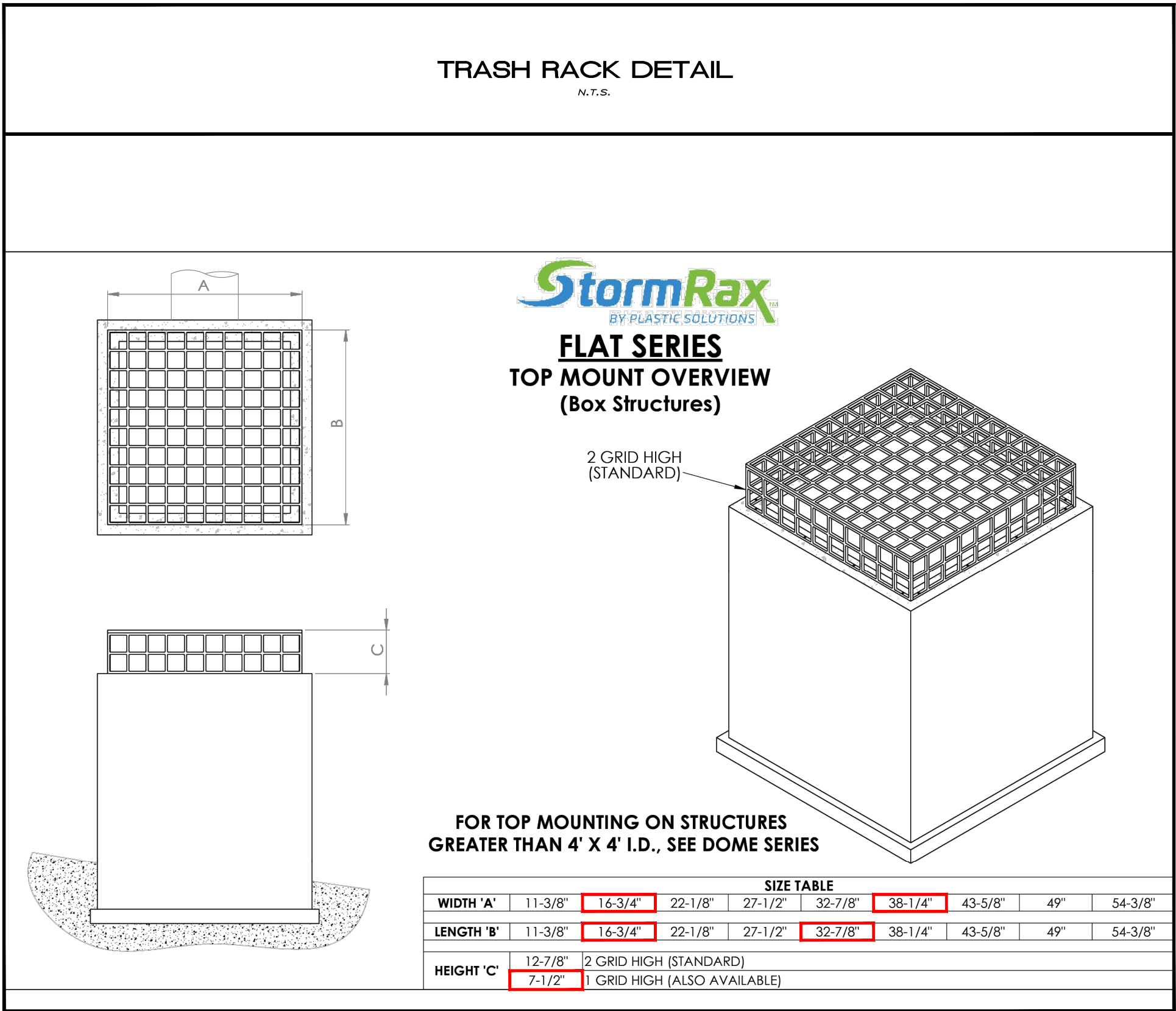
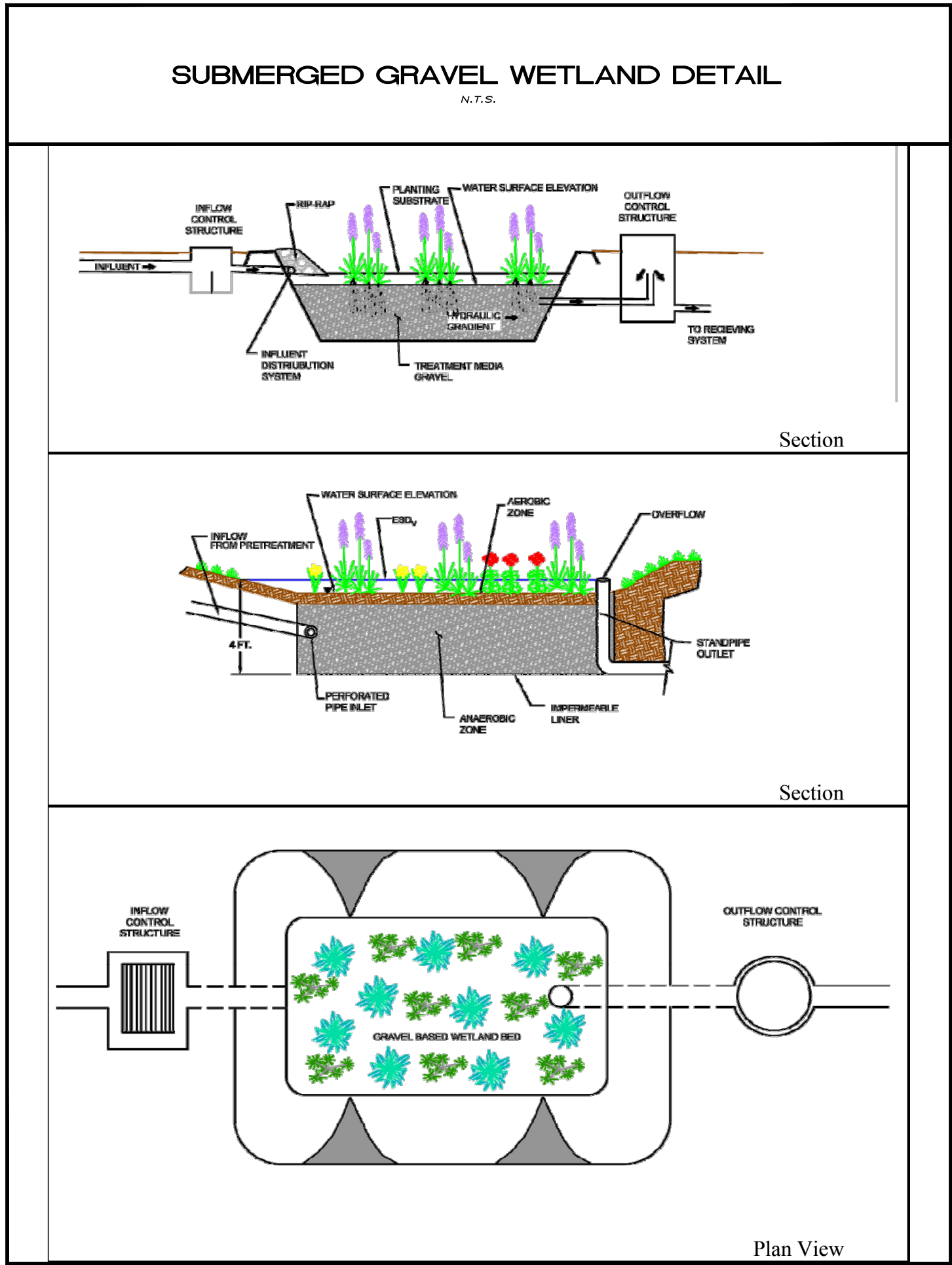
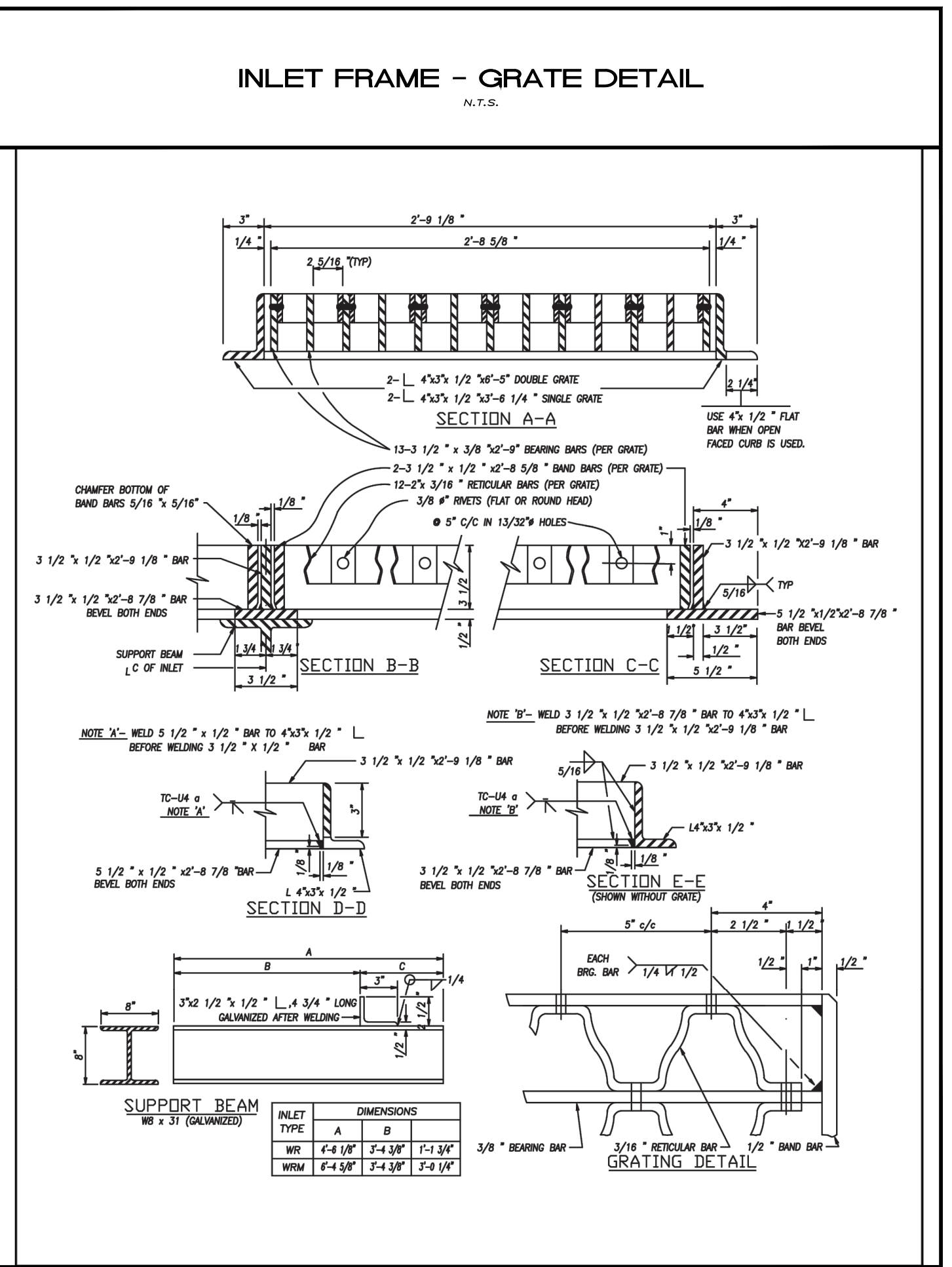
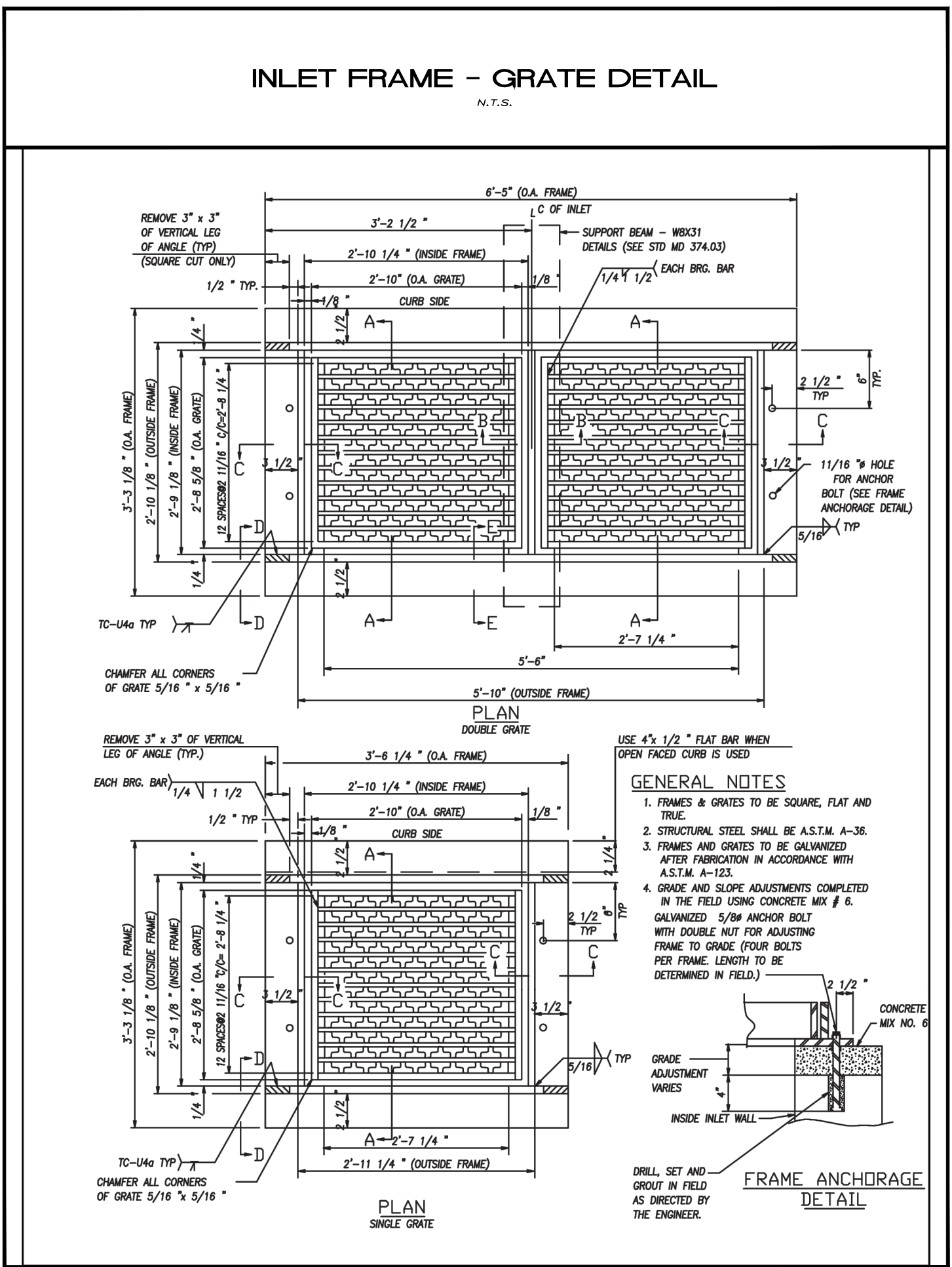
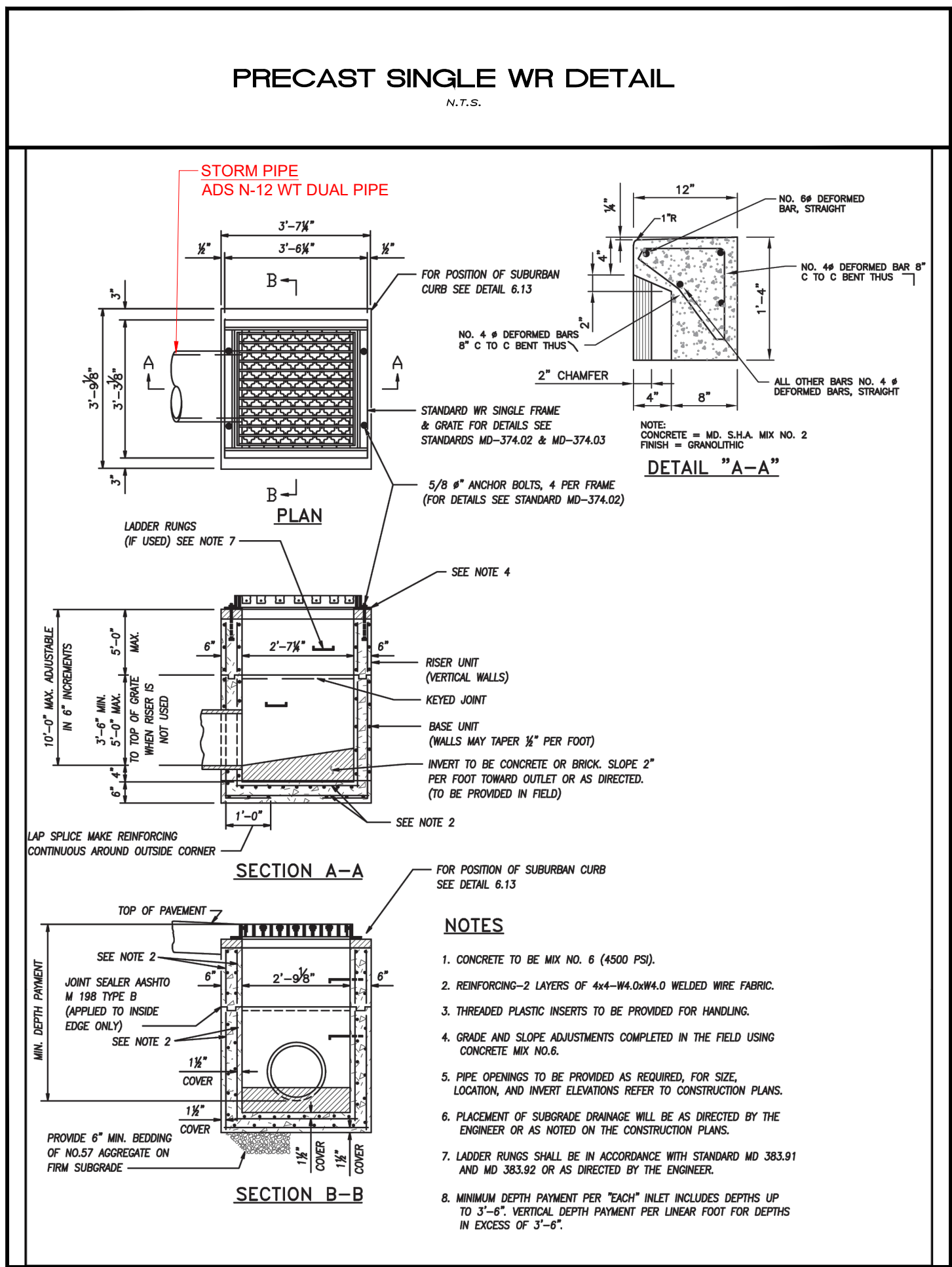
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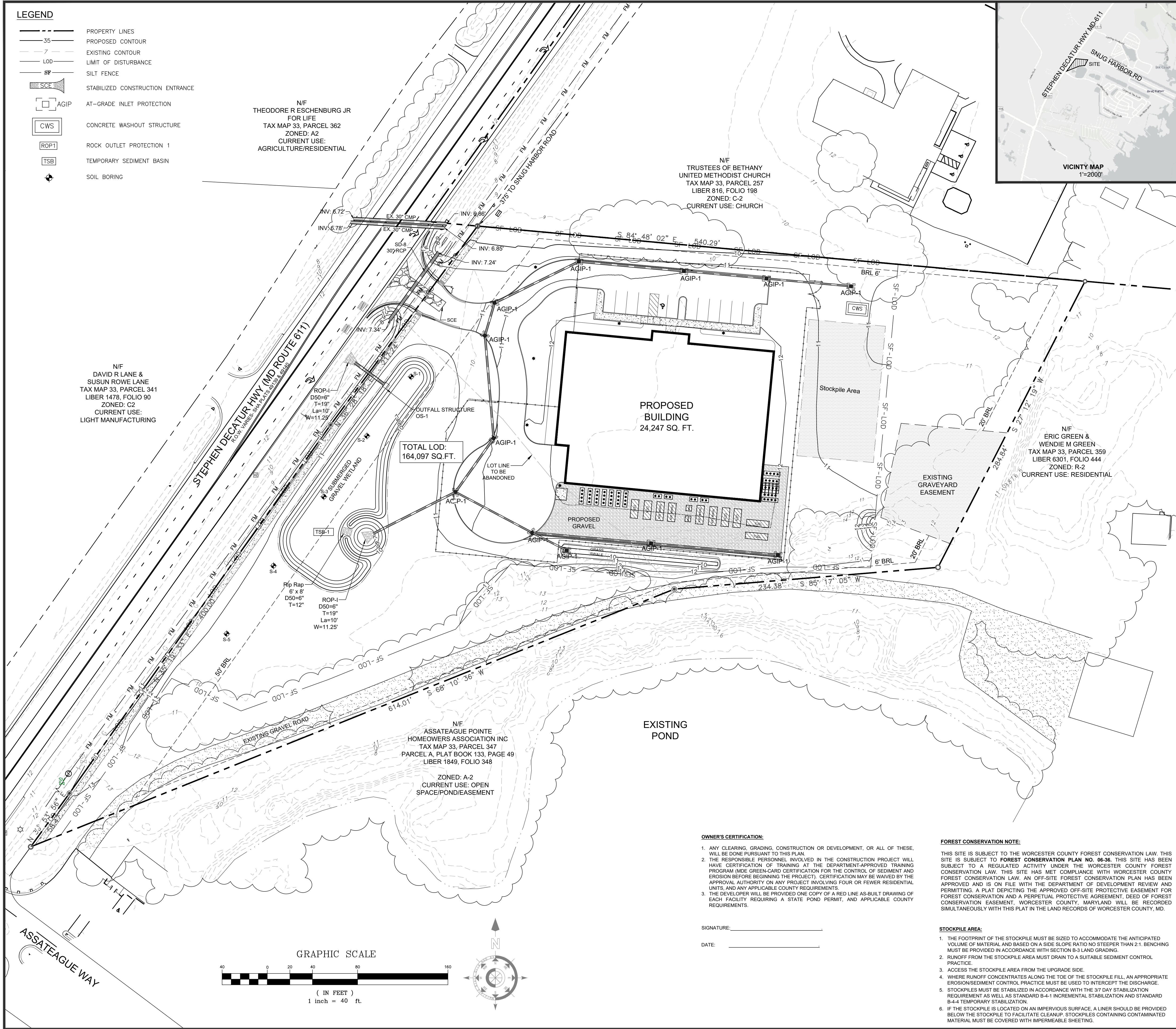
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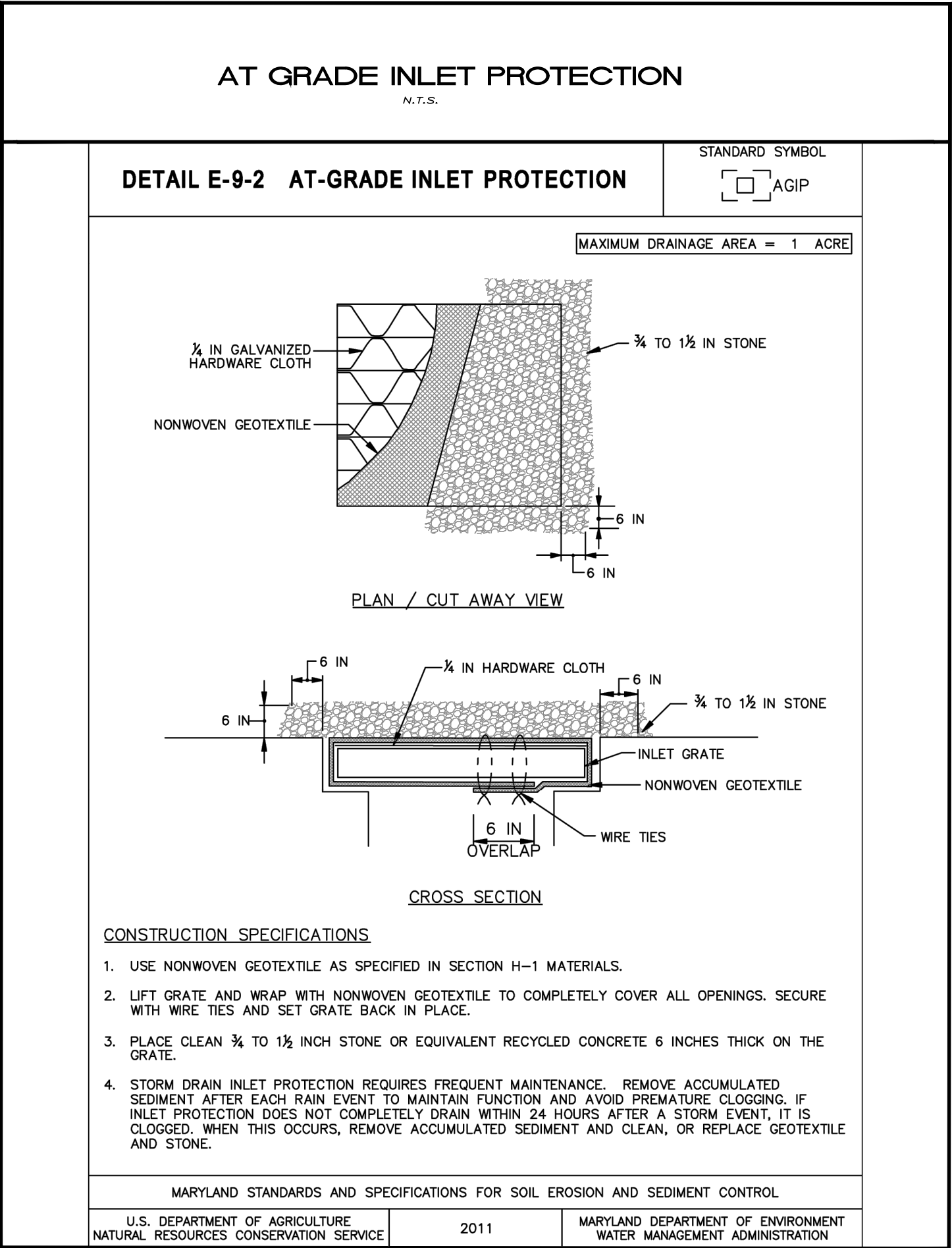
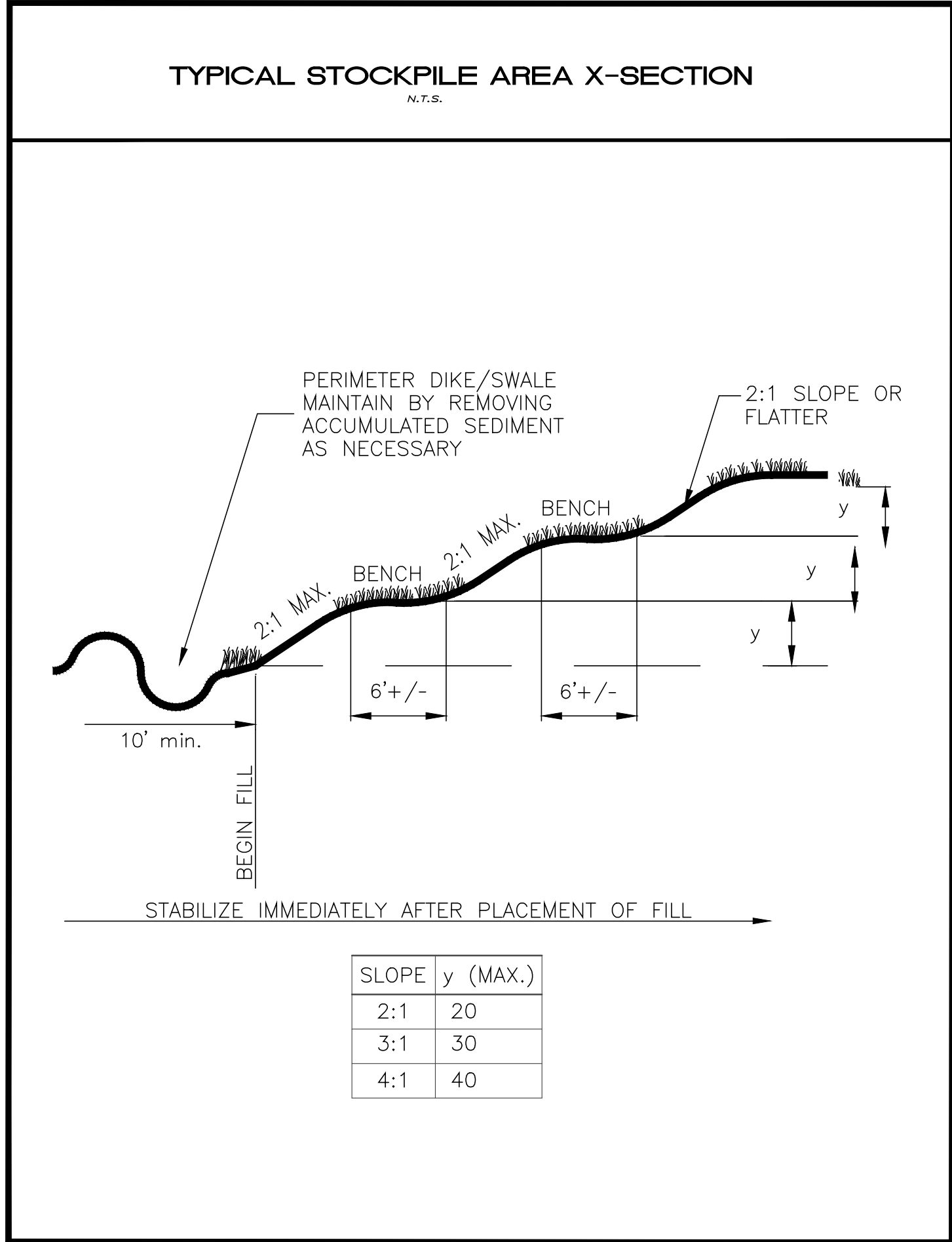
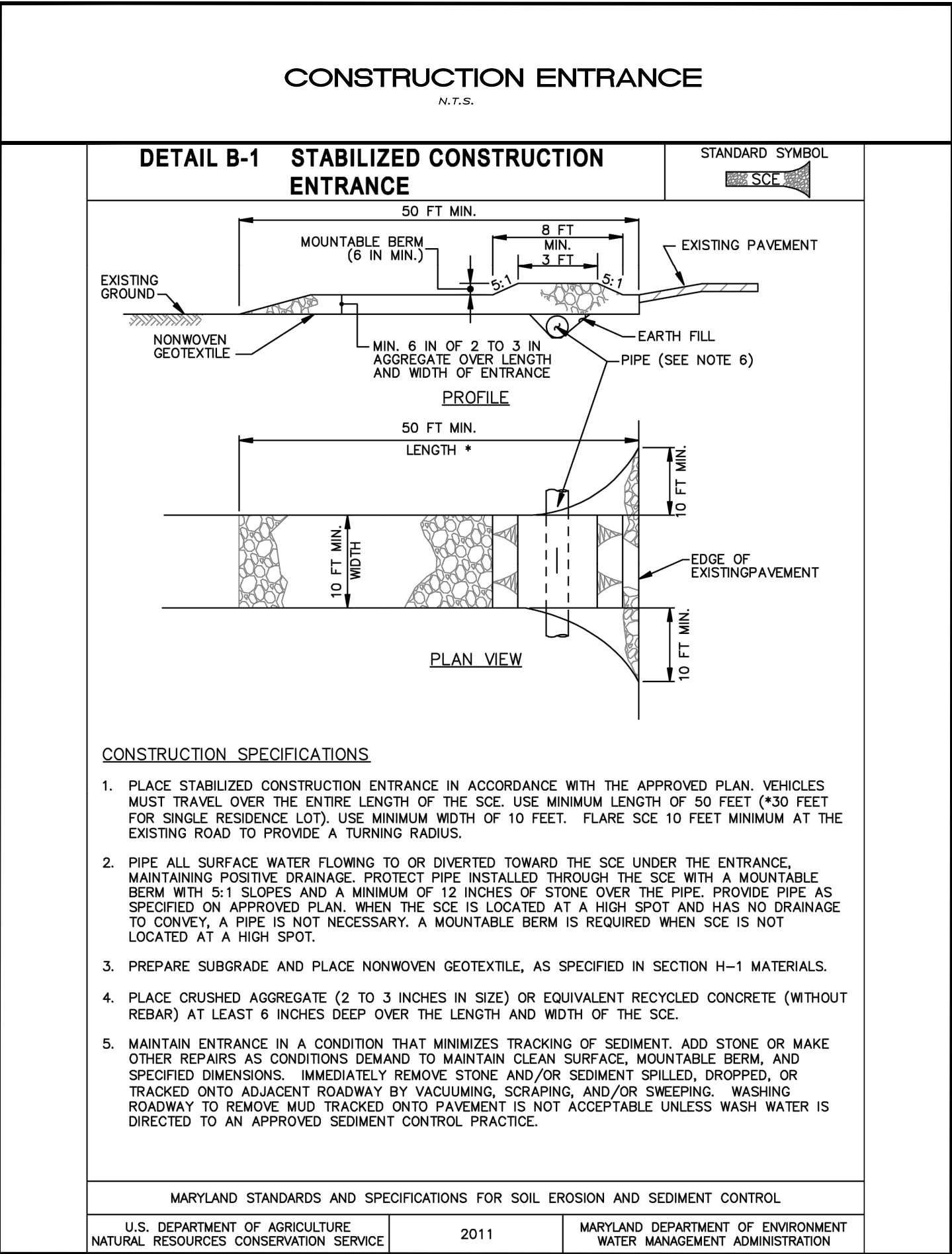
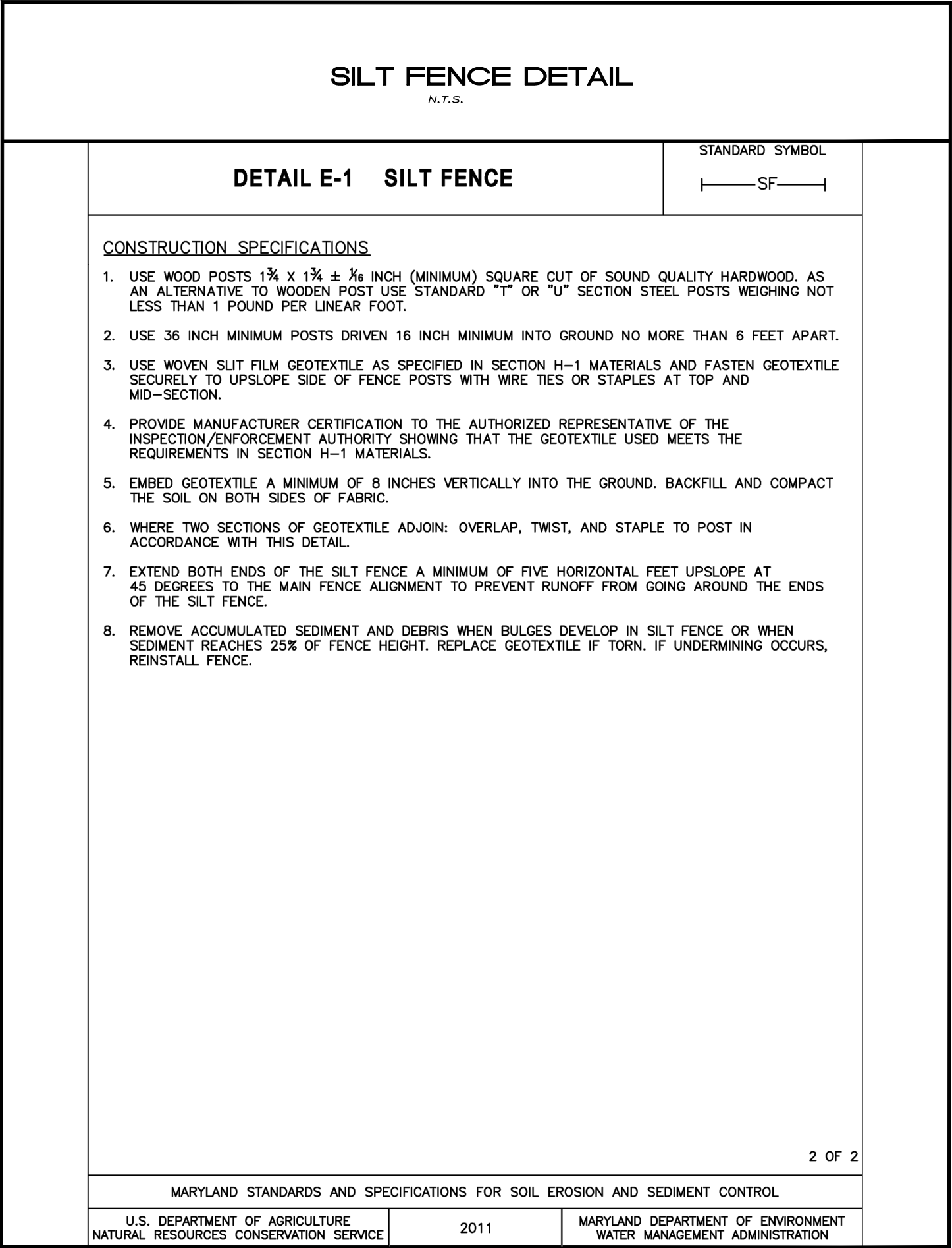
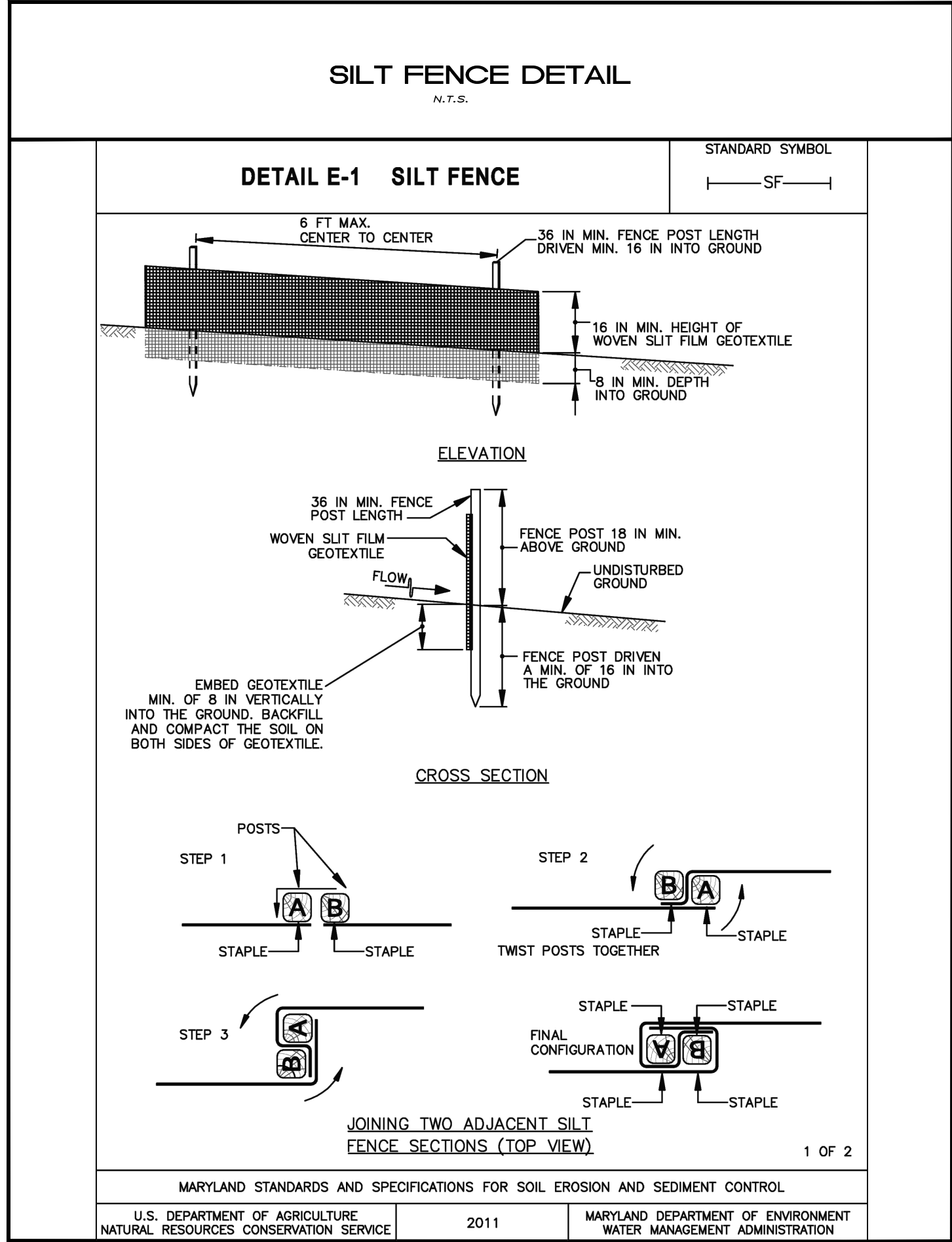
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ESC PLAN

PROJECT: 25-110 DATE: 12/9/2025

DRAWN BY: KB SCALE: 1"=40'

SHEET: C-107



TEMPORARY SEEDING

N.T.S.

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ^{1/}		Seeding Depth ^{2/} (inches)	Recommended Seeding Dates by Plant Hardiness Zone ^{3/}		
	lb/ac	lb/1000 ft ²		5b and 6a	6b	7a and 7b
Cool-Season Grasses						
Annual Ryegrass (<i>Lolium perenne ssp. multiflorum</i>)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Barley (<i>Hordeum vulgare</i>)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Oats (<i>Avena sativa</i>)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Wheat (<i>Triticum aestivum</i>)	120	2.8	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Cereal Rye (<i>Secale cereale</i>)	112	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 31	Mar 1 to May 15; Aug 1 to Nov 15	Feb 15 to Apr 30; Aug 15 to Dec 15
Warm-Season Grasses						
Foxtail Millet (<i>Setaria italica</i>)	30	0.7	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14
Pearl Millet (<i>Pennisetum glaucum</i>)	20	0.5	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14

NOTES:

1/ Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.

Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mixes, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur in very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.

Oats are the recommended nurse crop for warm-season grasses.

2/ For sandy soils, plant seeds at twice the depth listed above.

3/ The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

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ESC DETAILS

PROJECT: 25-110 DATE: 12/9/2025
DRAWN BY: KB SCALE: NTS

SHEET:
C-501

ROCK OUTLET PROTECTION I
N.T.S.

DETAIL D-4-1-A ROCK OUTLET PROTECTION I

STANDARD SYMBOL

ROP1

DISCHARGE TO SEMI-CONFINED CHANNEL SECTION

PLAN VIEW

PROFILE

RIPRAP	
CLASS	THICKNESS (T)
I	19 IN
II	32 IN
III	46 IN

CONSTRUCTION SPECIFICATIONS

- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (¾ TO 1½ INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF THE RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

CONCRETE WASHOUT STRUCTURE
N.T.S.

DETAIL H-6 ONSITE CONCRETE WASHOUT STRUCTURE

STANDARD SYMBOL

CWS

10 FT. TYP.

PLAN

SECTION A-A

EXCAVATED WASHOUT STRUCTURE

10 FT. TYP.

PLAN

SECTION B-B

WASHOUT STRUCTURE WITH WOOD PLANKS

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

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WATER MANAGEMENT ADMINISTRATION

CONCRETE WASHOUT
N.T.S.

DETAIL H-6 ONSITE CONCRETE WASHOUT STRUCTURE

STANDARD SYMBOL

CWS

10 FT. TYP.

PLAN

SECTION B-B

WASHOUT STRUCTURE WITH STRAW BALES

CONSTRUCTION SPECIFICATIONS

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

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NATURAL RESOURCES CONSERVATION SERVICE

2011

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WATER MANAGEMENT ADMINISTRATION

SUMP PIT DETAIL
N.T.S.

DETAIL F-2 SUMP PIT

STANDARD SYMBOL

SP

SET TOP OF PIPE MIN. OF 12 IN ABOVE ANTICIPATED HIGHWATER LEVEL

ELEVATION

CONSTRUCTION SPECIFICATIONS

- USE 12 INCH OR LARGER DIAMETER CORRUGATED METAL, HDPE, OR PVC PIPE WITH 1 INCH DIAMETER PERFORATIONS, 6 INCHES ON CENTER. BOTTOM OF PIPE MUST BE CAPPED WITH WATERPROOF SEAL.
- WRAP PIPE WITH ¾ INCH GALVANIZED HARDWARE CLOTH AND WRAP NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE HARDWARE CLOTH.
- EXCAVATE PIT TO THREE TIMES THE PIPE DIAMETER AND FOUR FEET IN DEPTH. PLACE ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 6 INCHES IN DEPTH PRIOR TO PIPE PLACEMENT.
- SET TOP OF PIPE MINIMUM 12 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
- BACKFILL PIT AROUND THE PIPE WITH ¾ TO 1½ INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
- DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE.
- A SUMP PIT REQUIRES FREQUENT MAINTENANCE. IF SYSTEM CLOGS, REMOVE PERFORATED PIPE AND REPLACE GEOTEXTILE AND STONE. KEEP POINT OF DISCHARGE FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

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NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

PERMANENT SEEDING
N.T.S.

Table B.2: Recommended Permanent Seeding Mixtures by Site Condition or Purpose

Site Condition or Purpose of the Planting	Recommended Mix (see Table B.3)													
	1	2	3	4	5	6	7	8	9	10	11	12	13	
Steep Slopes, Roadsides	R	R	R	A	R	A					A	A	R	R
Sand and Gravel Pits, Sanitary Landfills	R	R	R	A	R	A					A	A	R	R
Salt-Damaged Areas	A													R
Mine Spoil, Dredged Material, and Spoil Banks	A		R	A	A									
Utility Rights-of-Way	R	R	R	R	R	R	A				R	R	R	
Dikes and Dams	A	A	R	A		R	R	A			R	R	R	
Berms and Low Embankments (not on Ponds)	R	R	R	R	R	R	A	A			R	R	R	A
Pond and Channel Banks, Streambanks	R	R	R	R	A	A					A	A		
Grassed Waterways, Diversions, Terraces, Spillways	A			A	R	R	A	R			R	R	A	
Bottom of Drainage Channels, Swales, Detention Basins				A	R	A					A	R	R	A
Field Borders, Filter Strips, Contour Buffer Strips	R	R	R	A	A	R	A	R	R		R	R	R	A
Wastewater Treatment Strips and Areas										R	A	A		
Heavy Use Areas (Grass Loading Paddocks for Livestock)											R			
Athletic Fields, Residential and Commercial Lawns										A	R	R	R	
Recreation Areas										R	R	R	R	

R = Recommended mix for this site condition or purpose.

A = Alternative mix, depending on site conditions.

B.25

PERMANENT SEEDING
N.T.S.

Table B.3: Selected List of Permanent Herbaceous Seeding Mixtures

Mix	Recommended Cultivar	Seeding Rate ^{1/}		Soil Drainage Class ^{2/}	Max. Height (inch)	Maint. Level ^{3/}	Remarks
		lb/ac	lb/ 1000 ft ²				
WARM-SEASON/COOL-SEASON GRASS MIXES							
1. SELECT ONE WARM-SEASON GRASS:							
Switch Grass (<i>Panicum virgatum</i>)	Blackwell, Carthage, Cave-in-Rock, or Shelter	10	0.23				All species are native to Maryland. Plant this mix with a regular grass drill.
OR							
Coastal Panic Grass (<i>Panicum amarum var. amarulum</i>)	Atlantic	10	0.23				Coastal panicgrass is best adapted to Zones 7a and 7b.
AND ADD:							
Creeping Red Fescue (<i>Festuca rubra var. rubra</i>)	Dawson, Pennlawn, Flyer, Fortess, Ruby, or Salem	15	0.34	E - P	4 - 7	C - D	Creeping red fescue is a cool-season grass that will provide erosion protection while the warm-season grass (switchgrass or coastal panicgrass) is becoming established.
PLUS ONE OF THE FOLLOWING LEGUMES:							
Partridge Pea (<i>Chamaecrista fasciculata</i>)	Common	4	0.09				Switchgrass, coastal panicgrass, the 'Dawson' variety of creeping red fescue, and partridge pea are moderately salt-tolerant. Do not use bush clover or wild indigo on wet sites.
Bush Clover (<i>Lespedeza capitata</i>)	Common	2	0.05				
Wild Indigo (<i>Baptisia tinctoria</i>)	Common	2	0.05				
2. Big Bluestem (<i>Andropogon gerardi</i>)							
	Niagara or Rountree	6	0.14				All species are native to Maryland.
	Indiangrass (<i>Sorghastrum nutans</i>)	6	0.14				The indiagrass and bluestems have fluffy seeds. Plant with a specialized native seed drill.
	Little Bluestem (<i>Schizachyrium scoparium</i>)	4	0.09				
	Aldous or Blaze	4	0.09				
	Creeping Red Fescue (<i>Festuca rubra var. rubra</i>)	15	0.34				Creeping red fescue is a cool-season grass that will provide erosion protection while the warm-season grasses are becoming established.
PLUS ONE OF THE FOLLOWING LEGUMES:							
Partridge Pea (<i>Chamaecrista fasciculata</i>)	Common	4	0.09				
Bush Clover (<i>Lespedeza capitata</i>)	Common	2	0.05				
Wild Indigo (<i>Baptisia tinctoria</i>)	Common	2	0.05				
Showy Tick-Trefoil (<i>Desmodium canadense</i>)	Common	1	0.02				

B.26

FILTER BAG DETAIL
N.T.S.

DETAIL F-4 FILTER BAG

STANDARD SYMBOL

FB

FLOW

PLAN VIEW

ELEVATION

CONSTRUCTION SPECIFICATIONS

- TIGHTLY SEAL SLEEVE AROUND THE PUMP DISCHARGE HOSE WITH A STRAP OR SIMILAR DEVICE.
- PLACE FILTER BAG ON SUITABLE BASE (E.G., MULCH, LEAF/WOOD COMPOST, WOODCHIPS, SAND, OR STRAW BALES) LOCATED ON A LEVEL OR 5% MAXIMUM SLOPING SURFACE. DISCHARGE TO A STABILIZED AREA. EXTEND BASE A MINIMUM OF 12 INCHES FROM EDGES OF BAG.
- CONTROL PUMPING RATE TO PREVENT EXCESSIVE PRESSURE WITHIN THE FILTER BAG IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS. AS THE BAG FILLS WITH SEDIMENT, REDUCE PUMPING RATE.
- REMOVE AND PROPERLY DISPOSE OF FILTER BAG UPON COMPLETION OF PUMPING OPERATIONS OR AFTER BAG HAS REACHED CAPACITY, WHICHEVER OCCURS FIRST. SPREAD THE DEWATERED SEDIMENT FROM THE BAG IN AN APPROVED UPLAND AREA AND STABILIZE WITH SEED AND MULCH BY THE END OF THE WORK DAY. RESTORE THE SURFACE AREA BENEATH THE BAG TO ORIGINAL CONDITION UPON REMOVAL OF THE DEVICE.
- USE NONWOVEN GEOTEXTILE WITH DOUBLE STITCHED SEAMS USING HIGH STRENGTH THREAD. SIZE SLEEVE TO ACCOMMODATE A MAXIMUM 4 INCH DIAMETER PUMP DISCHARGE HOSE. THE BAG MUST BE MANUFACTURED FROM A NONWOVEN GEOTEXTILE THAT MEETS OR EXCEEDS MINIMUM AVERAGE ROLL VALUES (MARV) FOR THE FOLLOWING:

GRAB TENSILE	250 LB	ASTM D-4632
PUNCTURE	150 LB	ASTM D-4833
FLOW RATE	70 GAL/MIN/FT ²	ASTM D-4491
PERMITTIVITY (SEC ⁻¹)	1.2 SEC ⁻¹	ASTM D-4491
UV RESISTANCE	70% STRENGTH @ 500 HOURS	ASTM D-4355
APPARENT OPENING SIZE (AOS)	0.15-0.18 MM	ASTM D-4751
SEAM STRENGTH	90%	ASTM D-4632
- REPLACE FILTER BAG IF BAG CLOGS OR HAS RIPS, TEARS, OR PUNCTURES. DURING OPERATION KEEP CONNECTION BETWEEN PUMP HOSE AND FILTER BAG WATER TIGHT. REPLACE BEDDING IF IT BECOMES DISPLACED.

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NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
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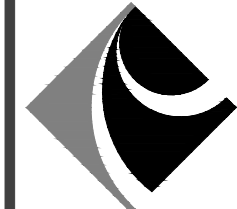
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Atlantic Group
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10044 Old Ocean City Boulevard
Berlin, Maryland 21811
Ph: (410) 629-1160
Fax: (410) 629-1710
www.the-atlanticgrp.com

ESC DETAILS

PROJECT: 25-110 DATE: 12/9/2025

DRAWN BY: KB SCALE: NTS

SHEET:

C-502