

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

**Wednesday, January 14, 2026 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order

II. Site Plan Review (§ ZS 1-325)

A. Ocean Pines Golf Course Monopole- Sketch Plan Review

Proposed construction of a 150' monopole. Located at 98 Clubhouse Drive, Ocean Pines, MD 21811. Tax Map 16, Parcel 21, Tax District 3, R-2 Residential District. Ocean Pines Association, Inc., owner / Milestone Towers, applicant.

B. OC Cable Landing Site – Major Site Plan Review

Proposed construction of a 24,247 square foot building and associated site improvements for a cable landing station. Located at Tax Map 33, Parcel 136 on the Easterly side of Stephen Decatur Highway (MD Route 611), C-2 General Commercial District. Sandbridge Subsea 888 LLC, owner / Atlantic Group & Associates, Inc., engineer/applicant.

III. Adjourn

TECHNICAL REVIEW COMMITTEE

DATE OF MEETING: January 14, 2026

PROJECT: Ocean Pines Monopole

APPLICANT(S) IN ATTENDANCE:

TRC MEMBERS IN ATTENDANCE:

- Tremblay, Zoning Administrator
- Zito, DRP Specialist III
- Miller, Building Plans Reviewer III
- Mitchell, Environmental Programs
- White, Environmental Programs
- Soper, Environmental Programs
- Birch, Environmental Programs
- Mathers, Environmental Programs
- Owens, Fire Marshal
- Korb, Deputy Fire Marshal
- Lynch, County Roads
- Berdan, County Roads
- Wilson, State Highway Admin.
- Fritts, State Highway Admin.
- Beauchamp, W & WW, DPW
- Knight, Planning Commission Rep.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/dr>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

January 14, 2026

Ocean Pines Golf Course Cell Tower - Sketch Plan Review

Proposed construction of 150' communication tower. Located at 98 Clubhouse Drive, Ocean Pines, MD 21811. Tax Map 16, Parcel 21, Tax District 3, R-2 Residential District. Ocean Pines Association, Inc., owner / Milestone Towers, applicant.

Prepared by: Ben Zito, DRP Specialist

Contact: bmzito@worcestermd.gov or (410) 632-1200, extension 1134

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General Requirements:

1. To obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete building permit application along with the property owner's signature
 - b. Two (2) initial fees of \$200 made payable to Worcester County.
 - c. Three (3) sets of sealed drawings for tower design and construction documents.
 - d. Three (3) sets of sealed drawings for antenna design and construction documents.
 - e. Soils Report.
 - f. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated

occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

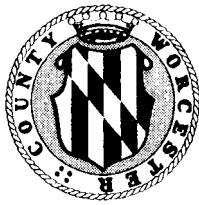
§ZS1-206	R-2 Suburban Residential District
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-321	Off-Street Loading Spaces
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-324	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways
§ZS1-343	Antennas, towers, and telecommunications uses

1. No lighting shall be required or permitted, except what is specifically required by the FCC, FAA or another relevant state or federal agency; additionally, in instances where the FCC or FAA require daytime high-intensity strobe lighting, a set of red marker lights shall be installed for nighttime use. All strobe lights shall be turned off at twilight. §ZS1-343(b)(2)(C). <https://ecode360.com/14021660>.
2. A fence with a minimum height of twelve feet shall be installed around the perimeter of the tower base. All equipment shall be located within this fenced area. The fence shall have an access gate which shall be kept in a locked condition at all times, except when servicing is required. The fence shall be equipped with additional entrance prevention devices as necessary to prevent compound access by unauthorized personnel. §ZS1-343(b)(2)(E). <https://ecode360.com/14021662>.
3. There shall be an additional screening requirement consisting of a buffer at least twenty-five feet in width planted with native species trees capable of reaching not less than sixty feet in height when mature. §ZS1-343(b)(2)(E). <https://ecode360.com/14021662>.
4. Sheet LS-1: Please also add that Worcester County must approve all plant types and locations (General Notes #4 and #10). Please also add that the landscaping must be fully maintained until the work is accepted by Worcester County (General Note #9).

5. Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors. Drip irrigation systems are preferred. If an automatic system is not feasible, the Planning Commission at its discretion may approve an alternate watering system to maintain the plant material. §ZS1-322(b)(7).
<https://ecode360.com/14021089>.
6. A maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate for a nursery will be required to be provided at permit stage to accurately determine the bond amount. §ZS1-322(g).
<https://ecode360.com/14021139>
7. All telecommunications facilities and accessory structures shall be sighted in such a way as to have the least possible adverse effect on the visual environment. All non-concealed or -camouflaged facilities shall be of a galvanized finish or painted light gray or pale blue above any surrounding tree line while any portion below the tree line shall be painted gray, green, black or similar color and designed to blend into the natural environment or surrounding structures, unless otherwise required by the FAA. Furthermore, they shall be designed and sighted so as to avoid, wherever possible, application of FAA lighting and painting requirements. When located in any zoning district other than the I-1 or I-2 Districts, structures and facilities accessory to a monopole or tower shall use architecture, materials, colors and textures designed to blend with the natural environment and other structures in the general area. The concealment or camouflaging of monopoles, towers and other telecommunication facilities, using industry standard techniques and structures such as artificial trees, architectural features on buildings, flag poles and grain silos, among others, is highly recommended and should be used wherever possible. §ZS1-343(b)(2)(F).
<https://ecode360.com/14021663>.

Other Agency Approvals:

1. Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.



Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Ocean Pines Monopole Tower, 98 Clubhouse Drive

Date: 1/14/2026

Tax Map: 16 Parcel: 21 Section: _____ Lot: _____ Block: _____

SITE SPECIFIC COMMENTS

1. Current Codes: 2021 International Building Code
2021 International Energy Conservation Code
2021 International Mechanical Code
2020 National Electric Code (Currently)
2. Permit application for tower along with 3 sets of sealed drawings for tower design and construction documents.
3. Permit application for antennas along with 3 sets of sealed drawings for antenna design and construction documents.
3. Structural analysis will be required for all future carriers.
4. Third party inspector (special inspector/ engineering firm) information for tower erection, height verification and foundation.
5. Soils report required at the time of building permit application.
6. A pre-construction meeting will be required before any work starts.
7. Worcester County inspections required for all construction. Third party inspection will not be accepted without a Worcester County inspection.

Please provide your design professional with a copy of these comments.



Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Kristen Tremblay, Zoning Administrator

From: Joy S. Birch, Natural Resources Planner III 

Subject: Sketch Plan –Ocean Pines Golf Course - Monopole – TM 16 P 56 – 98
Clubhouse Drive

Date: December 19, 2025

I have reviewed the above referenced Sketch Plan request and determined the property is located within the landward limits of the Atlantic Coastal Bays Critical Area Program and designated as (IDA) Intensely Developed Area within a buffer management area of A-15. The proposed activity does not appear to have any issues with the Atlantic Coastal Bay Critical Area; however, we will need all Critical Area Site Plan Regulations to be addressed (Critical Area Report, 15% afforestation, 10% pollution reduction.)

With regards to Stormwater Management and Sediment Erosion Control, it does not appear this project will need either of these approvals. If the project equals to or exceeds 5000 square feet of disturbance or 100 cubic yards of fill, then Stormwater Management and Sediment Erosion Approval will be required.

Thank you for the opportunity to comment on the above reference case relating to the Chesapeake and Atlantic Coastal Bays Critical Area requirements. If you have any additional comments or concerns, please feel free to contact me at (410)632-1220 ext. 1161 or by email at jbirch@worcestermd.gov.

Citizens and Government Working Together



Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner IV *(DM)*

Subject: Forest Conservation Review

Date: January 2, 2026

Date of Meeting: January 14, 2026

Project: Ocean Pines Golf Course Monopole – Sketch Plan Review

Location: 98 Clubhouse Drive, Tax Map: 16, Parcel: 21

Owner/Developer: Ocean Pines Association, Inc.

Applicant: Milestone Towers

This project is not required to comply with the Worcester County Forest Conservation Law. This request is located within the landward limits of the Atlantic Coastal Bays Critical Area and therefore exempt from the Forest Conservation Act. No comment.

Citizens and Government Working Together

WORCESTER COUNTY GOVERNMENT CENTER 1 WEST MARKET STREET, ROOM 1306 SNOW HILL, MARYLAND 21863
TEL: 410-632-1220 FAX: 410-632-2012



Worcester County

Department of Environmental Programs
Environmental Programs Division

Memorandum

To: Technical Review Committee (TRC) for a January 14, 2026 Meeting

From: Environmental Programs Staff

Subject: Ocean Pines Golf Course Monopole Sketch Plan Review – Tax Map: 16, Parcel: 21

Date: January 12, 2025

Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs has no comments for this proposed project as there are no hindrances to water or sewage.

Citizens and Government Working Together

WORCESTER COUNTY GOVERNMENT CENTER 1 WEST MARKET STREET, ROOM 1306 SNOW HILL, MARYLAND 21863
TEL: 410-632-1220 FAX: 410-632-2012



verizon[✓]

OCEAN PINES GOLF COURSE

98 CLUBHOUSE DRIVE

OCEAN PINES, MD 21811

NEW 150' MONOPINE

SITE INFORMATION

SCOPE OF WORK:

1. INSTALL EROSION AND SEDIMENT CONTROLS.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE.
3. INSTALL TEMPORARY GRAVEL ACCESS ROAD TO COMPOUND.
4. CLEAR AND GRADE SITE TO FINAL SUBGRADE ELEVATION.
5. INSTALL MONOPINE FOUNDATION AND 150' MONOPINE.
6. INSTALL GROUNDDING, TELCO PUJ BOXES, UTILITY WIREWAY.
7. INSTALL VERIZON WIRELESS EQUIPMENT SLAB AND CARRIER EQUIPMENT.
8. INSTALL ELECTRICAL AND TELEPHONE CONDUIT AND HAND HOLES.
9. INSTALL FENCE AND SITE IMPROVEMENTS.
10. INSTALL VERIZON WIRELESS ANTENNAS, CABLES, RRHS AND EQUIPMENT.

PROPERTY INFORMATION:

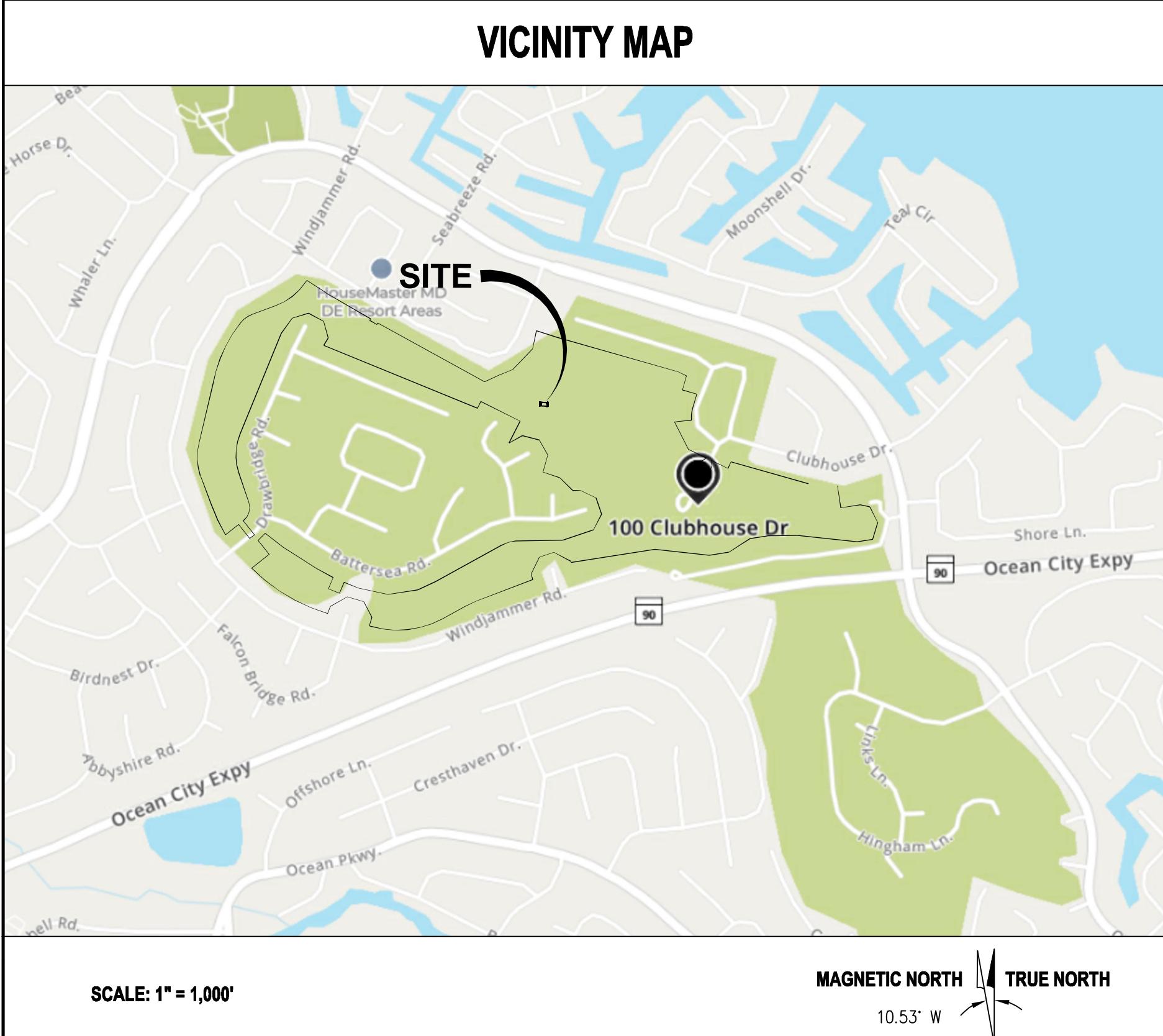
JURISDICTION: WORCESTER COUNTY, MARYLAND
 PARCEL: 0016/0021/0056
 PARCEL AREA: 174.3700 A.C.
 PARCEL OWNER: OCEAN PINES ASSOCIATION INC
 PREMISES ADDRESS: 93 CLUBHOUSE DRIVE, OCEAN PINES, MD 21811
 MAILING ADDRESS: 239 OCEAN PARKWAY, BERLIN, MD 21811
 TAX ACCOUNT NUMBER: 03-074900
 NEIGHBORHOOD: 13081.24
 ZONING: R-2
 STRUCTURE TYPE: NEW MONOPINE
 GROUND ELEVATION: 5.40' NAVD88
 LATITUDE: N 38° 23' 32.957"
 LONGITUDE: W 75° 09' 01.542"

NOTE: MONOPLES AND COMMUNICATION TOWERS SHALL BE INSTALLED IN CONFORMANCE WITH ANSI/EIA/TIA-222. STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.

entrex

communication services, inc.
 6100 EXECUTIVE BLVD.
 SUITE 430
 ROCKVILLE, MD 20852
 PHONE: (202) 408-0960

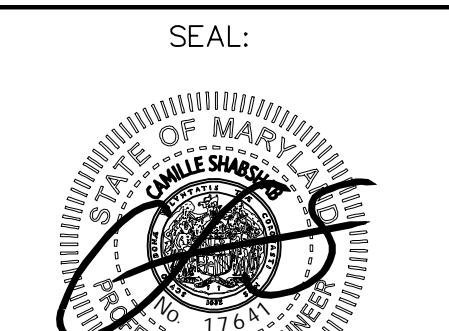
Milestone
Towers



SHEET INDEX

- T-1 TITLE SHEET
- Z-1 SITE PLAN
- Z-2A PROPERTY ADJOINERS
- Z-2B PROPERTY ADJOINERS
- Z-2C PROPERTY ADJOINERS
- Z-2D PROPERTY ADJOINERS
- Z-2E PROPERTY ADJOINERS
- Z-2F PROPERTY ADJOINERS
- Z-3 ENLARGED SITE PLAN
- Z-4 COMPOUND PLAN
- Z-5 MONOPOLE ELEVATION
- Z-6 EROSION AND SEDIMENT CONTROL DETAILS
- Z-7 SITE DETAILS
- Z-8 SIGNAGE DETAILS
- L-1 LANDSCAPE PLAN & DETAILS

OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811



Professional Certification. I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/27/2025.

SUBMITTALS

DATE	DESCRIPTION	REV.
11-11-2025	ZONING REVIEW	A

PROJECT TEAM

APPLICANT:	
ARCHITECT/ENGINEER:	

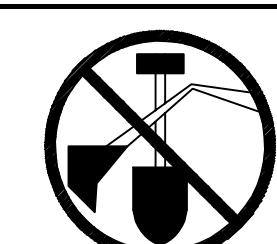
CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 NFPA 101, LIFE SAFETY CODE
- AMERICAN CONCRETE INSTITUTE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- ANSI/TIA-222-H

DRAWING APPROVALS

	SIGNATURE	DATE
OWNER REPRESENTATIVE		
SITE AQUISITION		
CONSTRUCTION MANAGER		
ZONING		
RF ENGINEER		



CALL
UTILITIES NOTIFICATION
MISS UTILITY
1-800-257-7777
3 WORKING DAYS PRIOR TO DIGGING



PROJECT NO: 1050.472

DESIGNER: C.S.

ENGINEER: M.A.

THESE DRAWINGS ARE FORMATTED
TO BE FULL-SIZE
0 1/2 1
GRAPHIC SCALE IN INCHES

SHEET TITLE:

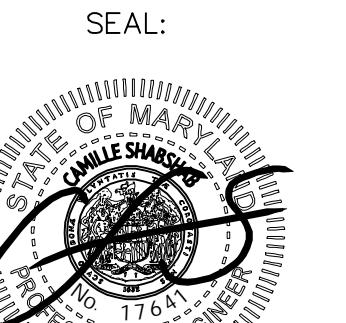
TITLE SHEET

SHEET NUMBER:

T-1



**OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811**



Professional Certification. I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, Expiration Date: 12/27/2025

SUBMITTALS

DATE	DESCRIPTION	REV.
11-11-2025	ZONING REVIEW	A

PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED
TO BE FULL-SIZE
0 1/2 1
GRAPHIC SCALE IN INCHES

SHEET TITLE:

**PROPERTY
ADJOINERS**

SHEET NUMBER:

Z-2A

NO	ACCOUNT	OWNER	PREMISE ADDRESS	CITY STATE ZIP	MAILING ADDRESS	CITY STATE ZIP	DEED BOOK/PAGE	USE	ZONING	AREA
1	03-080331	EWIN EMILY A	28 NEWPORT DR	OCEAN PINES MD 21811	28 NEWPORT DR	OCEAN PINES MD 21811	7759/116	RESIDENTIAL	R-3	7959 SF
2	03-039315	MOSCHINI KAREN E & MOSCHINI WILLIAM JAMES	30 NEWPORT DR	OCEAN PINES MD 21811	30 NEWPORT DR	OCEAN PINES MD 21811	7249/324	RESIDENTIAL	R-3	7700 SF
3	03-058875	LONG ROBERT M & MARGARET E LONG	32 NEWPORT DR	OCEAN PINES MD 21811	32 NEWPORT DR	OCEAN PINES MD 21811	4892/418	RESIDENTIAL	R-3	7700 SF
4	03-057534	CARR DANIEL CHRISTOPHER	34 NEWPORT DR	OCEAN PINES MD 21811	34 NEWPORT DR	OCEAN PINES MD 21811	5125/683	RESIDENTIAL	R-3	7700 SF
5	03-112071	OCEAN PINES ASSOCIATION INC	NEWPORT DR	OCEAN PINES MD 21811	239 OCEAN PKWY	BERLIN MD 21811	453/5867	RESIDENTIAL	R-3	5897 SF
6	03-058700	SHORT JUDITH CAROL	38 NEWPORT DR	OCEAN PINES MD 21811	30 HARLAN TRACE	BERLIN MD 21811	6253/125	RESIDENTIAL	R-3	7700 SF
7	03-066762	TOOMEY BERTRAM ROBERT JR & TOOMEY MARY RITA	40 NEWPORT DR	OCEAN PINES MD 21811	560 KIRK DR	SPRINGFIELD PA 19064	6249/207	RESIDENTIAL	R-3	7700 SF
8	03-070271	FRANKOWSKI DONNA	42 NEWPORT DR	OCEAN PINES MD 21811	42 NEWPORT DR	OCEAN PINES MD 21811	7951/60	RESIDENTIAL	R-3	8750 SF
9	03-069303	CARROLL JEFFREY CARL	44 NEWPORT DR	OCEAN PINES MD 21811	1403 COVINGTON ST	BALTIMORE MD 21230	6472/155	RESIDENTIAL	R-3	7700 SF
10	03-091902	PINER NEIL E & SUZANNE K PINER	46 NEWPORT DR	OCEAN PINES MD 21811	17002 HUGHES RD	POOLESVILLE MD 20837	4830/373	RESIDENTIAL	R-3	7768 SF
11	03-067815	LUSE PAMELA A	48 NEWPORT DR	OCEAN PINES MD 21811	3 TENBY CT	LUTHERVILLE MD 21093	8349/133	RESIDENTIAL	R-3	7768 SF
12	03-052524	STIEHL JEANNE E & FREDERICK F	50 NEWPORT DR	OCEAN PINES MD 21811	50 NEWPORT DR	OCEAN PINES MD 21811	2418/229	RESIDENTIAL	R-3	7700 SF
13	03-072835	BARRETT HOMER BRUCE & MARGUERITE J	52 NEWPORT DR	OCEAN PINES MD 21811	52 NEWPORT DR	OCEAN PINES MD 21811	2380/121	RESIDENTIAL	R-3	7700 SF
14	03-057256	MIDDLETON MICHAEL PATRICK & SCHULTZ HEATHER LYNN	54 NEWPORT DR	OCEAN PINES MD 21811	54 NEWPORT DR	OCEAN PINES MD 21811	6652/190	RESIDENTIAL	R-3	7700 SF
15	03-091899	CALLAHAN PAUL TIMOTHY & CALLAHAN SHELLY AYN	56 NEWPORT DR	OCEAN PINES MD 21811	27 BRIARCREST DR	OCEAN PINES MD 21811	6319/405	RESIDENTIAL	R-3	7700 SF
16	03-089584	RICE CHRISTOPHER W & RICE KATARINA	58 NEWPORT DR	OCEAN PINES MD 21811	58 NEWPORT DR	OCEAN PINES MD 21811	7996/253	RESIDENTIAL	R-3	7700 SF
17	03-066738	PAYNE LEE ROY JR & PAYNE LIDA MARLAINE H	60 NEWPORT DR	OCEAN PINES MD 21811	60 NEWPORT DR	OCEAN PINES MD 21811	5548/406	RESIDENTIAL	R-3	7700 SF
18	03-056643	SCHIEPP CELESTE	62 NEWPORT DR	OCEAN PINES MD 21811	62 NEWPORT DR	OCEAN PINES MD 21811	7941/364	RESIDENTIAL	R-3	7700 SF
19	03-047776	KEESLING VIOLA K FOR LIFE	64 NEWPORT DR	OCEAN PINES MD 21811	11630 GLEN ARM U09	GLENARM MD 21057	6383/291	RESIDENTIAL	R-3	7700 SF
20	03-061183	COMISKEY SARAH H & COMISKEY STEPHEN W	66 NEWPORT DR	OCEAN PINES MD 21811	3787 STEPHENSON PL NW	WASHINGTON DC 20015	5982/127	RESIDENTIAL	R-3	7700 SF
21	03-061159	COMISKEY SARAH H & COMISKEY STEPHEN W	68 NEWPORT DR	OCEAN PINES MD 21811	3787 STEPHENSON PL NW	WASHINGTON DC 20015	5982/82	RESIDENTIAL	R-3	7700 SF
22	03-061175	COMISKEY SARAH H & COMISKEY STEPHEN W	70 NEWPORT DR	OCEAN PINES MD 21811	3787 STEPHENSON PL NW	WASHINGTON DC 20015	5982/116	RESIDENTIAL	R-3	7847 SF
23	03-039722	MADISON AMBER	72 NEWPORT DR	OCEAN PINES MD 21811	72 NEWPORT DR	OCEAN PINES MD 21811	8968/131	RESIDENTIAL	R-3	8759 SF
24	03-047172	BARNARD WILLIAM S & BURMAN FRANCES S	74 NEWPORT DR	OCEAN PINES MD 21811	7113 DEERFIELD RD	PIKESVILLE MD 21208	8226/286	RESIDENTIAL	R-3	11841 SF
25	03-065774	MCFADDEN PAMELA LYNN & MCFADDEN RUSSELL BRIAN	76 NEWPORT DR	OCEAN PINES MD 21811	76 NEWPORT DR	OCEAN PINES MD 21811	7940/281	RESIDENTIAL	R-3	12203 SF
26	03-077357	GREGG TRUST THE GREGG GORDON LEE TRUSTEE ETAL	78 NEWPORT DR	OCEAN PINES MD 21811	17710 POND RD POB 2	ASHTON MD 20861	8303/377	RESIDENTIAL	R-3	10281 SF
27	03-046486	THOMPSON RICHARD LEE JR & THOMPSON KRISTIE LYNN	80 NEWPORT DR	OCEAN PINES MD 21811	33 TOWER POINT RD	CHESAPEAKE CITY MD 21915	8863/382	RESIDENTIAL	R-3	10429 SF
28	03-064131	SHULDES HOLDINGS LLC	82 NEWPORT DR	OCEAN PINES MD 21811	11213 ANGUS WAY	WOODSBORO MD 21798	6913/83	RESIDENTIAL	R-3	9839 SF
29	03-064158	JOHNSON BENJAMIN H	84 NEWPORT DR	OCEAN PINES MD 21811	84 NEWPORT DR	OCEAN PINES MD 21811	8461/1909	RESIDENTIAL	R-3	10109 SF
30	03-086720	86 NEWPORT DRIVE TRUST UTTER DANIEL ELMER TRUSTEE	86 NEWPORT DR	OCEAN PINES MD 21811	4016 BRIAR POINT RD	BALTIMORE MD 21220	8087/256	RESIDENTIAL	R-3	13282 SF
31	03-086712	PIERCE PHILLIP T & PIERCE CAROLYN C	88 NEWPORT DR	OCEAN PINES MD 21811	1844A SYNDERSBURG RD	WESTMINSTER MD 21157	5667/21	RESIDENTIAL	R-3	9504 SF
32	03-046753	HARMAN GARY G & BARABRA J HARMAN FOR LIFE	90 NEWPORT DR	OCEAN PINES MD 21811	90 NEWPORT DR	OCEAN PINES MD 21811	7386/462	RESIDENTIAL	R-3	9304 SF
33	03-077373	NARDYZ LEE & NARDYZ SUSAN	41 WATERGREEN LN	OCEAN PINES MD 21811	41 WATERGREEN LN	OCEAN PINES MD 21811	8139/308	RESIDENTIAL	R-3	26199 SF
34	03-079376	COMBS KENNETH R & COMBS JOANNE P	39 WATERGREEN LN	OCEAN PINES MD 21811	3512 MOYLAND DR	BOWIE MD 20715	5413/438	RESIDENTIAL	R-3	10255 SF
35	03-077381	DONALD K MARSHALL REV TRUST MARSHALL DONALD K ETAL TRUSTEES	37 WATERGREEN LN	OCEAN PINES MD 21811	37 WATERGREEN LN	OCEAN PINES MD 21811	8217/186	RESIDENTIAL	R-3	9032 SF
36	03-045374	GARBER CURTIS	35 WATERGREEN LN	OCEAN PINES MD 21811	POB 937	BEAR DE 19701	1656/365	RESIDENTIAL	R-3	7500 SF
37	03-067130	TIGNALL MAY D	33 WATERGREEN LN	OCEAN PINES MD 21811	33 WATERGREEN LN	OCEAN PINES MD 21811	6953/42	RESIDENTIAL	R-3	7500 SF
38	03-037339	WAESCHE CHARLES C & BETTY JANE	31 WATERGREEN LN	OCEAN PINES MD 21811	31 WATERGREEN LN	OCEAN PINES MD 21811	2439/190	RESIDENTIAL	R-3	7500 SF
39	03-037347	ABDULLAH HALICI TRUST THE HALICI ABDULLAH TRUSTEE	29 WATERGREEN LN	OCEAN PINES MD 21811	7129 PANORAMA DR	ROCKVILLE MD 20855	9014/302	RESIDENTIAL	R-3	7500 SF
40	03-042383	THORWART RONALD J & NORMA F	27 WATERGREEN LN	OCEAN PINES MD 21811	27 WATERGREEN LN	OCEAN PINES MD 21811	2316/86	RESIDENTIAL	R-3	7500 SF
41	03-074110	CERCEO DOMENICK E & CERCEO CHERYL A	25 WATERGREEN LN	OCEAN PINES MD 21811	25 WATERGREEN LN	OCEAN PINES MD 21811	7124/39	RESIDENTIAL	R-3	7500 SF
42	03-058379	HOFFMAN CYNTHIA M & HARPER ANDREW ETAL	23 WATERGREEN LN	OCEAN PINES MD 21811	23 WATERGREEN LN	OCEAN PINES MD 21811	8536/137	RESIDENTIAL	R-3	7500 SF
43	03-059944	JOLLY STEPHEN W	21 WATERGREEN LN	OCEAN PINES MD 21811	21 WATERGREEN LN	OCEAN PINES MD 21811	7591/199	RESIDENTIAL	R-3	7500 SF
44	03-064905	GRESCZYK JASON DAVID	19 WATERGREEN LN	OCEAN PINES MD 21811	43 WOOD DUCK RD	OCEAN PINES MD 21811	7714/217	RESIDENTIAL	R-3	7500 SF
45	03-080951	MOORE PATRICIA A	17 WATERGREEN LN	OCEAN PINES MD 21811	650 WILLOW VALLEY SQ APT K212	LANCASTER PA 17602	7737/248	RESIDENTIAL	R-3	7500 SF
46	03-069613	PEINDL GENE S & BEVERLY A	15 WATERGREEN LN	OCEAN PINES MD 21811	2407 BROWNFIELD DR	GREENSBURG PA 15601	2632/140	RESIDENTIAL	R-3	7500 SF
47	03-057844	BEDIENT MICHAEL A & BEDIENT GAIL L	13 WATERGREEN LN							



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53	03-075796	RONALD W & DOLORES V LEIGH REVOCABLE TRUST	15	SUNDIAL CIR	OCEAN PINES MD 21811	15	SUNDIAL CIR	OCEAN PINES MD 21811	5608/47	RESIDENTIAL	R-3	7500 SF
54	03-039390	BOIE STEVEN G & BIOIE ROSALIEANNE ACUVERA	14	SUNDIAL CIR	OCEAN PINES MD 21811	12819	FOX FERN LN	CLARKSBURG MD 20871	8721/112	RESIDENTIAL	R-3	7500 SF
55	03-041840	CRONIN THOMAS E & HEDWIG M	12	SUNDIAL CIR	OCEAN PINES MD 21811	12	SUNDIAL CIR	OCEAN PINES MD 21811	2861/341	RESIDENTIAL	R-3	7500 SF
56	03-071367	CYBURT JULIA ANN	10	SUNDIAL CIR	OCEAN PINES MD 21811	10	SUNDIAL CIR	OCEAN PINES MD 21811	8386/237	RESIDENTIAL	R-3	7646 SF
57	03-045404	SPARTA LAWRENCE W & SPARTA MARY BETH	9	SUNDIAL CIR	OCEAN PINES MD 21811	9	SUNDIAL CIR	OCEAN PINES MD 21811	6368/166	RESIDENTIAL	R-3	9030 SF
58	03-071197	SMITH DONALD M & ANNENETTE D	7	SUNDIAL CIR	OCEAN PINES MD 21811	527	AUGUSTA DR	ARNOLD MD 21012	2452/413	RESIDENTIAL	R-3	8164 SF
59	03-071200	ROUNTREE SYLVIA H	5	SUNDIAL CIR	OCEAN PINES MD 21811	5	SUNDIAL CIR	OCEAN PINES MD 21811	1994/332	RESIDENTIAL	R-3	9030 SF
60	03-060845	FALCONE RALPH F & ALICIA FALCONE TRUSTEES	3	SUNDIAL CIR	OCEAN PINES MD 21811	1248	BONAIRE RD	FOREST HILL MD 21050	3403/386	RESIDENTIAL	R-3	8229 SF
61	03-056139	REB STOCK KRAIG E & REB STOCK KAREN M	92	CLUBHOUSE DR	OCEAN PINES MD 21811	967 A	SHORELAND DR	GLEN BURNIE MD 21060	6736/386	RESIDENTIAL	R-3	9125 SF
62	03-081427	SWANSON ERIC ALEXANDER & SWANSON ALEXANDRA	91	CLUBHOUSE DR	OCEAN PINES MD 21811	91	CLUBHOUSE DR	OCEAN PINES MD 21811	8618/468	RESIDENTIAL	R-3	9210 SF
63	03-069540	HIGGINS FRANCIS V & HIGGINS JEAN L	89	CLUBHOUSE DR	OCEAN PINES MD 21811	89	CLUBHOUSE DR	OCEAN PINES MD 21811	7289/380	RESIDENTIAL	R-3	8856 SF
64	03-081710	HISTORIC BRICKS LLC	87	CLUBHOUSE DR	OCEAN PINES MD 21811	1091	POPLAR DR	ANNAPOLIS MD 21409	8524/52	RESIDENTIAL	R-3	19831 SF
65	03-085554	EIGHTY THREE LLC	83	CLUBHOUSE DR	OCEAN PINES MD 21811	83	CLUBHOUSE DR	OCEAN PINES MD 21811	8316/174	RESIDENTIAL	R-3	22159 SF
66	03-054845	MCNANEY MICHAEL F & MOLLY J MCNANEY	81	CLUBHOUSE DR	OCEAN PINES MD 21811	81	CLUBHOUSE DR	OCEAN PINES MD 21811	3760/110	RESIDENTIAL	R-3	9210 SF
67	03-085163	CAPOZZI JOHN THOMAS & CAPOZZI LIA	79	CLUBHOUSE DR	OCEAN PINES MD 21811	79	CLUBHOUSE DR	OCEAN PINES MD 21811	7764/410	RESIDENTIAL	R-3	9210 SF
68	03-081435	RAYMOND F DETIG LIVING TRUST & DETIG RAYMOND F TRUSTEE	77	CLUBHOUSE DR	OCEAN PINES MD 21811	317	HEDGEROW DR	VENETIA PA 15367	6381/97	RESIDENTIAL	R-3	9210 SF
69	03-072401	PACKO JOHN A & PACKO KATHLEEN A	75	CLUBHOUSE DR	OCEAN PINES MD 21811	3232	SANTEE RD	BETHLEHEM PA 18010	7471/453	RESIDENTIAL	R-3	9210 SF
70	03-099790	SPAHR JACK R FOR LIFE	73	CLUBHOUSE DR	OCEAN PINES MD 21811	73	CLUBHOUSE DR	OCEAN PINES MD 21811	7764/500	RESIDENTIAL	R-3	9210 SF
71	03-059804	PICKETT JOHN EDWARD & PICKETT ANGELA MARY	71	CLUBHOUSE DR	OCEAN PINES MD 21811	12555	CLOVER HILL DR	WEST FRIENDSHIP MD 21794	8765/297	RESIDENTIAL	R-3	9210 SF
72	03-081443	SCHMIDT JOHN L III & SCHMIDT JANET K	69	CLUBHOUSE DR	OCEAN PINES MD 21811	204	OAKDALE RD	LINTHICUM MD 21090	1985/400	RESIDENTIAL	R-3	9210 SF
73	03-082261	BURNS ALLEN R & BURNS GLORIA M	67	CLUBHOUSE DR	OCEAN PINES MD 21811	1315	PENGUIN CT	PUNTA GORDA FL 33950	2658/303	RESIDENTIAL	R-3	9751 SF
74	03-066290	ROOKER GEORGE AVERY & ROOKER DEBRA LEA	65	CLUBHOUSE DR	OCEAN PINES MD 21811	65	CLUBHOUSE DR	OCEAN PINES MD 21811	8085/255	RESIDENTIAL	R-3	10207 SF
75	03-065154	TRENT MELINDA Y & FITZKEE SAMUEL J	63	CLUBHOUSE DR	OCEAN PINES MD 21811	107	KILGANNON LN	LANCASTER PA 17603	8068/179	RESIDENTIAL	R-3	10207 SF
76	03-061957	GOODWIN DAVID W & CAROL LEE	61	CLUBHOUSE DR	OCEAN PINES MD 21811	207	PARK CIR	ELKTON MD 21921	2563/219	RESIDENTIAL	R-3	10207 SF
77		BORDERLINKS RESORT										
78	03-093980	OT LLC	0	WINDJAMMER RD	OCEAN PINES MD 21811	222	N CONSTITUTION AVE	NEW FREEDOM PA 17349	8824/13	RESIDENTIAL	R-2	15837 SF
79	03-054853	DICKARD FRANK K	275	WINDJAMMER RD	OCEAN PINES MD 21811	29	BANGERT AVE	PERRY HALL MD 21128	8507/363	RESIDENTIAL	R-2	11928 SF
80	03-041417	SHOCKLEY THOMAS CLAYTON & SHOCKLEY ANN R	273	WINDJAMMER RD	OCEAN PINES MD 21811	273	WINDJAMMER RD	OCEAN PINES MD 21811	6270/357	RESIDENTIAL	R-2	12112 SF
81	03-042936	HUETHER ROBERT A & LAURA HUETHER	271	WINDJAMMER RD	OCEAN PINES MD 21811	271	WINDJAMMER RD	OCEAN PINES MD 21811	3894/1	RESIDENTIAL	R-2	10551 SF
82	03-068919	BIANCANELLO FRANCIS S & BIANCANELLO MARY JEAN	269	WINDJAMMER RD	OCEAN PINES MD 21811	269	WINDJAMMER RD	OCEAN PINES MD 21811	4022/98	RESIDENTIAL	R-2	9127 SF
83	03-068013	GOLDBERG AUDREY P FOR LIFE	267	WINDJAMMER RD	OCEAN PINES MD 21811	267	WINDJAMMER RD	OCEAN PINES MD 21811	8507/304	RESIDENTIAL	R-2	8890 SF
84	03-068862	TILLMAN HARRY G & TILLMAN LINDA A	266	WINDJAMMER RD	OCEAN PINES MD 21811	266	WINDJAMMER RD	OCEAN PINES MD 21811	7098/KL453	RESIDENTIAL	R-2	9345 SF
85	03-078485	CLINTON THOMAS D & WENZING CLINTON MARGARET L	263	WINDJAMMER RD	OCEAN PINES MD 21811	263	WINDJAMMER RD	OCEAN PINES MD 21811	6562/36	RESIDENTIAL	R-2	9823 SF
86	03-059502	BENA MATHIS CATHARINE C FOR LIFE	261	WINDJAMMER RD	OCEAN PINES MD 21811	261	WINDJAMMER RD	OCEAN PINES MD 21811	8568/205	RESIDENTIAL	R-2	10326 SF
87	03-074730	OWENS CHARLES MATHIS & OWENS MICHELE	259	WINDJAMMER RD	OCEAN PINES MD 21811	108	CHELSEA GROVE CT	PASADENA MD 21122	8830/420	RESIDENTIAL	R-2	11101 SF
88	03-0571787	MARINO ALFREDO	6	DARBY CT	OCEAN PINES MD 21811	6	DARBY CT	OCEAN PINES MD 21811	7418/229	RESIDENTIAL	R-2	9775 SF
89	03-064751	RASKA JAMES J & RASKA RICKY J	8	DARBY CT	OCEAN PINES MD 21811	314	WATERVIEW CT	HAMPSTEAD MD 21074	6929/7	RESIDENTIAL	R-2	8513 SF
90	03-069680	7 DARBY COURT LLC	7	DARBY CT	OCEAN PINES MD 21811	2907	ALVARADO SQ	PARKVILLE MD 21234	7121/114	RESIDENTIAL	R-2	8513 SF
91	03-080676	CONTI ROBERT A	5	DARBY CT	OCEAN PINES MD 21811	5	DARBY CT	OCEAN PINES MD 21811	2442/207	RESIDENTIAL	R-2	9775 SF
92	03-071588	CHICCA M,ARGARET HARRIS & RAYMOND ALAN CHICA ET AL	3	DARBY CT	OCEAN PINES MD 21811	12280	HYDEAWAY CT	HIGHLAND MD 20777	7770/24	RESIDENTIAL	R-2	9001 SF
93	03-061353	LOWMAN FAMILY REVOCABLE TRUST LOWMAN DENNIS L SR CO TRUSTEE ET AL	245	WINDJAMMER RD	OCEAN PINES MD 21811	2018	JOHN HANSON OVL	ANNAPOLIS MD 21401	8662/144	RESIDENTIAL	R-2	10368 SF
94	03-045129	DEPORTER ADAM MICHAEL & DEPORTER NICOLE KRISTEN	243	WINDJAMMER RD	OCEAN PINES MD 21811	243	WINDJAMMER RD	OCEAN PINES MD 21811	8747/476	RESIDENTIAL	R-2	10207 SF
95	03-063976	WARFIEDL LESTER 3RD	241	WINDJAMMER RD	OCEAN PINES MD 21811	241	WINDJAMMER RD	OCEAN PINES MD 21811	6913/109	RESIDENTIAL	R-2	10207 SF
96	03-055949	LANDIS ROBERT C FOR LIFE	0	WINDJAMMER RD	OCEAN PINES MD 21811	237	WINDJAMMER RD	OCEAN PINES MD 21811	6347/387	RESIDENTIAL	R-2	10207 SF
97	03-044246	LANDIS ROBERT C FOR LIFE	237	WINDJAMMER RD	OCEAN PINES MD 21811	237	WINDJAMMER RD	OCEAN PINES MD 21811	7077/134	RESIDENTIAL	R-2	10207 SF
98	03-062139	LYONS JEREMIAH M & LYONS SHARON T	235	WINDJAMMER RD	OCEAN PINES MD 21811	235	WINDJAMMER RD	OCEAN PINES MD 21811	8145/102	RESIDENTIAL	R-2	10207 SF
99	03-078191	GREENWOOD JAMES P	233	WINDJAMMER RD	OCEAN PINES MD 21811	233	WINDJAMMER RD	OCEAN PINES MD 21811	5524/390	RESIDENTIAL	R-2	10207 SF
100	03-071944	FRANCIS R WHEELER JR REVOCABLE TRUST WHEELER FRANICS R JR TRUSTEE	231	WINDJAMMER RD	OCEAN PINES MD 21811	231	WINDJAMMER RD	OCEAN PINES MD 21811	8516/1	RESIDENTIAL	R-2	9472 SF
101	03-055701	DOWLING ROBERT W & DOWLING BONITA M	229	WINDJAMMER RD	OCEAN PINES MD 21811	1440	PINE RD	CARLISLE PA 17015	7267/21	RESIDENTIAL	R-2	9914 SF
102	03-058867	MANNING L										



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106	03-049566	DAVIS VICKI LYNN	219	WINDJAMMER RD	OCEAN PINES MD 21811	219	WINDJAMMER RD	OCEAN PINES MD 21811	3691/5	RESIDENTIAL	R-2	9000 SF
107	03-085341	UPPERMAN HAROLD S & UPPERMAR DAMLA	217	WINDJAMMER RD	OCEAN PINES MD 21811	217	WINDJAMMER RD	OCEAN PINES MD 21811	6899/283	RESIDENTIAL	R-2	9000 SF
108	03-070743	PAREDES JOHN C & PAREDES JOHANNA V	215	WINDJAMMER RD	OCEAN PINES MD 21811	108	N PAULA LYNN DR	SEAFORD DE 19973	7328/468	RESIDENTIAL	R-2	9000 SF
109	03-091937	PAREDES JOHN C & PAREDES JOHANNA V	213	WINDJAMMER RD	OCEAN PINES MD 21811	POB		4603 SALISBURY MD 21803	6513/287	RESIDENTIAL	R-2	9000 SF
110	03-091007	LLOYD LAURA L & CHRISTENSEN JAMES RICHARD	211	WINDJAMMER RD	OCEAN PINES MD 21811	87	OLD GARRETT CT	WHITE HALL MD 21161	7430/435	RESIDENTIAL	R-2	9000 SF
111	03-046370	BARBIERI FAMILY TRUST BARBIERI DANIEL A TRUSTEE ET AL	209	WINDJAMMER RD	OCEAN PINES MD 21811	16932	MACDUFF AVE	OLNEY MD 20832	8774/446	RESIDENTIAL	R-2	9000 SF
112	03-061434	WHALEN JOHN THOMAS	207	WINDJAMMER RD	OCEAN PINES MD 21811	207	WINDJAMMER RD	OCEAN PINES MD 21811	8856/455	RESIDENTIAL	R-2	9000 SF
113	03-077640	PIZLO LARRY	205	WINDJAMMER RD	OCEAN PINES MD 21811	205	WINDJAMMER RD	OCEAN PINES MD 21811	8147/112	RESIDENTIAL	R-2	9000 SF
114	03-086992	WESTLUND ROY A & WESTLUND DALE E	203	WINDJAMMER RD	OCEAN PINES MD 21811	203	WINDJAMMER RD	OCEAN PINES MD 21811	6709/8	RESIDENTIAL	R-2	9000 SF
115	03-050378	ALGEO WILLIAM & BECKETT NATASHA LYNNE	201	WINDJAMMER RD	OCEAN PINES MD 21811	201	WINDJAMMER RD	OCEAN PINES MD 21811	8392/342	RESIDENTIAL	R-2	9000 SF
116	03-050386	COLE WILLIAM JAMES COLE & COLE NICOLE RAE	199	WINDJAMMER RD	OCEAN PINES MD 21811	2058	HARVEST FARM RD	ELDERSBURG MD 21783	8995/59	RESIDENTIAL	R-2	9000 SF
117	03-071111	MITCHEM RONALD & MITCHEM LINDA	6	FALCONBRIDGE RD	OCEAN PINES MD 21811	19	WESTMINSTER BRIDGE WAY	LUTHERSVILLE MD 21093	6471/105	RESIDENTIAL	R-2	10936 SF
118	03-082687	SEIFERT ELDON A JR	4	FALCONBRIDGE RD	OCEAN PINES MD 21811	4	FALCONBRIDGE RD	OCEAN PINES MD 21811	7531/65	RESIDENTIAL	R-2	11500 SF
119	03-054365	WENDELL RYAN S & WENDELL CAITLIN L	2	FALCONBRIDGE RD	OCEAN PINES MD 21811	2	FALCONBRIDGE RD	OCEAN PINES MD 21811	6763/433	RESIDENTIAL	R-2	11213 SF
120	03-056783	SMITH FRANK M JR & DEIDRA J MCLELLAN	1	FALCONBRIDGE RD	OCEAN PINES MD 21811	1	FALCONBRIDGE RD	OCEAN PINES MD 21811	4452/722	RESIDENTIAL	R-2	11213 SF
121	03-061663	WOOD MICHAEL P	3	FALCONBRIDGE RD	OCEAN PINES MD 21811	3	FALCONBRIDGE RD	OCEAN PINES MD 21811	7275/230	RESIDENTIAL	R-2	12735 SF
122	03-056090	FITZSIMMONS JACOB T	189	WINDJAMMER RD	OCEAN PINES MD 21811	189	WINDJAMMER RD	OCEAN PINES MD 21811	8702/499	RESIDENTIAL	R-2	10054 SF
123	03-077756	GROVES JOSEPH A & NANCY F GROVES	187	WINDJAMMER RD	OCEAN PINES MD 21811	11405	BELL RD	WHALEYVILLE MD 21872	5179/566	RESIDENTIAL	R-2	9000 SF
124	03-075656	CASEY RICHARD V & CASEY RANDI LARSEN	185	WINDJAMMER RD	OCEAN PINES MD 21811	1	FINERAN WAY APT 211	SHORT HILLS NJ 07078	3527/170	RESIDENTIAL	R-2	9000 SF
125	03-057275	COLLINS BEXLEY	183	WINDJAMMER RD	OCEAN PINES MD 21811	183	WINDJAMMER RD	OCEAN PINES MD 21811	6272/135	RESIDENTIAL	R-2	9000 SF
126	03-083829	OPWINDJAMMER LLC	181	WINDJAMMER RD	OCEAN PINES MD 21811	83	LOWER N SHORE RD	BRANCHVILLE NJ 07826	7689/146	RESIDENTIAL	R-2	9000 SF
127	03-052028	ZIMMERMAN HENDRY DONALD III & ZUIMMERMAN SHARON PETERS	179	WINDJAMMER RD	OCEAN PINES MD 21811	134	ROCKLAND RD	WESTMINSTER MD 21158	6788/67	RESIDENTIAL	R-2	9000 SF
128	03-069583	CLARK JOSEPH V & CONSUELA I	177	WINDJAMMER RD	OCEAN PINES MD 21811	8806	ROYALD RIDGE LN	LAUREL MD 20708	3313/219	RESIDENTIAL	R-2	9000 SF
129	03-062856	GROVES JOSEPH A & NANCY F GROVES	175	WINDJAMMER RD	OCEAN PINES MD 21811	11405	BELL RD	WHALEYVILLE MD 21872	2955/147	RESIDENTIAL	R-2	9000 SF
130	03-079406	JOHN AND JANICE BELZ LIVING TRUST BELZ JOHN FRANCIS CO TRUSTEE	171	WINDJAMMER RD	OCEAN PINES MD 21811	38401	LORCOM LN	ARLINGTON VA 22207	6692/278	RESIDENTIAL	R-2	9000 SF
131	03-038785	KEVLIN FAMILY REV TR KEVLIN STEVEN G TRUSTEE ET AL	169	WINDJAMMER RD	OCEAN PINES MD 21811	169	WINDJAMMER RD	OCEAN PINES MD 21811	8968/56	RESIDENTIAL	R-2	9000 SF
132	03-044963	WILLIAMS PAUL S & WILLIAMS JESSICA ERIN	167	WINDJAMMER RD	OCEAN PINES MD 21811	167	WINDJAMMER RD	OCEAN PINES MD 21811	6802/424	RESIDENTIAL	R-2	9000 SF
133	03-038556	QUINN BARRY & QUINN GRAINNE	165	WINDJAMMER RD	OCEAN PINES MD 21811	19	TWIN PINE WAY	GLEN MILLS PA 19342	6518/128	RESIDENTIAL	R-2	9000 SF
134	03-081389	LILL GEORGE PATRICK & LILL KAREN M	163	WINDJAMMER RD	OCEAN PINES MD 21811	4612	PENN HILL RD	SCHNECKSVILLE PA 18078	5679/381	RESIDENTIAL	R-2	9000 SF
135	03-081397	HARRIS JAMES G & HARRIS MARGARET ANN ETAL	161	WINDJAMMER RD	OCEAN PINES MD 21811	161	WINDJAMMER RD	OCEAN PINES MD 21811	8542/468	RESIDENTIAL	R-2	8963 SF
136	03-076105	KOCON MICHELLE WEST & KOCON JEREMIAH G	4	DRAWBIRDGE RD	OCEAN PINES MD 21811	4	DRAWBIRDGE RD	OCEAN PINES MD 21811	6026/1	RESIDENTIAL	R-2	10500 SF
137	03-059324	PROCOPIO JOSEPH J III & JEAN LOUISE MCCORMICK	6	DRAWBIRDGE RD	OCEAN PINES MD 21811	6	DRAWBIRDGE RD	OCEAN PINES MD 21811	5170/435	RESIDENTIAL	R-2	10500 SF
138	03-084779	HILL TIMOTHY B & HILL KATHRYN A	8	DRAWBIRDGE RD	OCEAN PINES MD 21811	8	DRAWBIRDGE RD	OCEAN PINES MD 21811	6191/436	RESIDENTIAL	R-2	10500 SF
139	03-045390	CHRISTIE ROBERT H JR & HELEN J	5	DRAWBIRDGE RD	OCEAN PINES MD 21811	5	DRAWBIRDGE RD	OCEAN PINES MD 21811	447/530	RESIDENTIAL	R-2	10500 SF
140	03-055884	CHOATE CHARLES F & JACQUELINE H CHOATE	3	DRAWBIRDGE RD	OCEAN PINES MD 21811	3	DRAWBIRDGE RD	OCEAN PINES MD 21811	4277/474	RESIDENTIAL	R-2	10778 SF
141	03-085201	THORN AMY L	149	WINDJAMMER RD	OCEAN PINES MD 21811	3102	WINDON AVE	LANCASTER PA 17603	8910/179	RESIDENTIAL	R-2	9595 SF
142	03-067858	LITTMAN KIMBERLY & LITTMAN PETER E	147	WINDJAMMER RD	OCEAN PINES MD 21811	147	WINDJAMMER RD	OCEAN PINES MD 21811	6605/463	RESIDENTIAL	R-2	9000 SF
143	03-0678477	DYKES JUSTIN TYLER SR & DYKES STACIE E	145	WINDJAMMER RD	OCEAN PINES MD 21811	15	W AVON RD	BROOKHAVEN PA 19015	7970/210	RESIDENTIAL	R-2	9000 SF
144	03-084744	BOYLE TIMOTHY M & BOYLE LAURENE M	143	WINDJAMMER RD	OCEAN PINES MD 21811	9361	SPRING WATER PATH	JESSUP MD 20794	4938/183	RESIDENTIAL	R-2	9000 SF
145	03-039366	BLANCHETTE LEONARD JJR	141	WINDJAMMER RD	OCEAN PINES MD 21811	141	WINDJAMMER RD	OCEAN PINES MD 21811	8753/49	RESIDENTIAL	R-2	9000 SF
146	03-057615	J AND JE LEASING LLC	139	WINDJAMMER RD	OCEAN PINES MD 21811	12917	RIGGIN RIDGE RD	OCEAN CITY MD 21842	8762/78	RESIDENTIAL	R-2	9000 SF
147	03-084221	NICHOLS CAROL LYNN & BROWN JAMES H	137	WINDJAMMER RD	OCEAN PINES MD 21811	7721	TALL PINES WAY	CLARKSVILLE MD 21029	8222/482	RESIDENTIAL	R-2	9000 SF
148	03-050491	KAPLAN DAVID B & KAPLAN SANDRA S	135	WINDJAMMER RD	OCEAN PINES MD 21811	530	RIVERSIDE DR STE 603	SALISBURY MD 21801	8798/480	RESIDENTIAL	R-2	9000 SF
149	03-057550	REHANEK JOSEPH ANDREW	133	WINDJAMMER RD	OCEAN PINES MD 21811	133	WINDJAMMER RD	OCEAN PINES MD 21811	8395/157	RESIDENTIAL	R-2	9000 SF
150	03-084345	JONES KATHLEEN A	131	WINDJAMMER RD	OCEAN PINES MD 21811	131	WINDJAMMER RD	OCEAN PINES MD 21811	7514/81	RESIDENTIAL	R-2	9000 SF
151	03-074234	CISNEROS CHRISTINA M	129	WINDJAMMER RD	OCEAN PINES MD 21811	129	WINDJAMMER RD	OCEAN PINES MD 21811	7011/462	RESIDENTIAL	R-2	9000 SF
152	03-046516	JONES JESSE JR & DONNA S JONES & BEARYMAN ELZA JAMES & EBONY BEARYM	125	WINDJAMMER RD	OCEAN PINES MD 21811	7816	ZEELAND PL	GAINESVILLE VA 20155	7028/337	RESIDENTIAL	R-2	9000 SF
153	03-054810	DAN CLAYLAND PROPERTIES LLC	123	WINDJAMMER RD	OCEAN PINES MD 21811	12925	HORN ISLNAD DR	OCEAN CITY MD 21842	8889/351</			



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159	03-078620	FALOTICO MICHAEL CF & FALOTICO LAUREN M	111	WINDJAMMER RD	OCEAN PINES MD 21811	111	WINDJAMMER RD	OCEAN PINES MD 21811	7432/91	RESIDENTIAL	R-2	9000 SF
160	03-065839	LARSON MARTIN E & LARSON EILEEN R	109	WINDJAMMER RD	OCEAN PINES MD 21811	109	WINDJAMMER RD	OCEAN PINES MD 21811	4767/456	RESIDENTIAL	R-2	9000 SF
161	03-047741	SMITH MARK E & SMITH KATHERINE L	107	WINDJAMMER RD	OCEAN PINES MD 21811	107	WINDJAMMER RD	OCEAN PINES MD 21811	8656/262	RESIDENTIAL	R-2	9000 SF
162	03-061191	RUSHING ELAINE M & DONALD P RUSHING	105	WINDJAMMER RD	OCEAN PINES MD 21811	15717	ALLANWOOD DR	SILVER SPRING MD 20906	3920/62	RESIDENTIAL	R-2	9000 SF
163	03-042251	BURGESS REBECCA L	103	WINDJAMMER RD	OCEAN PINES MD 21811	103	WINDJAMMER RD	OCEAN PINES MD 21811	8768/119	RESIDENTIAL	R-2	9000 SF
164	03-037649	REEDER MICHAEL P & REEDER DEBORAH J FOR LIFE	101	WINDJAMMER RD	OCEAN PINES MD 21811	314	HUNTERS RUN RD	BEL AIR MD 21015	8063/390	RESIDENTIAL	R-2	9000 SF
165	03-048608	GIBSON CAROL MARIE	99	WINDJAMMER RD	OCEAN PINES MD 21811	99	WINDJAMMER RD	OCEAN PINES MD 21811	8088/277	RESIDENTIAL	R-2	9000 SF
166	03-087514	WILLIAMS DAVID F & JOANNE W	97	WINDJAMMER RD	OCEAN PINES MD 21811	97	WINDJAMMER RD	OCEAN PINES MD 21811	1592/122	RESIDENTIAL	R-2	9000 SF
167	03-042472	CLAR, MICHAEL L & CLAR PATRICIA M	95	WINDJAMMER RD	OCEAN PINES MD 21811	3222	OLD FENCE RD	ELICOTT CITY MD 21042	6274/329	RESIDENTIAL	R-2	9000 SF
168	03-081370	CURAL DENNIS S & CURAL ELLEN	93	WINDJAMMER RD	OCEAN PINES MD 21811	93	WINDJAMMER RD	OCEAN PINES MD 21811	4682/195	RESIDENTIAL	R-2	9000 SF
169	03-068145	MATHEWS REBECCA S	91	WINDJAMMER RD	OCEAN PINES MD 21811	91	WINDJAMMER RD	OCEAN PINES MD 21811	6798/79	RESIDENTIAL	R-2	9000 SF
170	03-049507	RUSMAN HENRY J & PATRICIA V	89	WINDJAMMER RD	OCEAN PINES MD 21811	89	WINDJAMMER RD	OCEAN PINES MD 21811	2275/19	RESIDENTIAL	R-2	9000 SF
171	03-068250	HOOD THOMAS S & HOOD DEBORAH L	87	WINDJAMMER RD	OCEAN PINES MD 21811	4816	VICKY RD	BALTIMORE MD 21236	8174/496	RESIDENTIAL	R-2	9000 SF
172	03-059561	CREEL JOHN JR & CREEL CAROLYN	85	WINDJAMMER RD	OCEAN PINES MD 21811	3208	KILKENNY ST	SILVER SPRING MD 20904	6871/367	RESIDENTIAL	R-2	9000 SF
173	03-048152	SHAMET STEFANIA DALIANI	81	WINDJAMMER RD	OCEAN PINES MD 21811	705	OAK DR	DOVER DE 19904	4358/150	RESIDENTIAL	R-2	9000 SF
174	03-048160	DALIANI JOHN VINCENT	79	WINDJAMMER RD	OCEAN PINES MD 21811	705	OAK DR	DOVER DE 19904	4358/1556	RESIDENTIAL	R-2	9000 SF
175	03-072657	SAWCHAK MICHAEL CHARLES & SAWCHAK CATHERINE MARY	77	WINDJAMMER RD	OCEAN PINES MD 21811	77	WINDJAMMER RD	OCEAN PINES MD 21811	8459/252	RESIDENTIAL	R-2	18000 SF
176	03-055922	TALBERT CARRIE L	73	WINDJAMMER RD	OCEAN PINES MD 21811	73	WINDJAMMER RD	OCEAN PINES MD 21811	7087/409	RESIDENTIAL	R-2	9000 SF
177	03-042901	LAW JOHN H & LAW ELAINE	71	WINDJAMMER RD	OCEAN PINES MD 21811	3000	E SUNRISE BLVD 17A	FORT LAUDERDALE FL 33304	8365/30	RESIDENTIAL	R-2	9000 SF
178	03-070573	LOONEY JOHN F & LOONEY NOELLE ME	69	WINDJAMMER RD	OCEAN PINES MD 21811	9328	RAINTREE RD	BURKE VA 22015	8933/455	RESIDENTIAL	R-2	9000 SF
179	03-069672	HOLTKAMP ROGER H & NECESSARY BONITA L	67	WINDJAMMER RD	OCEAN PINES MD 21811	67	WINDJAMMER RD	OCEAN PINES MD 21811	8657/207	RESIDENTIAL	R-2	9000 SF
180	03-072398	65 WINDJHAMMER RD GENERAL PARTNERSHIP	65	WINDJAMMER RD	OCEAN PINES MD 21811	555	ROCK SPRING RD	BEL AIR MD 21014	6480/328	RESIDENTIAL	R-2	9448 SF
181	03-056503	BLACKFORD ROBERT & DULSKI SHELLY MARIE	63	WINDJAMMER RD	OCEAN PINES MD 21811	63	WINDJAMMER RD	OCEAN PINES MD 21811	6344/255	RESIDENTIAL	R-2	10113 SF
182	03-045633	TALBOT RICHARD L & TALBOT JANICE A	61	WINDJAMMER RD	OCEAN PINES MD 21811	5	W CONSTITUTION DR	BORDENTOWN NJ 08595	7456/99	RESIDENTIAL	R-2	10113 SF
183	03-046761	SMITH STEVEN P & SMITH ILENE V	59	WINDJAMMER RD	OCEAN PINES MD 21811	59	WINDJAMMER RD	OCEAN PINES MD 21811	5705/428	RESIDENTIAL	R-2	10113 SF
184	03-065642	VAN BRUGGEN ROBIN H & MAUREEN A	57	WINDJAMMER RD	OCEAN PINES MD 21811	57	WINDJAMMER RD	OCEAN PINES MD 21811	1640/106	RESIDENTIAL	R-2	10113 SF
185	03-079325	NAIRN GEORGE E JR & NAIRN REGINA C	9	DRAWBRIDGE RD	OCEAN PINES MD 21811	8750	LOCUST GROVE DR	PORT TOBACCO MD 20677	8789/384	RESIDENTIAL	R-2	10500 SF
186	03-038319	FLEISCHMANN ERICH H & RUFF MAUREEN	11	DRAWBRIDGE RD	OCEAN PINES MD 21811	38	PARK ST UNIT 5G	FLORHAM NJ 07932	8733/281	RESIDENTIAL	R-2	10500 SF
187	03-045935	FLATTER FAMILY REVOCABLE TRUST	13	DRAWBRIDGE RD	OCEAN PINES MD 21811	3930	CHATHAM RD	ELICOTT CITY MD 21042	5121/187	RESIDENTIAL	R-2	10500 SF
188	03-093158	DALENBERG DAVID & ROMAGNOLI MARY D	17	DRAWBRIDGE RD	OCEAN PINES MD 21811	10729	HUNTERS PL	VIENNA VA 22181	8842/460	RESIDENTIAL	R-2	10500 SF
189	03-085007	STARKS LESLIE E & STARKS MICHELE B	19	DRAWBRIDGE RD	OCEAN PINES MD 21811	19	DRAWBRIDGE RD	OCEAN PINES MD 21811	7344/321	RESIDENTIAL	R-2	10500 SF
190	03-056619	GRAUSE ROBERT & GRAUSO LEAH	21	DRAWBRIDGE RD	OCEAN PINES MD 21811	1201	WOODMONT CT	MT ARLINGTON NJ 07856	8949/156	RESIDENTIAL	R-2	10500 SF
191	03-066568	KOROKNAY KENNETH C & KOROKNAY VIVIAN J	23	DRAWBRIDGE RD	OCEAN PINES MD 21811	23	DRAWBRIDGE RD	OCEAN PINES MD 21811	4432.462	RESIDENTIAL	R-2	10500 SF
192	03-057011	MEALIA KEVIN T & MORRISON CAROL	25	DRAWBRIDGE RD	OCEAN PINES MD 21811	25	DRAWBRIDGE RD	OCEAN PINES MD 21811	4859/455	RESIDENTIAL	R-2	11277 SF
193	03-092682	PEARSON JOHN S & JANET K PEARSON	27	DRAWBRIDGE RD	OCEAN PINES MD 21811	27	DRAWBRIDGE RD	OCEAN PINES MD 21811	5052/219	RESIDENTIAL	R-2	12058 SF
194	03-051803	WELCH EDWARD A & PATRICIA WELCH	29	DRAWBRIDGE RD	OCEAN PINES MD 21811	29	DRAWBRIDGE RD	OCEAN PINES MD 21811	3676/503	RESIDENTIAL	R-2	12058 SF
195	03-71693	KING PELELOPE ANN PATTON	31	DRAWBRIDGE RD	OCEAN PINES MD 21811	31	DRAWBRIDGE RD	OCEAN PINES MD 21811	4429/249	RESIDENTIAL	R-2	11970 SF
196	03-045285	TIMMY CHIU & SUE S CHIU REV TRUST	33	DRAWBRIDGE RD	OCEAN PINES MD 21811	5	CHOPIN LN	LAWRENCEVILLE NJ 08648	5471/429	RESIDENTIAL	R-2	10500 SF
197	03-057712	WINEKE PAUL J JR & WINEKE SUSAN D	35	DRAWBRIDGE RD	OCEAN PINES MD 21811	35	DRAWBRIDGE RD	OCEAN PINES MD 21811	6260/282	RESIDENTIAL	R-2	10500 SF
198	03-090523	STINE CRAIG & STINE TRACY DELUCA FOR LIVE	37	DRAWBRIDGE RD	OCEAN PINES MD 21811	840	TREMONT DR	DOWNTON PA 19335	8936/9	RESIDENTIAL	R-2	10500 SF
199	03-087026	DIORIO VINCENT J & DIORIO LISA E	39	DRAWBRIDGE RD	OCEAN PINES MD 21811	39	DRAWBRIDGE RD	OCEAN PINES MD 21811	8344/222	RESIDENTIAL	R-2	10500 SF
200	03-042847	MCMICHAEL CHARLES H & MCMICHAEL PATRICIA FOR LIVE	41	DRAWBRIDGE RD	OCEAN PINES MD 21811	41	DRAWBRIDGE RD	OCEAN PINES MD 21811	8761/425	RESIDENTIAL	R-2	10500 SF
201	03-070565	FERRER RONNIE W SR & FERRER SANDRA ETAL	43	DRAWBRIDGE RD	OCEAN PINES MD 21811	808	NORTH SHORE DR	GLEN BURNIE MD 21060	8115/215	RESIDENTIAL	R-2	10500 SF
202	03-073165	ADELHARDT GARY P & LAURIE J ADELHARDT	45	DRAWBRIDGE RD	OCEAN PINES MD 21811	45	DRAWBRIDGE RD	OCEAN PINES MD 21811	3436/510	RESIDENTIAL	R-2	10500 SF
203	03-068382	HHI PROPERTIES LLC	47	DRAWBRIDGE RD	OCEAN PINES MD 21811	2189	AMOSS MILL RD	PYLESVILLE MD 21132	8920/321	RESIDENTIAL	R-2	10500 SF
204	03-091643	HOKANSON ROLFE & HOKANSON TERRY	49	DRAWBRIDGE RD	OCEAN PINES MD 21811	49	DRAWBRIDGE RD	OCEAN PINES MD 21811	6937/291	RESIDENTIAL	R-2	10500 SF
205	03-067351	FUSCO MARIA	51	DRAWBRIDGE RD	OCEAN PINES MD 21811	10723	ROCK RUN DR	POTOMAC MD 20854	6413/393	RESIDENTIAL	R-2	10500 SF
206	03-046265	HBXECOMINOS LIVING TRUST THE XECOMINOS HAROLD CO TRUSTEE ETL	53	DRAWBRIDGE RD	OCEAN PINES MD 21811	3426	N TRAIL WAY	PARKVILLE MD 21234	8925/33	RESIDENTIAL	R-2	10500 SF
207	03-057100</td											



**OCEAN PINES
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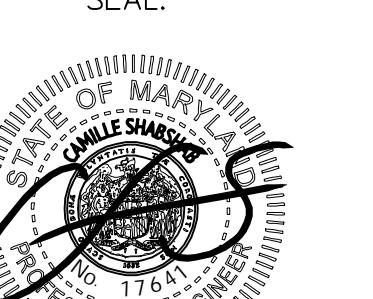
212	03-092380	JOAN LEE WINTERS REVOCABLE TRUST WINTERS JOAN LEE TRUSTEE	62	DRAWBRIDGE RD	OCEAN PINES MD 21811	7942	FERNDALE BEND DR	LAKEWORTH FL 33467	8791/404	RESIDENTIAL	R-2	11213 SF
213	03-092127	DREDGE TALBOT W JR & DREDGE PENNY	60	DRAWBRIDGE RD	OCEAN PINES MD 21811	60	DRAWBRIDGE RD	OCEAN PINES MD 21811	4211/459	RESIDENTIAL	R-2	11213 SF
214	03-038947	BAKER SANDRA L	58	DRAWBRIDGE RD	OCEAN PINES MD 21811	58	DRAWBRIDGE RD	OCEAN PINES MD 21811	6734/465	RESIDENTIAL	R-2	11213 SF
215	03-059723	HIRSHOUT BEATRICE & SCHOENBERG BARBARA H	3	BROOKSIDE RD	OCEAN PINES MD 21811	3411	SILVERSIDER RD	WILMINGTON DE 19810	6000/458	RESIDENTIAL	R-2	11135 SF
216	03-058603	SCHNEIDER LINDA D	5	BROOKSIDE RD	OCEAN PINES MD 21811	5	BROOKSIDE RD	OCEAN PINES MD 21811	6718/214	RESIDENTIAL	R-2	10500 SF
217	03-070441	REESE DENNIS & REESE JEAN A	7	BROOKSIDE RD	OCEAN PINES MD 21811	7	BROOKSIDE RD	OCEAN PINES MD 21811	6978/108	RESIDENTIAL	R-2	10500 sf
218	03-078957	MAHLSTEDT MATTHEW M & MAHLSTEDT KENNETH M	9	BROOKSIDE RD	OCEAN PINES MD 21811	9	BROOKSIDE RD	OCEAN PINES MD 21811	6393/118	RESIDENTIAL	R-2	10500 SF
219	03-078450	GIBSON MICHAEL R & GIBSON RENNIE L	11	BROOKSIDE RD	OCEAN PINES MD 21811	3524	N 4TH ST	HARRISBURG PA 17110	6857/47	RESIDENTIAL	R-2	10500 SF
220	03-038254	QUINN DENNIS J & QUINN NANCY R	13	BROOKSIDE RD	OCEAN PINES MD 21811	13	BROOKSIDE RD	OCEAN PINES MD 21811	7716/224	RESIDENTIAL	R-2	10500 SF
221	03-049795	GERWER RUSSELL & GERWER LYNN	15	BROOKSIDE RD	OCEAN PINES MD 21811	181	MORRISON AVE	STATEN ISLAND NY 10310	5732/4	RESIDENTIAL	R-2	10500 SF
222	03-037673	PRINCE BRIAN E	17	BROOKSIDE RD	OCEAN PINES MD 21811	720	CHURCH ST	BOHEMIN NY 11716	5666/132	RESIDENTIAL	R-2	10500 SF
223	03-091864	KANZ ANTHONY C & PATRICIA N	19	BROOKSIDE RD	OCEAN PINES MD 21811	25965	RACEL HILL DR	SOUTH RIDING VA 20152	791/80	RESIDENTIAL	R-2	10500 SF
224	03-054918	CULBERTSON RICHARD C & CULBERTSON TERE JANE	21	BROOKSIDE RD	OCEAN PINES MD 21811	9929	JACOBEN PL	NEW MARKET MD 21774	9024/144	RESIDENTIAL	R-2	10500 SF
225	03-064484	RICH SUSAN L	23	BROOKSIDE RD	OCEAN PINES MD 21811	457	SAW MILL RIVER RD	MILLWOOD NY 10546	9025/372	RESIDENTIAL	R-2	10500 SF
226	03-078515	FERRUSI RALPH JOSEPH II & FERRUSI KATHRYN ANN	25	BROOKSIDE RD	OCEAN PINES MD 21811	25	BROOKSIDE RD	OCEAN PINES MD 21811	7532/370	RESIDENTIAL	R-2	10500 SF
227	03-048772	MCQUAY CARL R	27	BROOKSIDE RD	OCEAN PINES MD 21811	1722	TROTTING CT	JARRETTSVILLE MD 21084	7070/284	RESIDENTIAL	R-2	10500 SF
228	03-080749	HOFF DAVID I JR & HOFF JESSICA M	29	BROOKSIDE RD	OCEAN PINES MD 21811	29	BROOKSIDE RD	OCEAN PINES MD 21811	7209/321	RESIDENTIAL	R-2	10500 SF
229	03-090116	VARGAS FELIX LUIS JR	31	BROOKSIDE RD	OCEAN PINES MD 21811	31	BROOKSIDE RD	OCEAN PINES MD 21811	7866/309	RESIDENTIAL	R-2	10500 SF
230	03-043800	GORDON SUZANNE M & GORDON SCOTT R	33	BROOKSIDE RD	OCEAN PINES MD 21811	33	BROOKSIDE RD	OCEAN PINES MD 21811	7764/130	RESIDENTIAL	R-2	10500 SF
231	03-074757	JALAI PARIVASH & GHARADACHI NOSRAT ETAL	35	BROOKSIDE RD	OCEAN PINES MD 21811	8504	QUAINT LN	VIENNA VA 22182	8886/324	RESIDENTIAL	R-2	10386 SF
232	03-077411	CJL PROPERTIES LLC	37	BROOKSIDE RD	OCEAN PINES MD 21811	4301	PYLES FORD RD	WILMINGTON DE 19807	8656/15	RESIDENTIAL	R-2	14319 SF
233	03-088111	CRESWELL GREGORY & CRESWELL MELISSA	39	BROOKSIDE RD	OCEAN PINES MD 21811	39	BROOKSIDE RD	OCEAN PINES MD 21811	7425/364	RESIDENTIAL	R-2	20985 SF
234	03-079899	SANTACROCE GREGORY J & SANTACROCE SHARON L	23	WHARF CT	OCEAN PINES MD 21811	23	WHARF CT	OCEAN PINES MD 21811	5182/91	RESIDENTIAL	R-2	18208 SF
235	03-043266	CALHOUN MARY KATHHEEN & BANNON JOHN E JR	25	WHARF CT	OCEAN PINES MD 21811	25	WHARF CT	OCEAN PINES MD 21811	7811/1	RESIDENTIAL	R-2	17126 SF
236	03-073270	MURRAY JOHN L & MURRAY RAE MARGARET	26	WHARF CT	OCEAN PINES MD 21811	16	DELREY AVE	CATONSVILLE MD 21228	739/235	RESIDENTIAL	R-2	12935 SF
237	03-065545	DAVIS REED JAMES & DAVIS TERESA JEAN	24	WHARF CT	OCEAN PINES MD 21811	393	VANADIUM RD STE 301	PITTSBURGH PA 15243	5398/423	RESIDENTIAL	R-2	11527 SF
238	03-084035	KATHRYN A ELLIS TRUST THE ELLIS KATHRYN A TRUSTEE	22	WHARF CT	OCEAN PINES MD 21811	3910	MEADOWHILL RD	UPPER MARLBORO MD 20774	7334/48	RESIDENTIAL	R-2	11524 SF
239	03-058115	VEZZA CATHERINE MARY & VEZZA ELENA THEREST	3	PELICAN CT	OCEAN PINES MD 21811	3	PELICAN CT	OCEAN PINES MD 21811	8131/229	RESIDENTIAL	R-2	12562 SF
240	03-093115	BOYD STEPHEN G & BOYD JANET	5	PELICAN CT	OCEAN PINES MD 21811	5	PELICAN CT	OCEAN PINES MD 21811	7066/135	RESIDENTIAL	R-2	11500 SF
241	03-076989	J1 CORP INC C/O HUB ENTERPRISES	7	PELICAN CT	OCEAN PINES MD 21811	POB		7 HEBRON MD 21830	2158/119	RESIDENTIAL	R-2	11213 SF
242	03-066053	CLIFFORD MATTHEW	8	PELICAN CT	OCEAN PINES MD 21811	1198	PALMWOOD CT	ARNOLD MD 21012	8463/31	RESIDENTIAL	R-2	11213 SF
243	03-072428	RILEY RICHARD D & HOWELLS RILEY LINDA A	6	PELICAN CT	OCEAN PINES MD 21811	6	PELICAN CT	OCEAN PINES MD 21811	4491/77	RESIDENTIAL	R-2	11500 SF
244	03-060144	MADDOX MICHAEL THOMAS & MADDOX AMY LAURA	5	DECATUR CT	OCEAN PINES MD 21811	10211	BRUNSWICK AVE	SILVER SPRING MD 20902	7904/95	RESIDENTIAL	R-2	19050 SF
245	03-088855	JANICE E KOSKO LIVING TRUST THE KOSKO JANICE E TRUSTEE ET AL	6	DECATUR CT	OCEAN PINES MD 21811	817	MERRY GO ROUND WAY	MOUNT AIRY MD 21771	8542/276	RESIDENTIAL	R-2	12152 SF
246	03-047962	TOMARELLI JOSEPH A & TOMARELLI MARGARET	4	DECATUR CT	OCEAN PINES MD 21811	4	DECATUR CT	OCEAN PINES MD 21811	7219/328	RESIDENTIAL	R-2	11714 SF
247	03-044947	MATTER ROBERT W & MATTER SHERI A	81	BATTERSEA RD	OCEAN PINES MD 21811	16	DEER TRAIL CIR	LIVERPOOL PA 21811	6683/105	RESIDENTIAL	R-2	12820 SF
248	03-052079	ROSAS DAVID M & ROSAS JEANNE M	83	BATTERSEA RD	OCEAN PINES MD 21811	708	PHEASANT RD	FOREST HILL MD 21050	7323/146	RESIDENTIAL	R-2	11213 SF
249	03-052060	BIRCH KEVIN W & KIMBERLY M MCCUE	84	BATTERSEA RD	OCEAN PINES MD 21811	84	BATTERSEA RD	OCEAN PINES MD 21811	4598/125	RESIDENTIAL	R-2	11213 SF
250	03-049434	HANNA DAVID ALAN & HANNA LAURA LEE	82	BATTERSEA RD	OCEAN PINES MD 21811	82	BATTERSEA RD	OCEAN PINES MD 21811	7588/397	RESIDENTIAL	R-2	11500 SF
251	03-075958	TOMS DONALD C JR & TOMS DOROTHY A	80	BATTERSEA RD	OCEAN PINES MD 21811	80	BATTERSEA RD	OCEAN PINES MD 21811	6456/104	RESIDENTIAL	R-2	10007 SF
252	03-080862	HARRISON MICHAEL J & HUGHES KELLY ANN	78	BATTERSEA RD	OCEAN PINES MD 21811	78	BATTERSEA RD	OCEAN PINES MD 21811	6617/9	RESIDENTIAL	R-2	11417 SF
253	03-064972	LEKITES BRENDA	76	BATTERSEA RD	OCEAN PINES MD 21811	76	BATTERSEA RD	OCEAN PINES MD 21811	5416/392	RESIDENTIAL	R-2	12783 SF
254	03-079716	BLANCH BURTON LORD & BLANCH JANIE MARIE	74	BATTERSEA RD	OCEAN PINES MD 21811	74	BATTERSEA RD	OCEAN PINES MD 21811	8683/102	RESIDENTIAL	R-2	11582 SF
255	03-043231	BREEDEN MIRIAM A FOR LIFE	72	BATTERSEA RD	OCEAN PINES MD 21811	72	BATTERSEA RD	OCEAN PINES MD 21811	8654/95	RESIDENTIAL	R-2	10500 SF
256	03-073408	WILSON MARGARETH & WILSON BYRON LEWIS	70	BATTERSEA RD	OCEAN PINES MD 21811	70	BATTERSEA RD	OCEAN PINES MD 21811	8933/312	RESIDENTIAL	R-2	10500 SF
257	03-058425	EILEEN A MCCLELLAND IRREVOCABLE TRUST	68	BATTERSEA RD	OCEAN PINES MD 21811	68	BATTERSEA RD	OCEAN PINES MD 21811	7303/207	RESIDENTIAL	R-2	10500 SF
258	03-082652	LAQUE JOSEPH E & LAQUE SHELBY K	66	BATTERSEA RD	OCEAN PINES MD 21811	66	BATTERSEA RD	OCEAN PINES MD 21811	8383/191	RESIDENTIAL	R-2	11043 SF
259	03-077853	MCCORMICK MARY P	64	BATTERSEA RD	OCEAN PINES MD 21811	64	BATTERSEA RD	OCEAN PINES MD 21811	3186/173	RESIDENTIAL	R-2	11055 SF
260	03-061728	SIPES JOHN L & SIPES JOAN ME	62	BATTERSEA RD	OCEAN PINES MD 21811	62	BATTERSEA RD					



Milestone
Towers

**OCEAN PINES
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265	03-090558	SHELDERFER ROBERT W JR & SHELDERFER DIANE L	52	BATTERSEA RD	OCEAN PINES MD 21811	2	PEACEADEL CT	OXFORD PA 19363	7101/382	RESIDENTIAL	R-2	10500 SF
266	03-048942	ROSEMARY DELAPINA IRREV TRUST THE KRETKOWSKI LAURA ETAL TRUSTEES	50	BATTERSEA RD	OCEAN PINES MD 21811	106	ANASTASIA LAKES DR	ST AUGUSTINE FL 32080	8289/293	RESIDENTIAL	R-2	10500 SF
267	03-054357	PILARSKI KEVIN M & PILARSKI TINA L	48	BATTERSEA RD	OCEAN PINES MD 21811	438	ROBERTS WAY	ABERDEEN MD 21001	7115/182	RESIDENTIAL	R-2	10500 SF
268	03-069656	SCHNADER JEFFREY J & MARY LYBNN H	46	BATTERSEA RD	OCEAN PINES MD 21811	46	BATTERSEA RD	OCEAN PINES MD 21811	2349/562	RESIDENTIAL	R-2	10500 SF
269	03-072304	LEE TANYA M	44	BATTERSEA RD	OCEAN PINES MD 21811	426	AMELANCHIER CT	BEL AIR MD 21015	8162/212	RESIDENTIAL	R-2	10500 SFG
270	03-063844	BROOKS ROBERT G JR & BROOKS SUSAN S	42	BATTERSEA RD	OCEAN PINES MD 21811	2763	DRAGON FLY WAY	ODENTON MD 21113	5646/287	RESIDENTIAL	R-2	11429 SF
271	03-081133	SADLER C DON & SANDRA LEIGHT	40	BATTERSEA RD	OCEAN PINES MD 21811	404	BEACH RD	ARNOLD MD 21012	565/323	RESIDENTIAL	R-2	11148 SF
272	03-052621	BECK ROBERT & BECK KELLI	38	BATTERSEA RD	OCEAN PINES MD 21811	38	BATTERSEA RD	OCEAN PINES MD 21811	3780/441	RESIDENTIAL	R-2	10896 SF
273	03-042928	RAYMOND JOSEPH S & RAYMOND JUDITH ANN	36	BATTERSEA RD	OCEAN PINES MD 21811	36	BATTERSEA RD	OCEAN PINES MD 21811	4159/1	RESIDENTIAL	R-2	10473 SF
274	03-074773	HICKLE EDWIN E FOR LIVER	34	BATTERSEA RD	OCEAN PINES MD 21811	34	BATTERSEA RD	OCEAN PINES MD 21811	8792/32	RESIDENTIAL	R-2	10896 SF
275	03-070654	WILD LINDSAY & KOLANKOWSKI MICHAEL	32	BATTERSEA RD	OCEAN PINES MD 21811	32	BATTERSEA RD	OCEAN PINES MD 21811	7108/151	RESIDENTIAL	R-2	10896 SF
276	03-078833	FIGARD MATTHEW W & FIGARD LINDA S	30	BATTERSEA RD	OCEAN PINES MD 21811	30	BATTERSEA RD	OCEAN PINES MD 21811	7419/3	RESIDENTIAL	R-2	10473 SF
277	03-072894	MACINTOSH CHARLES S & MACINTOSH CYNTHIA M	28	BATTERSEA RD	OCEAN PINES MD 21811	28	BATTERSEA RD	OCEAN PINES MD 21811	5709/441	RESIDENTIAL	R-2	10896 SF
278	03-069524	MCCURRY JOHN J & MCCURRY LINDA L	26	BATTERSEA RD	OCEAN PINES MD 21811	26	BATTERSEA RD	OCEAN PINES MD 21811	4501/527	RESIDENTIAL	R-2	10500 SF
279	03-069532	ZYNN ROBERT M & ZYNN ROBYNE L	24	BATTERSEA RD	OCEAN PINES MD 21811	24	BATTERSEA RD	OCEAN PINES MD 21811	6847/51	RESIDENTIAL	R-2	10500 SF
280	03-069079	COUNTY COMMISSIONER OF WORCESTER COUNTY MD	0	BATTERSEA RD	OCEAN PINES MD 21811	1	WEST MARKET ST	SNOW HILL MD 21863	1993/576	RESIDENTIAL	R-2	13541 SF
281	03-061671	DEOLIVEIRA JANET	20	BATTERSEA RD	OCEAN PINES MD 21811	8518	CEDAR CHASE DR	CLINTON MD 20735	6652/449	RESIDENTIAL	R-2	10592 SF
282	03-040534	BERKOV ELLEN E & AMY C BERKOV	18	BATTERSEA RD	OCEAN PINES MD 21811	112	HILLTOP DR	SEVERNA PARK MD 21146	5492/495	RESIDENTIAL	R-2	10592 SF
283	03-043495	STUIBER DARIN W & STUIBER TERRIL	16	BATTERSEA RD	OCEAN PINES MD 21811	16	BATTERSEA RD	OCEAN PINES MD 21811	7009/144	RESIDENTIAL	R-2	10942 SF
284	03-060691	BULL DONALD L JR & BULL CHRISTIANNA H	14	BATTERSEA RD	OCEAN PINES MD 21811	14	BATTERSEA RD	OCEAN PINES MD 21811	6471/24	RESIDENTIAL	R-2	10500 SF
285	03-047571	FREESE MICHELLE K	12	BATTERSEA RD	OCEAN PINES MD 21811	1012	MERRIDALE BLVD	MT AIRY MD 21771	6298/151	RESIDENTIAL	R-2	10500 SF
286	03-090698	WALKER MARK J & DENISE M WALKER	10	BATTERSEA RD	OCEAN PINES MD 21811	716	13TH AVE	PROSPECT PARK PA 19076	5429/194	RESIDENTIAL	R-2	10500 SF
287	03-041409	HATFIELD JOHN C & HATFIELD ELIZABETH	8	BATTERSEA RD	OCEAN PINES MD 21811	1041	LEXINGTON DR	EXPORT PA 15632	7045/304	RESIDENTIAL	R-2	10500 SF
288	03-094960	CHRZANOWSKI MICHAEL PAUL	6	BATTERSEA RD	OCEAN PINES MD 21811	6	BATTERSEA RD	OCEAN PINES MD 21811	8319/298	RESIDENTIAL	R-2	10481 SF
289	03-077500	VANVICK THEODORE & CHARLENE VANVICK	4	BATTERSEA RD	OCEAN PINES MD 21811	4	BATTERSEA RD	OCEAN PINES MD 21811	4133/41	RESIDENTIAL	R-2	10111 SF
290	03-077446	NOSS KENNETH R	2	BATTERSEA RD	OCEAN PINES MD 21811	1168	LAKE AVE APT 313	METAIRIE LA 70005	1412/25	RESIDENTIAL	R-2	10645 SF



Professional Certification. I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17641, expiration date: 12/27/2025

SUBMITTALS

DATE	DESCRIPTION	REV.
11-11-2025	ZONING REVIEW	A

PROJECT NO: 1050.472
DESIGNER: R.S.
ENGINEER: C.S.
THESE DRAWINGS ARE FORMATTED
TO BE FULL-SIZE
0 1/2 1
GRAPHIC SCALE IN INCHES
SHEET TITLE:

**PROPERTY
ADJOINERS**

SHEET NUMBER:

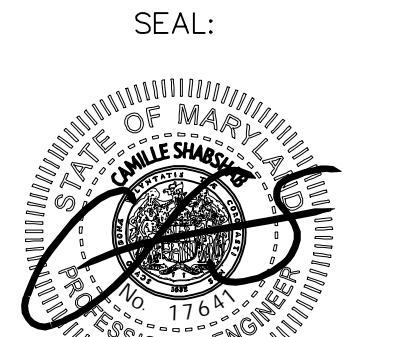
Z-2F

<u>LINE TYPES</u>	<u>GENERAL EROSION AND SEDIMENT CONTROL NOTES</u>	<u>UTILITY WORK NOTES</u>	<u>STOCKPILE NOTES</u>	<u>AREA TABULATION</u>
CONCRETE CURB	1. THE PROJECT SHALL ADHERE TO THE REQUIREMENTS SPECIFIED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND THE REQUIREMENTS OF THE TOWN OF SHARPTOWN.	1. PLACE ALL EXCAVATED MATERIAL ON HIGH SIDE OF TRENCH. 2. ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACK FILLING , FINAL GRADING, SEEDING AND MULCHING CAN OCCUR. 3. ANY SEDIMENT CONTROL MEASURES DISTURBED BY CONSTRUCTION WILL BE PREPARED THE SAME DAY. 4. ALL DISTURBANCE FROM SECONDARY UTILITIES SUCH AS PHONE CABLE, ELECTRIC CABLE, TV CABLE, ETC. WILL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO BRING THE WORK AREA BACK TO GRADE LEVEL THAT WAS EXISTING AND SEED AND MULCH ANY DISTURBANCE FROM INSTALLATION OF LINES OR CONDUIT. 5. SUBCONTRACTORS WILL BE RESPONSIBLE FOR REINSTALLING OR REPAIRING ANY SILT FENCE OR SEDIMENT CONTROLS THAT WERE EXISTING TO MAINTAIN PROPER SEDIMENT CONTROL THAT MIGHT HAVE BEEN DAMAGED. 6. COMPLETE TOWER SITE CONSTRUCTION. 7. COMPLETE FINAL GRADING, AND STABILIZATION. 8. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL DEVICES.	1. NO STOCKPILING ALLOWED ON ASPHALT. 2. ALL STOCKPILES LEFT AT THE END OF THE DAY NEED TO BE STABILIZED UNTIL THE NEXT REDISTURBANCE.	SITE AREA: 174.3 AC DISTURBED AREA: 2,800 SF
FENCE LINE - CHAIN — x — x — x — x — x — x — x — x —	2. PREPARE CLEARING AND GRUBBING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS. 3. COMPLETE ALL REQUIRED CLEARING AND GRUBBING. 4. COMPLETE ROUGH GRADING OF SITE. 5. INSTALL UTILITIES.			
EX. 1' CONTOUR LINE — — — — — — — — — — — —	6. COMPLETE FINAL GRADING, AND STABILIZATION.			
EX. 5' CONTOUR LINE — — — — — — — — — — — —				
LIMITS OF DISTURBANCE — lod — lod — lod — lod —				
SILT FENCE — LOD/SF — LOD/SF — LOD/SF — LOD/SF —				



Milestone Towers

**OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811**



*Professional Certification. I hereby certify that these documents were prepared
approved by me, and that I am a duly licensed professional engineer under
the laws of the State of Maryland, License No. 17641, Expiration Date:
2/27/2025*

PROJECT NO: 1050.472

DESIGNER: R.S.

ENGINEER: C.S.

THESE DRAWINGS ARE FORMATTED
TO BE FULL-SIZE

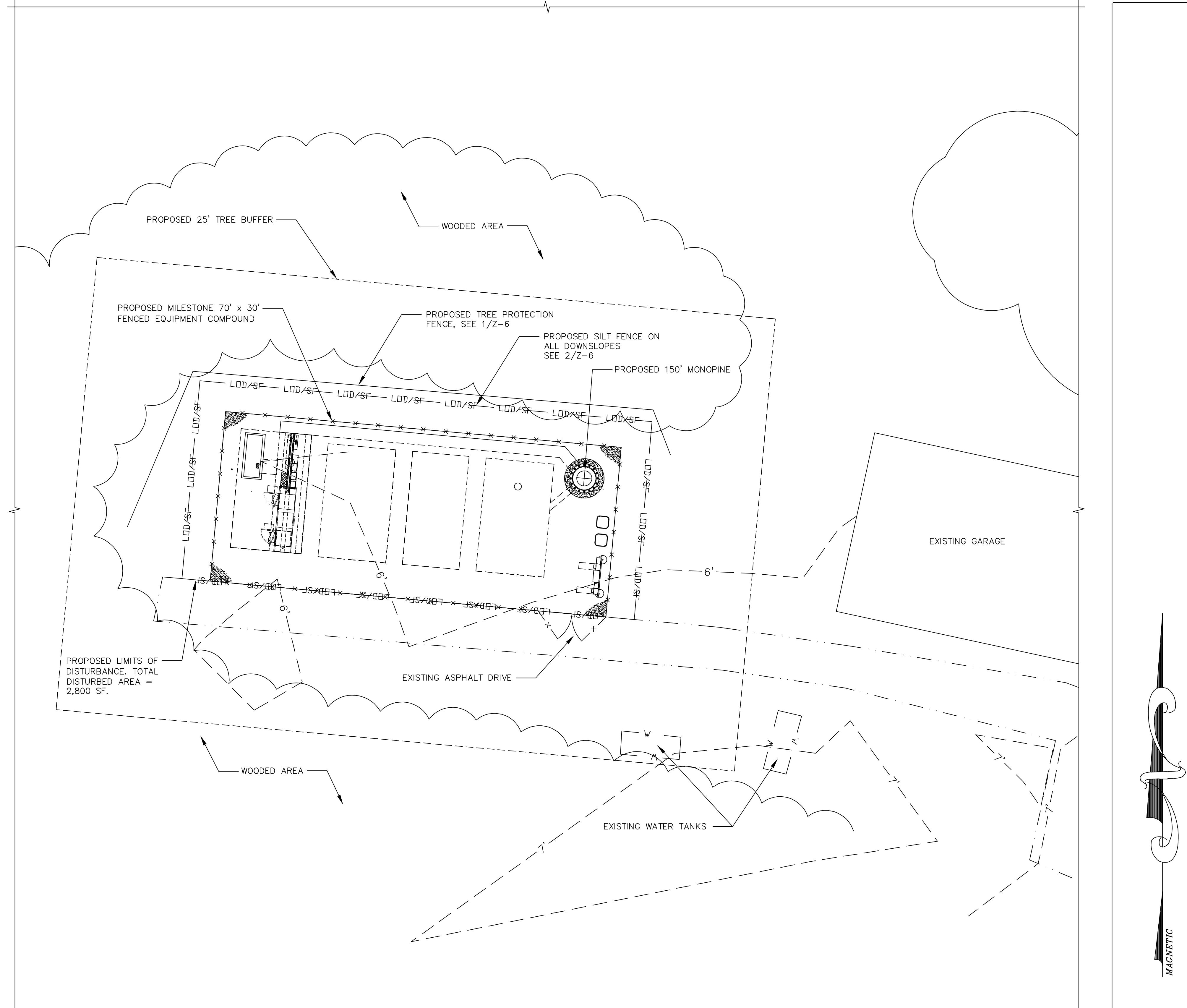
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GRAPHIC SCALE IN INCHES

EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER: _____

Z-3



EROSION AND SEDIMENT CONTROL PLAN

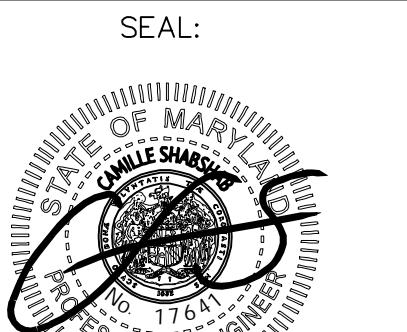
SCALE: 1" =

TRUE NORTH



Milestone
Towers

**OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811**



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SUBMITTALS

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11-11-2025	ZONING REVIEW	A

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ENGINEER: C.S.

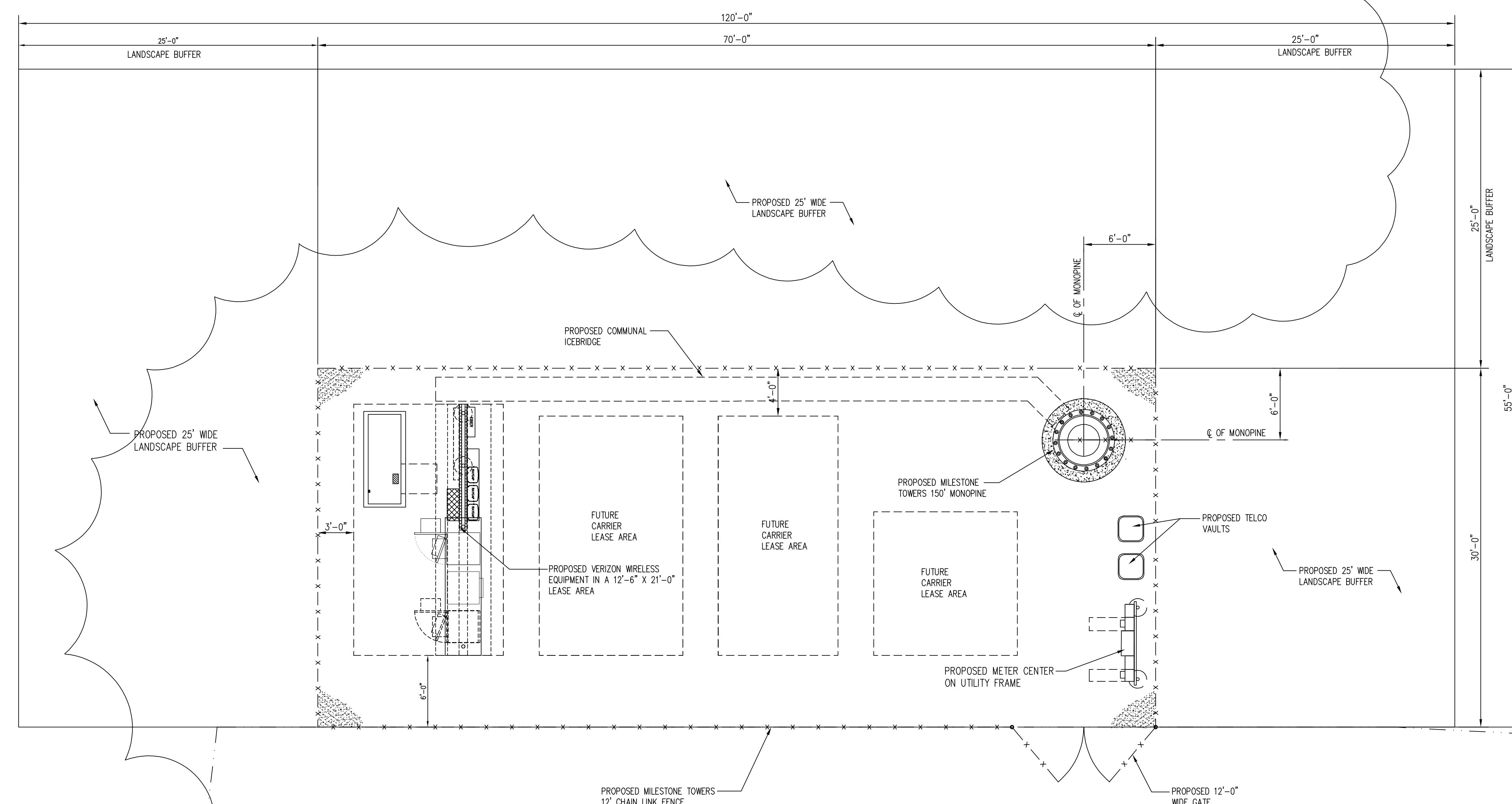
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TO BE FULL-SIZE
0 1/2 1
GRAPHIC SCALE IN INCHES

SHEET TITLE:

**COMPOUND
PLAN**

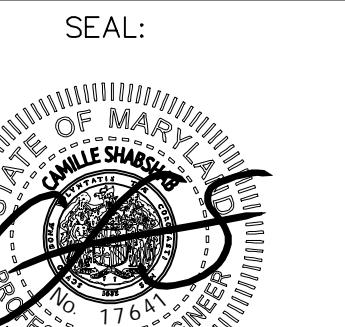
SHEET NUMBER:

Z-4





**OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811**



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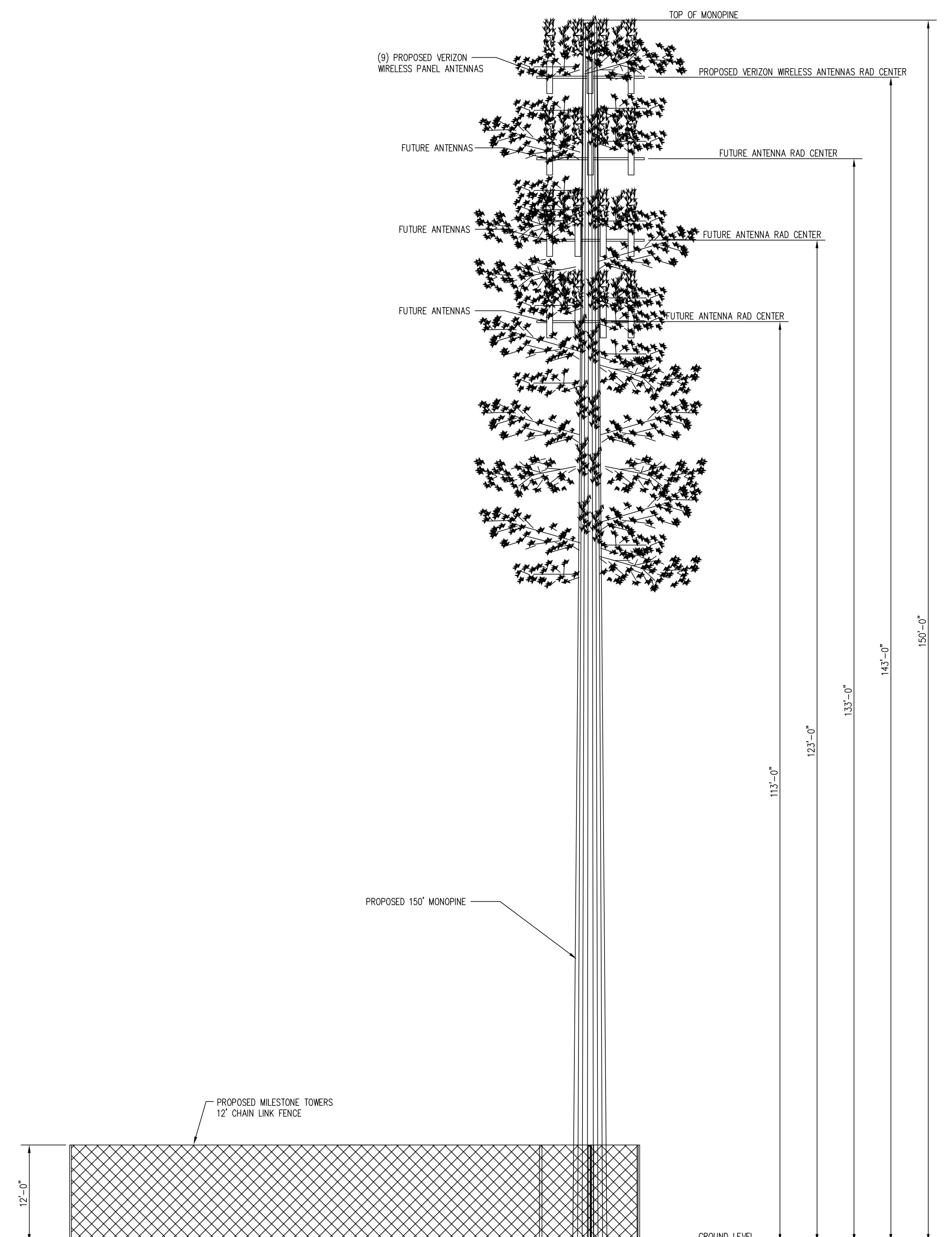
DATE	DESCRIPTION	REV.
11-11-2025	ZONING REVIEW	A

PROJECT NO: 1050.472
DESIGNER: R.S.
ENGINEER: C.S.
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TO BE FULL-SIZE
0 1/2 1
GRAPHIC SCALE IN INCHES

**MONOPINE
ELEVATION**

SHEET NUMBER:

Z-5



MONOPINE ELEVATION

SCALE: 1/8"=1'-0"

1
Z-5



**Milestone
Towers**

**OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811**



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SUBMITTALS

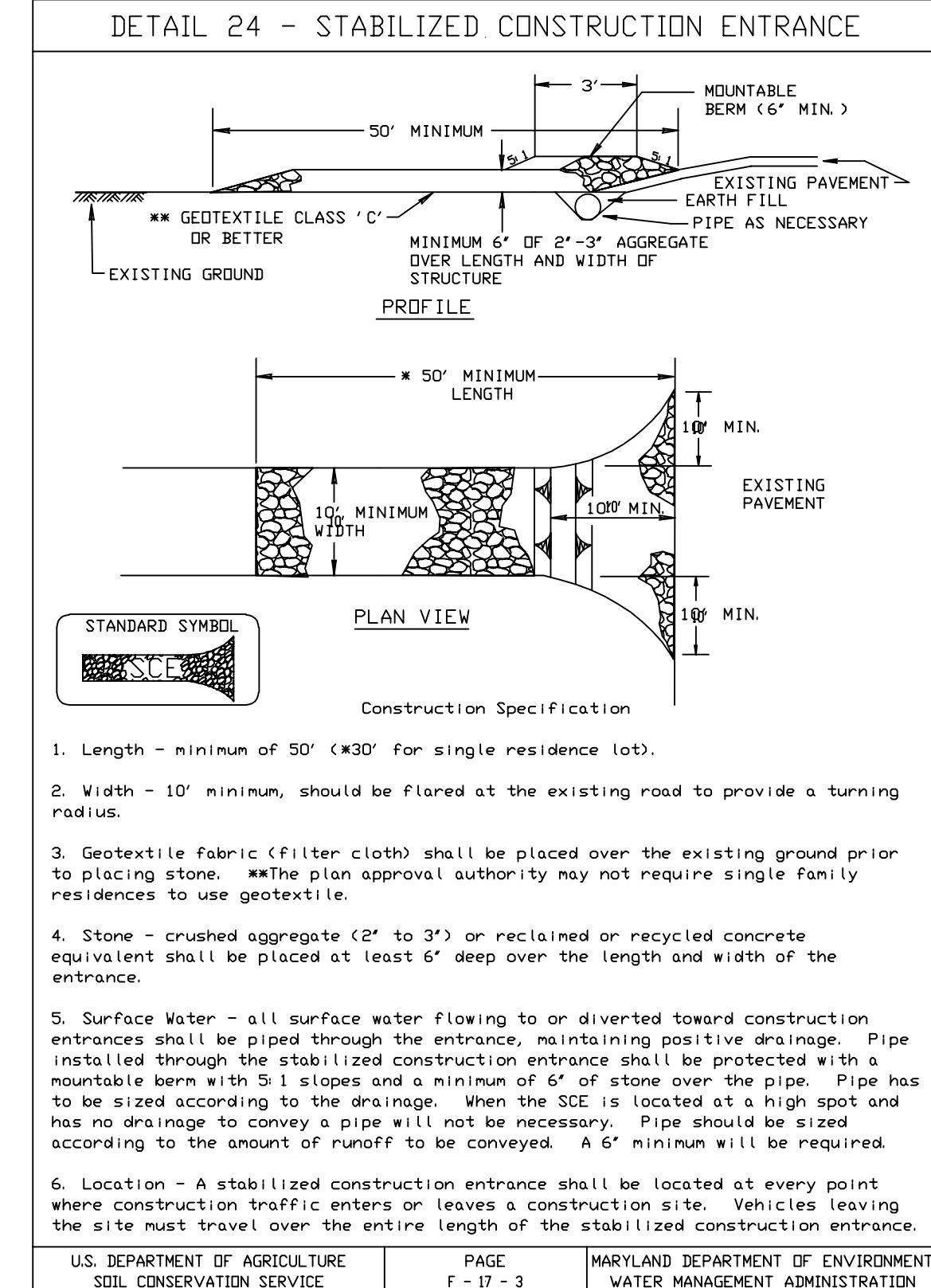
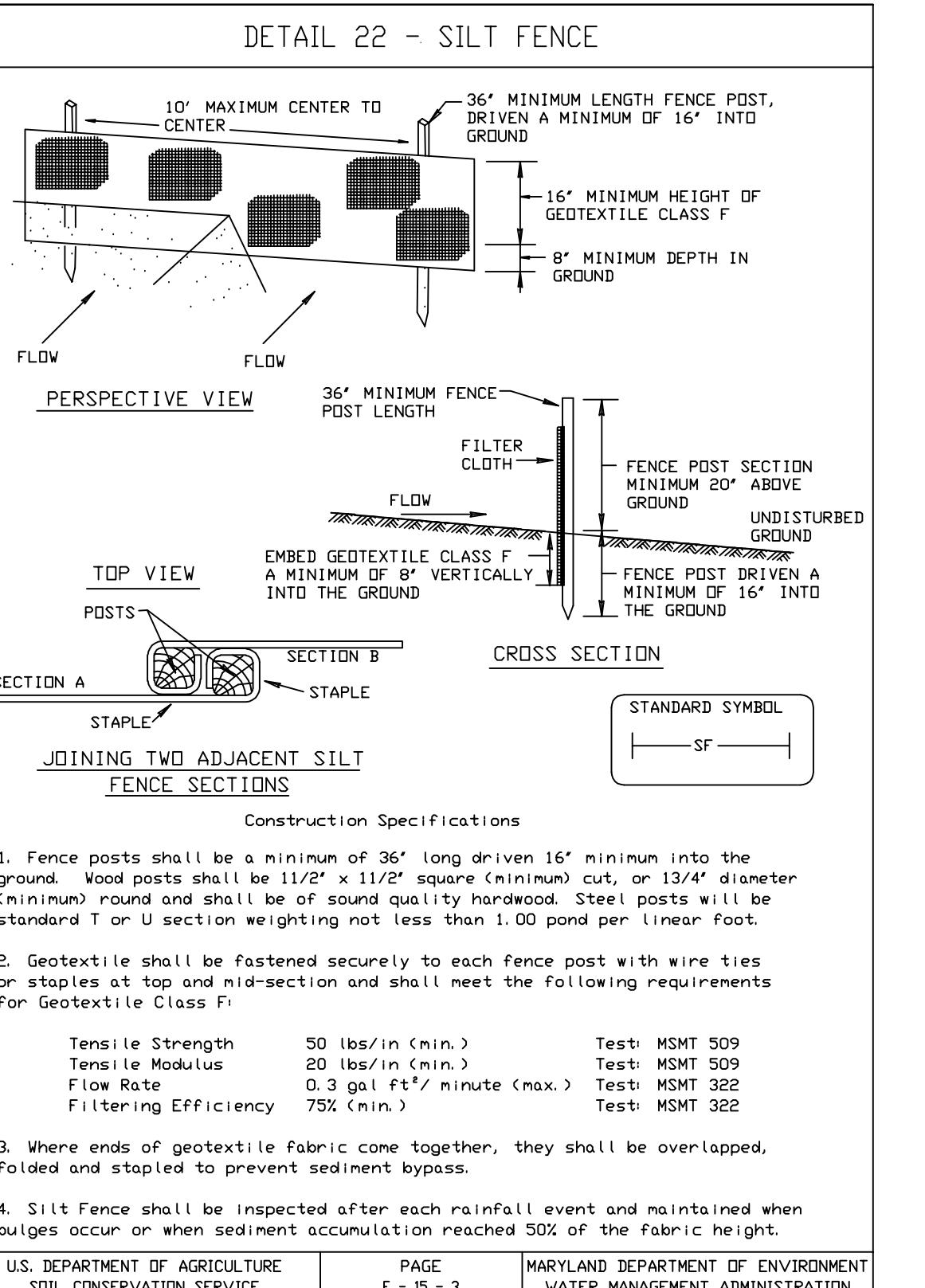
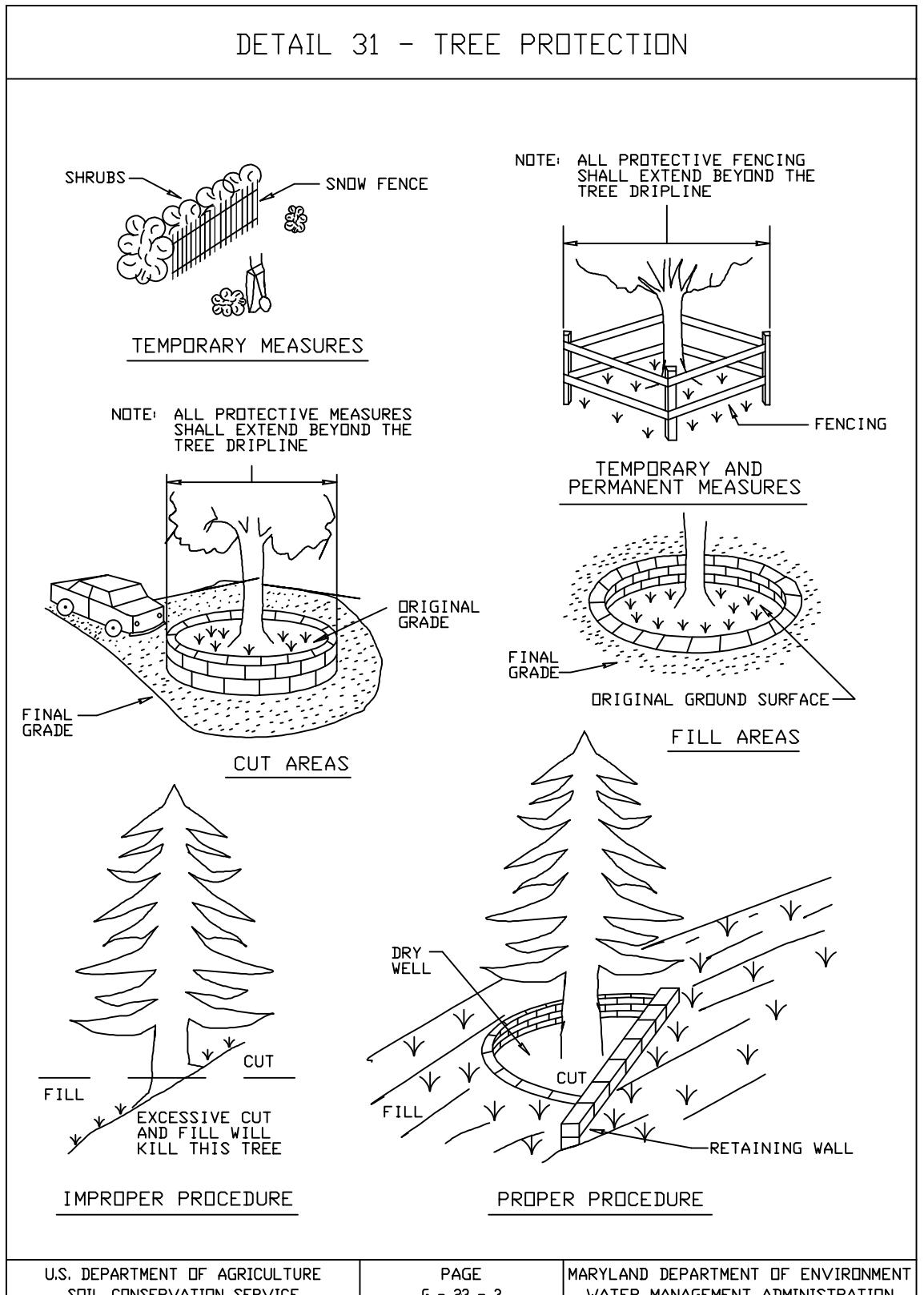
DATE	DESCRIPTION	REV.
11-11-2025	ZONING REVIEW	A

PROJECT NO: 1050.472
DESIGNER: R.S.
ENGINEER: C.S.
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0 1/2 1
GRAPHIC SCALE IN INCHES
SHEET TITLE:

**EROSION AND
SEDIMENT CONTROL
DETAILS**

SHEET NUMBER:

Z-6



TREE PROTECTION FENCE DETAIL 1
SCALE: N.T.S. Z-6

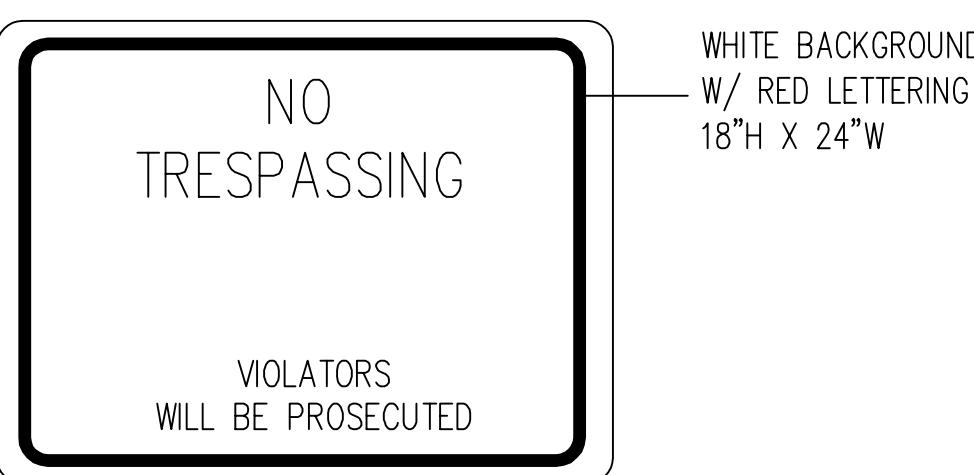
SILT FENCE DETAIL 2
SCALE: N.T.S. Z-6

STABILIZED CONSTRUCTION ENTRANCE DETAIL 3
SCALE: N.T.S. Z-6

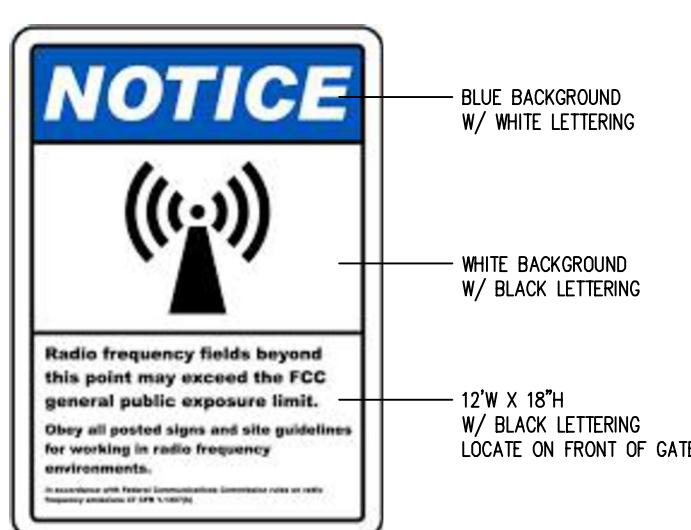
SITE SIGNAGE DETAILS



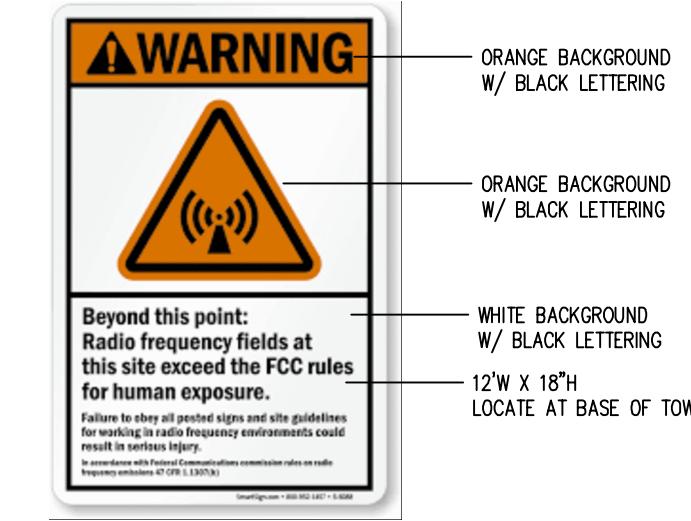
MARKETING / ID SIGN 1
SCALE: N.T.S. Z-8



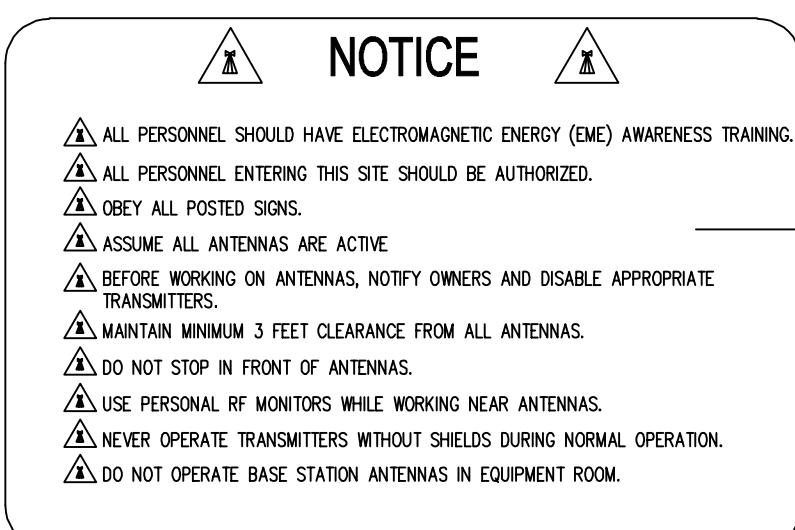
NO TRESPASSING SIGN 2
SCALE: N.T.S. Z-8



RF NOTICE SIGN 3
SCALE: N.T.S. Z-8



RF WARNING SIGN 5
SCALE: N.T.S. Z-8



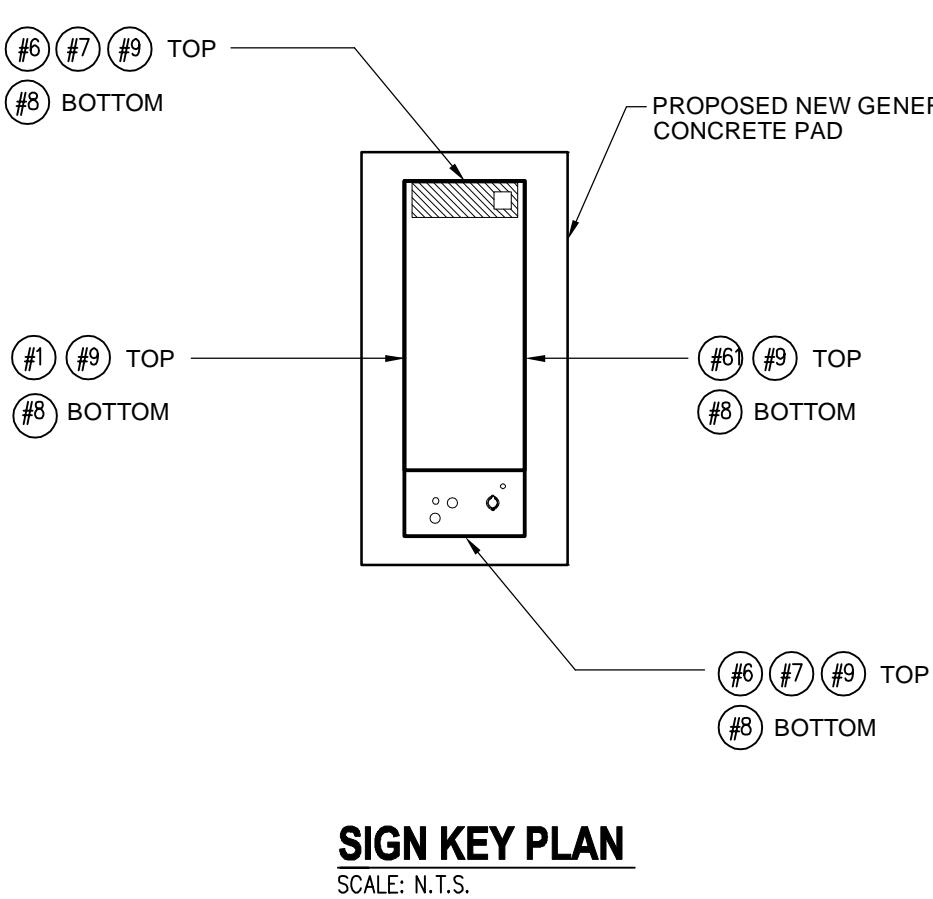
RF NOTICE SIGN 2 4
SCALE: N.T.S. Z-8

entrex
communication services, inc.
6100 EXECUTIVE BLVD.
SUITE 430
ROCKVILLE, MD 20852
PHONE: (202) 408-0960

**Milestone
Towers**

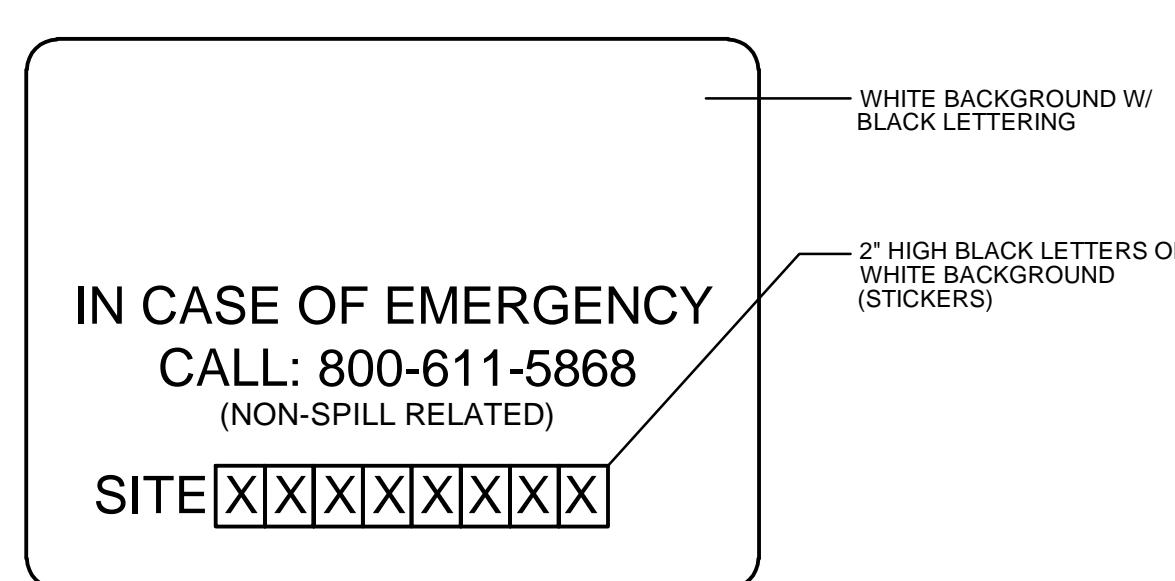
**OCEAN PINES
GOLF COURSE
98 CLUBHOUSE DR
OCEAN PINES, MD 21811**

GENERATOR SIGNAGE DETAILS



DANGER - DIESEL FUEL - SIGN #1 6
SCALE: N.T.S. Z-8

FUEL TANK - SIGN #3 8
SCALE: N.T.S. Z-8



SITE ID - SIGN #2 7
SCALE: N.T.S. Z-8

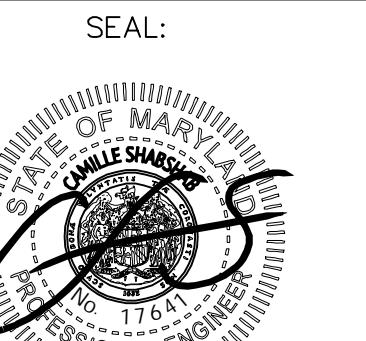
EMERGENCY RESPONSE - SIGN #4 9
SCALE: N.T.S. Z-8

SUBMITTALS

DATE	DESCRIPTION	REV.
11-11-2025	ZONING REVIEW	A

PROJECT NO: 1050.472
DESIGNER: R.S.
ENGINEER: C.S.
THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE
0 1/2 1
GRAPHIC SCALE IN INCHES
SHEET TITLE:
SIGNAGE DETAILS
SHEET NUMBER:
Z-8

entrex
communication services, inc.
6100 EXECUTIVE BLVD.
SUITE 430
ROCKVILLE, MD 20852
PHONE: (202) 408-0960



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SUBMITTALS

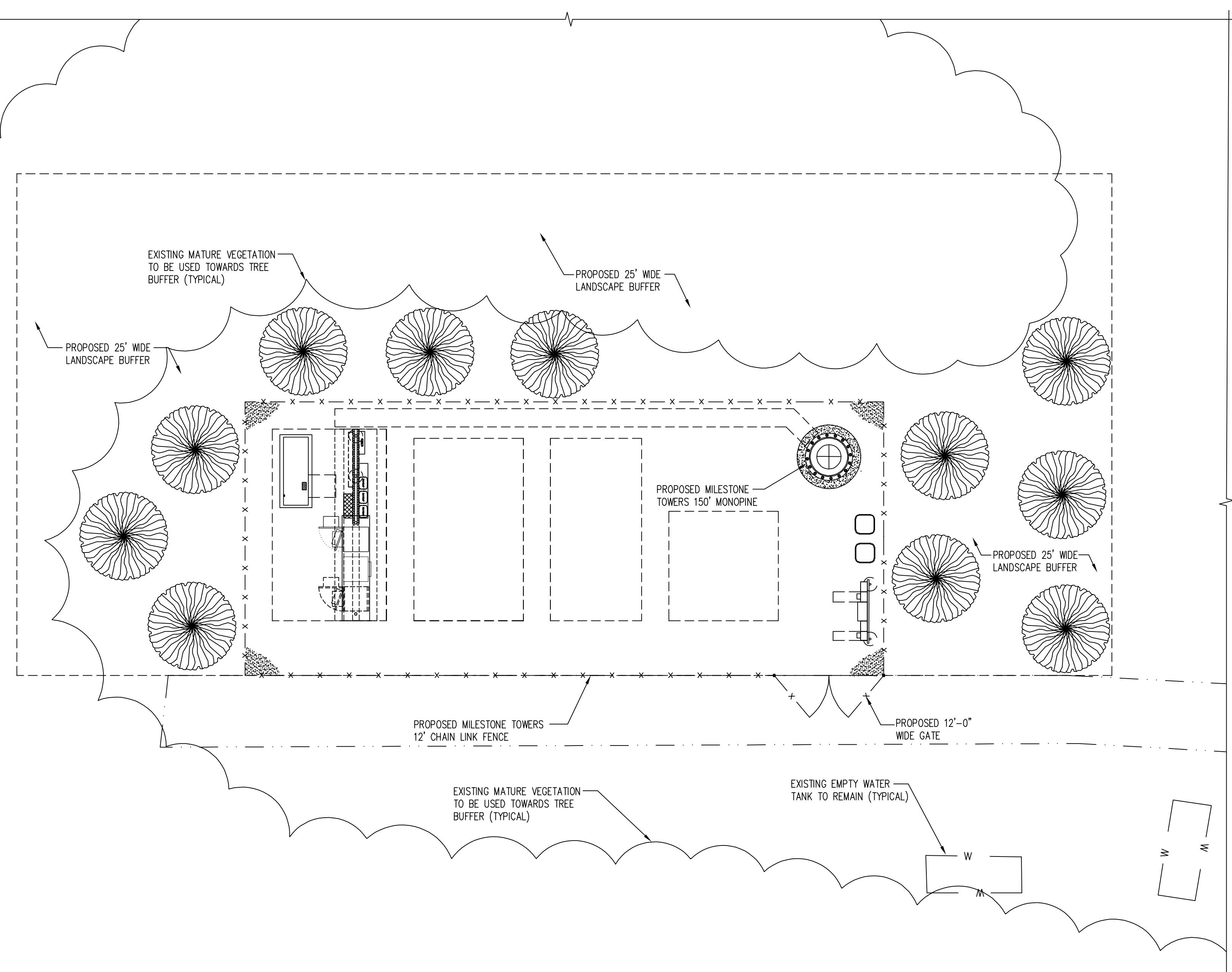
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11-11-2025	ZONING REVIEW	A

PROJECT NO: 1050.472
DESIGNER: R.S.
ENGINEER: C.S.
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0 1/2 1
GRAPHIC SCALE IN INCHES
SHEET TITLE: *[Blank]*

LANDSCAPE PLAN
SHEET NUMBER:
LS-1

PLANT LIST

SYMBOL	TYPE	BUFFER YARD QTY.	CALIPER	HEIGHT
	LARGE EVERGREEN	11	6"	6'

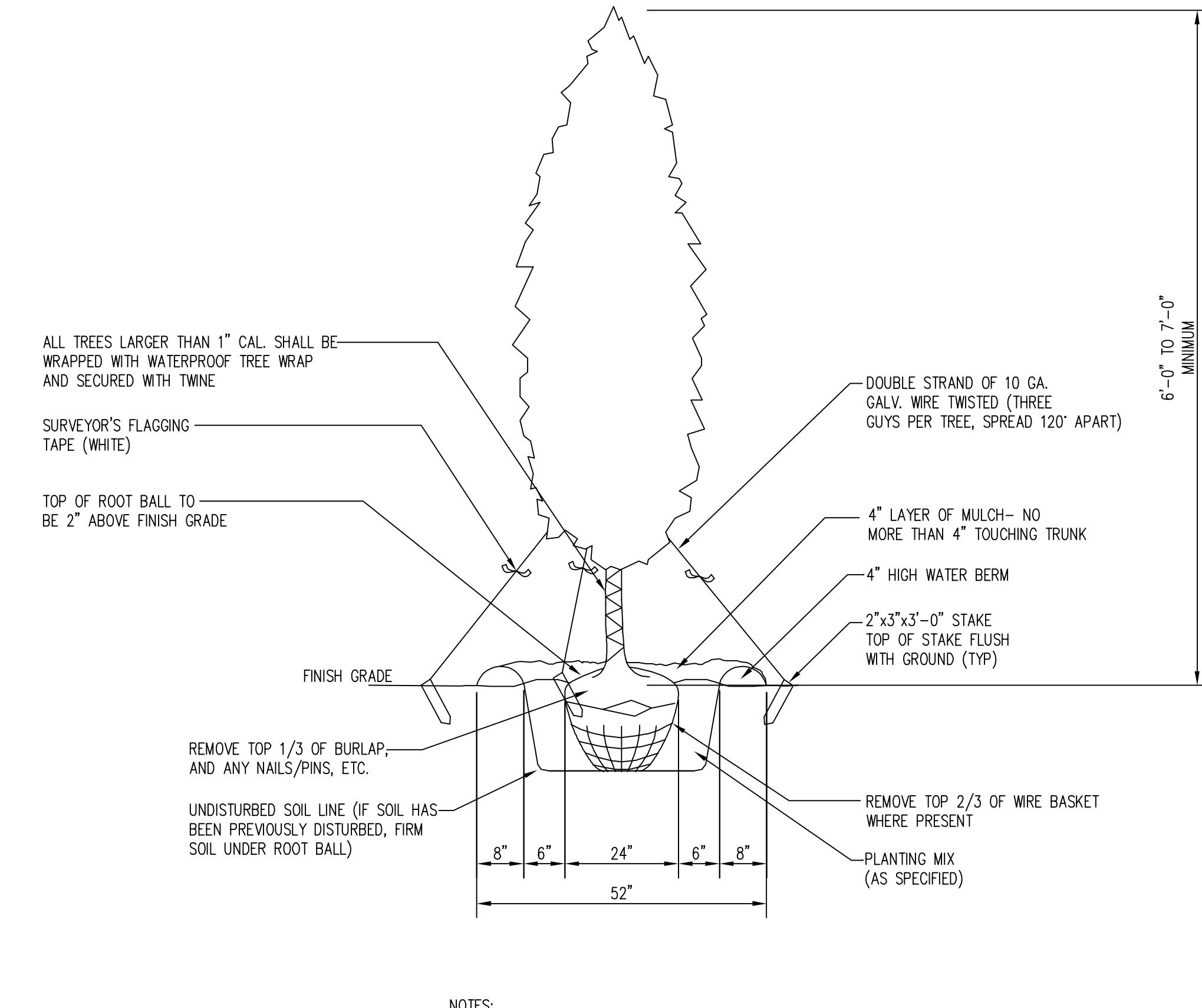


LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

1
LS-1

TRUE NORTH



TREE PLANTING DETAIL

SCALE: N.T.S.

2
LS-1

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER-GROWN OR BALED AND BURLAPPED.
3. ALL TREES SHALL BE STRAIGHT TRUNKED, FULL HEADED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES SHALL BE GUED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS SHALL BE COMPLETELY MULCHED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER'S REPRESENTATIVE.
10. THE OWNER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
11. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
12. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLEATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. CONTRACTOR TO WATER AND WARRANTY TREES FOR 1 YEAR.

PLANTING NOTE:

THE OWNER OF FEE TITLE TO ANY PROPERTY ON WHICH PLANT MATERIAL HAS BEEN ESTABLISHED IN ACCORDANCE WITH AN APPROVED LANDSCAPING/PLANTING PLAN SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THE APPROVED PLANT MATERIAL AS REQUIRED BY THE ORDINANCE.

TECHNICAL REVIEW COMMITTEE

DATE OF MEETING: January 14, 2026

PROJECT: Ocean City Cable Landing Station

APPLICANT(S) IN ATTENDANCE:

TRC MEMBERS IN ATTENDANCE:

- Tremblay, Zoning Administrator
- Zito, DRP Specialist III
- Miller, Building Plans Reviewer III
- Mitchell, Environmental Programs
- White, Environmental Programs
- Soper, Environmental Programs
- Birch, Environmental Programs
- Mathers, Environmental Programs
- Owens, Fire Marshal
- Korb, Deputy Fire Marshal
- Lynch, County Roads
- Berdan, County Roads
- Wilson, State Highway Admin.
- Fritts, State Highway Admin.
- Beauchamp, W & WW, DPW
- Knight, Planning Commission Rep.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/dr>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

January 14, 2026

Project: OC Cable Landing Site – Major Site Plan Review

Proposed construction of a 24,247 square foot building and associated site improvements for a cable landing station. Located at Tax Map 33, Parcel 136 on the easterly side of Stephen Decatur Highway (MD Route 611), C-2 General Commercial District. Sandbridge Subsea 888 LLC, owner / Atlantic Group & Associates, Inc., engineer/applicant.

Prepared by: Ben Zito, DRP Specialist

Contact: bmzito@worcestermd.gov or (410) 632-1200, extension 1134

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete building permit application along with the initial fee of \$350 made payable to "Worcester County."
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan) and building elevations (front, rear and sides). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.

3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-210	C-2 General Commercial District, Public Utility Structures and Properties Other than Essential Services
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-321	Off-Street Loading Spaces
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-324	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

*The proposed project is also subject to the *Design Guidelines and Standards for Commercial Uses* as revised and adopted on January 17, 2017. Under Section 2 of the Design Guidelines, the Planning Commission is able to grant a waiver to the requirements contained within, as long as the applicant can meet the provisions described. Please keep in mind that if a similar standard is listed in the Zoning Code and does not allow for a waiver, that standard cannot be waived. "These guidelines and standards apply to all projects other than multi-family and townhouse development which are subject to site plan review under ZS1-325 of the Zoning and Subdivision Control Article and which cumulatively total ten thousand square feet in gross floor area or more."

1. All sheets: Please revise the side and rear setbacks to 30.' §ZS1-210(b)(14).
<https://ecode360.com/14019747>.
2. Sheet C101: In General Note 12, please also add "Worcester County."
3. Sheet C101: Please clarify how the existing graveyard easement will be accessed for visitors.

4. Sheet C101: Please denote the proposed sidewalk along Rt. 611 that is shown on the entrance plans.
5. Sheet C101: Please clarify the proposed structures in the proposed gravel area. These structures will also need to maintain 6' separation distances from one another.
6. Sheet C101: Please denote that the proposed pavement will be asphalt to match the paving details shown on the entrance plans.
7. Sheet C101: Parking bumpers or wheelstops shall be at least five inches high and five inches wide, located no less than eighteen inches from the head of the parking space and attached to the parking lot surface. Where parking spaces abut sidewalks, pathways, walls or fences, landscaped areas or public rights-of-way, parking bumpers, wheel stops or curbing shall be located not less than three feet from these features to prevent vehicles from obstructing areas of pedestrian travel or damaging landscaping or structures. §ZS1-320(f)(5). <https://ecode360.com/14021053>.
8. Sheet C101: Please clarify if any off-street loading spaces will be needed, as a Loading Dock is proposed. Any commercial, industrial, business or other use requiring the receipt or distribution of materials or merchandise by tractor and trailer vehicles during normal business hours shall be provided with off-street loading space(s). §ZS1-321. <https://ecode360.com/14021074>.
9. Sheet C-504: Please confirm that the height of the post mounted handicap signage will be a minimum of 7' from high from grade.
10. Sheet L101: Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors. Drip irrigation systems are preferred. If an automatic system is not feasible, the Planning Commission at its discretion may approve an alternate watering system to maintain the plant material. §ZS1-322(b)(7). <https://ecode360.com/14021089>.
11. A maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate for a nursery will be required to be provided at permit stage to accurately determine the bond amount. §ZS1-322(g). <https://ecode360.com/14021139>
12. Sheet L-500, II (Standards) Subsection A. (Inspection and Approval): Please add that plant materials also need approval from Worcester County.
13. Sheet L-500, II (Standards), Subsection D. (Planting Execution): Please add that plant locations also need approval from Worcester County.
14. Sheet L-500, II (Standards), Subsection E. (Plant Warranty and Replacement): Please revise the landscape bond for two (2) years and one hundred and twenty-five percent (125%) of the installation cost.

Other Agency Approvals:

1. Written confirmation that the water and sewer requirements have been met will be required

to be provided from the Department of Environmental Programs prior to the Department granting signature approval.

2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.

***Please provide a detailed listing of all site plan changes along with any resubmission.**

NEXT STEPS: For a Major Site Plan, please address all comments provided by the TRC and resubmit any changes as needed for the Planning Commission. If approved by the Planning Commission, final approval of the site plan will not be granted until all comments provided to the applicant by the TRC have been addressed on the site plan and any associated documents. Once the site plan and other documents have been adjusted, it will need to be resubmitted to the TRC for 'final signature approval' before building/zoning permits will be issued.

The approval of the site plan or the installation of the improvements as required in this Title shall in no case serve to bind the County to accept such improvements for maintenance, repair or operation thereof. Acceptance of improvements shall be subject to applicable County or state regulations.

No public easement, right-of-way or public improvement shall be accepted for dedication unless approved by the County Commissioners. Such approval shall not be given by the County Commissioners until any such easement, right-of-way or improvement complies with all the requirements set forth by the approving body, including such other requirements that the approving body might impose for public utilities, streets, roads, drainage, etc. All improvements accepted for dedication shall be depicted on an instrument to be recorded in the land records of Worcester County.



Worcester County

Department of Environmental Programs
Environmental Programs Division

Memorandum

To: Technical Review Committee (TRC) for a January 14, 2026 Meeting
From: Environmental Programs Staff
Subject: OC Cable Landing Site Major Site Plan Review – Tax Map: 33, Parcel: 136
Date: January 12, 2025

Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. The initial expectation is for 4-5 staff members at most, with no growth in staffers working full-time for this facility?
2. In regards to cooling units, it is understood that facility will use CRAC units (computer room air conditioning units). These units are similar to standard HVAC (air handler and compressor). We are also under the impression that this facility will not use glycol or a water cooling tower. They will use traditional air handler with exterior condenser. The representatives were not certain that they will use recirculating water at this time. As the property is allocated a single EDU based on the use proposed and the nominal number of employees, the projected water use needs to be determined. We do need some certainty on the capacity needs for the proposed facility.
3. You have an initial set of generators shown on the site plan with a reported scale-up to a total of eight (8) generators, each rated at 750 horsepower (HP). All new, modified, or replacement installations which are potential sources of air pollution (including fuel burning equipment) are regulated and require an Air Quality Permit to Construct from the Maryland Department of the Environment (MDE). The applicant will need to investigate whether MDE would consider this facility coverage under a general or individual permit, among additional Air permit requirements.

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4. It has been indicated that the storage volume for fuel will be 20-30,000 gallons. Any person who stores 10,000 gallons or more of oil in aboveground storage tanks (ASTs), must obtain an oil operations permit from MDE.
5. There will be a considerable amount of cooling and generative capacity proposed for this facility. The applicant should view the noise level limits under § ZS 1-346 for applicability for the equipment proposed.
6. Reviewing estimated emergency power generator installations at full buildout, the total power requirements could be equivalent to 1,200 single-family dwellings. Has the owner made inquiries to the local electrical utility on grid upgrades or infrastructure improvements?
7. Commercial plumbing plans will need to be submitted for plan review with the building permit and \$250 review fee submitted. A plumbing permit will also need to be obtained for the interior work and a separate one for the site utility work.
8. Plumbing Code is the 2021 International Plumbing Code (IPC) Illustrated.

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Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner IV 

Subject: Forest Conservation & Stormwater Management Review

Date: January 2, 2026

Date of Meeting: January 14, 2026

Project: OC Cable Landing Site

Location: Stephen Decatur Hwy, Tax Map: 33, Parcel: 136

Owner/Developer: Sandbridge Subsea 888, LLC

Engineer/Applicant: Atlantic Group & Associates, Inc.

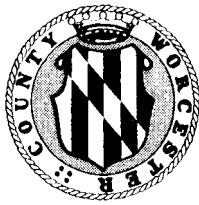
This project is subject to the Worcester County Forest Conservation Law. This property is subject to Forest Conservation Plan #97-10. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of off-site Forest Conservation Easements. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements.

This project is subject to the Worcester County Stormwater Ordinance. The project has obtained Stormwater Concept Plan approval. Stormwater Site Development Plan approval is required prior to this project proceeding to Planning Commission. Stormwater Final Plan approval must be received prior to this project receiving Signature Plan approval.

All projects over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together

WORCESTER COUNTY GOVERNMENT CENTER 1 WEST MARKET STREET, ROOM 1306 SNOW HILL, MARYLAND 21863
TEL: 410-632-1220 FAX: 410-632-2012



WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Ocean City Cable Landing Station

Date: 1/14/2026

Tax Map: 33 Parcel: 136 Section: Lot: Block:

STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval. Will be necessary upon permit application submittal.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead, and other structural loads.
3. Soils report required at the time of building permit application.
4. Compaction reports are due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing, and electrical plans are required.
6. Provide information for wind, snow, and seismic loads.
7. Special inspections (Third party) required steel, concrete, masonry, wood, prepared fill, foundations, and structural observations. **These are required in addition to the required Worcester County inspections.**
8. Provide plan for the owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation.
14. Architect / Engineer to provide verification construction is in accordance with approved plans and specifications prior to final inspection.
15. Provide your design professional with a copy of these comments.

SITE SPECIFIC COMMENTS

1. Current Codes: 2021 International Building Code
2021 International Energy Conservation Code
2021 International Mechanical Code
2020 NEC
Maryland Accessibility Code (MAC)
2010 ADA Standards for Accessible Design

1. Complete sealed architectural, structural, mechanical, plumbing, electrical and energy code plans are required.
2. Wind Design: 140 MPH Risk category IV; Exposure "C"
Overhead garage door to be rated for 140 MPH.
3. Provide occupant load for use of building.
4. Provide an egress plan.
5. Mechanical ventilation
6. Automatic fire suppression system required
7. Egress doors to swing in direction of travel.
8. Provide an Energy Compliance Report and lighting plan.
9. Complete detailed air barrier design.
10. Building envelope performance verification by certified third party engineer or certified contractor.
11. Additional energy-efficiency credit requirements to be included with the submittal.
12. Provide all details and specifications per 2010 ADA design standards and MAC (Maryland Accessibility Code).
13. Provide an accessible route from the parking lot to the building entry.

14. An ADA drinking fountain (hi/low) required.

Provide generator foundation, anchoring and specifications.

Provide foundation and anchoring for fuel tanks.

There is not enough information provided at this time to provide additional comments.



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1302

SNOW HILL, MARYLAND 21863-1294

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: Ocean City Cable Landing Station TRC #: 20260017

LOCATION: Tax Map 33, Parcel 136 – Stephen Decatur Hwy – Berlin, Maryland

CONTACT: Atlantic Group & Associates

MEETING DATE: January 14, 2026

COMMENTS BY: Robert Korb, Jr.
Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions, or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project:

Proposed construction of a 24,247 square foot building and associated site improvements for a cable landing station.

Specific Comments:

1. A complete set of building plans shall be submitted and approved prior to start of construction.
2. The building will be required to be protected by an automatic fire suppression system.
3. The building will be required to be protected by an automatic fire alarm system.
4. A fire hydrant will be required to be installed within 100' of the fire department connection on the building. Coordinate hydrant locations with this office.
5. The building will be required to have a "Knox Box" provided by the Berlin Volunteer Fire Company as well as a "Siren operated sensor" installed on the gate opener.

6. The building may be required to have a public safety two-way radio in-building communications system installed. Check with the Worcester County Department of Emergency Services for requirements.
7. No further comments at this time.

Ocean City Cable Landing Station TRC Comments

From Tony Fascelli <tfascelli@worcestermd.gov>

Date Fri 1/9/2026 11:37 AM

To Benjamin M. Zito <bmzito@worcestermd.gov>

Cc Kevin Lynch <klynch@worcestermd.gov>; Lee R. Beauchamp <lrbeauchamp@worcestermd.gov>

Ben,

Please see below list of comments for TRC Submittal of the Ocean City Cable Landing Station. Kevin I am assuming you don't have much for comments outside the road restoration needs to meet County standards for the utility trench and traffic control?

1. Please verify EDU's are available with Environmental Programs.
2. Please provide a separate submittal of Utility Plans for future submittals to Water and Wastewater office, located at 1000 Shore Lane, Berlin, MD.
3. A copy of the executed easement for the water line is going to be required prior to plan approval.
4. Utility Sheet U-101, Shows a 1" service but the plan details on Sheet U-501 show a water meter and 2" service connection. Please clarify what the intentions are for sizing.
 - a. Water meters shall be Neptune T-10 pro-coder meter with R900i radio. The developer will be responsible for purchasing of the meter.
 - b. Additionally, there is no fire service shown is this the intention please verify with your point by point response.

Thanks,

Tony Fascelli
Water & Wastewater Superintendent
Department of Public Works
Worcester County Government
1000 Shore Lane
Berlin, MD 21811
Phone: 410-641-5251
Email: tfascelli@co.worcester.md.us
www.co.worcester.md.us



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RE: TRC Agenda - 01.14.2026

From Jeffrey Fritts <JFritts@mdot.maryland.gov>

Date Thu 1/8/2026 11:37 AM

To Benjamin M. Zito <bmzito@worcestermd.gov>; Kevin Lynch <klynch@worcestermd.gov>; Laurie Bew <lbew@worcestermd.gov>; Robert Korb Jr. <rkorb@worcestermd.gov>; Robert Mitchell <bmitchell@worcestermd.gov>; Stuart White <swhite@worcestermd.gov>; Tony Fascelli <tfascelli@worcestermd.gov>; Lee R. Beauchamp <lrbeauchamp@worcestermd.gov>

Hello,

**Jeff Fritts**

Access Management

Regional Engineer

410.677.4039 **office**

443.397.5063 **mobile**

Jfritts@mdot.maryland.gov

Maryland Department of Transportation

660 West Road, Salisbury, MD 21801

From: Benjamin M. Zito <bmzito@worcestermd.gov>

Sent: Thursday, January 8, 2026 8:10 AM

To: Jeffrey Fritts <JFritts@mdot.maryland.gov>; Kevin Lynch <klynch@worcestermd.gov>; Laurie Bew <lbew@worcestermd.gov>; Robert Korb Jr. <rkorb@worcestermd.gov>; Robert Mitchell <bmitchell@worcestermd.gov>; Stuart White <swhite@worcestermd.gov>; Tony Fascelli <tfascelli@worcestermd.gov>; Lee R. Beauchamp <lrbeauchamp@worcestermd.gov>

Subject: Re: TRC Agenda - 01.14.2026

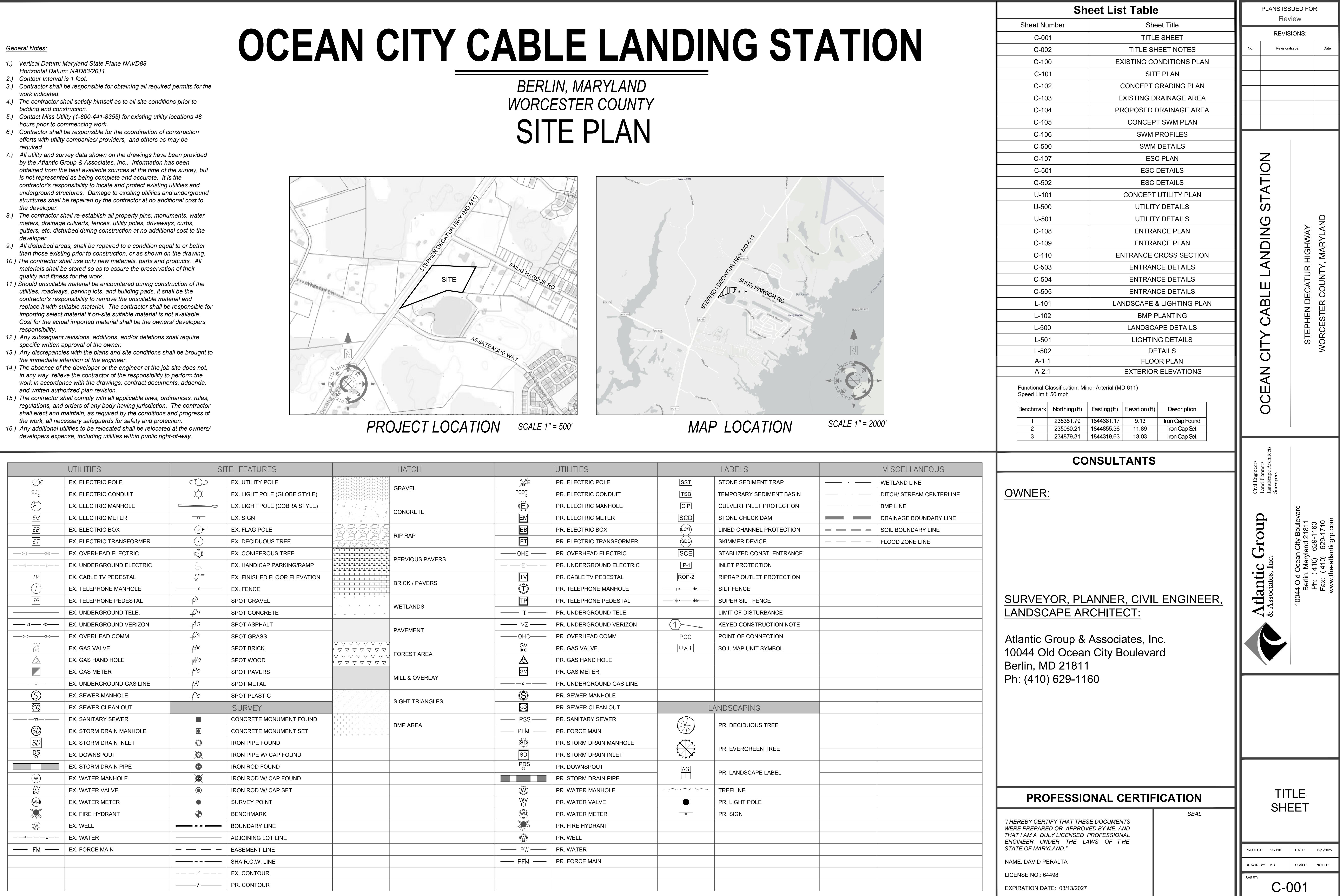
Caution: CAUTION: Suspicious? Double-check! This email is from an external source. If something seems unusual, even from someone you know, verify directly. Forward suspicious emails directly to Email Abuse (abuse@mdot.maryland.gov) or call the MDOT Service Desk at 410-768-7181 for assistance.

All,

Please provide your comments for the attached TRC agenda items by 1/12/26 at the latest.

Digital copies of the site plans can be found in the following OneDrive link for your convenience:

 [1-14-26 TRC](#)



No.	Revision/Issue:	Date

OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

SHA GENERAL NOTES

Lane Closure Permits must be submitted for approval at least 2 working days (48 hours) in advance of work. To obtain a Lane Closure Permit or more information regarding Lane Closures contact the District 1 Maintenance of Traffic Inspector at, SHA, D1, Traffic@mdot.maryland.gov or 410-677-4000. Design, Fabrication, and installation of all permanent signing shall be as outlined in the most recent version of the Maryland Standard Sign Book, found at: http://apps.roads.maryland.gov/BusinessWithSHA/bizStdsSpecs/desManualStdPub/publicationsonline/oots/internet_signbook.asp.

The permittee for the project assumes all responsibility for the information contained within these plans and assumes all risk associated with such. Any agreement between the permittee and contractor does not relieve the permittee of their responsibilities associated with the Access Permit and the approved plans.

Vehicular access to and from the subject site by the public, for the purpose of conducting business for the permitted use of the property, shall not be allowed until all improvements within the Access Permit and as shown on the approved permit plans have been completed to the satisfaction of SHA.

If existing pavement markings are temporary or permanently altered, perform mill, and overlay at those locations. Also show these resurfacing on the typical sections and other applicable sheets.

For all standards referred to on the plans the contractor must go to the book of standards which will have the most current version, the book of standards can be accessed at: <http://apps.roads.maryland.gov/businesswithshbizstdsspecs/desmanualstdpub/publicationsonline/oth/bookstd/index.asp>

To repair distresses which may occur due to construction activity and MOT, see standard details MD 578.03 and MD 578.03-1 for Partial-Depth Patching For Partial-Depth Patching use the following: 5 " SUPER PAVE ASPHALT MIX 19.0 mm for Partial-Depth Patch, PG64S-22, Level 2 (2-2.5" Lifts) or top of concrete, whichever is encountered first.

All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

Design, fabrication, and installation of all permanent signing shall be as outlined in the Maryland standard sign book (latest edition).

No work in the SHA right of way can begin until an approved access permit has been issued from SHA District 1 Access Management.

The contractor must have a copy of the approved commercial access permit and the SHA approved site plans at all times during any work being performed in the SHA right of way.

Design firm will provide as-built drawings or a professional engineers certification to SHA District 1 Access Management upon completion of this project, as a condition of the release of the surety bond.

All work in the SHA right of way shall conform to:- the SHA access manual (revised august 2016), at <https://www.roads.maryland.gov/mdotsha/pages/index.aspx?pageid=393>

The Maryland Manual on the Uniform Traffic Control Devices (2011 edition). https://www.roads.maryland.gov/mmucd/2011_rev122011_mdmuted complete.pdf

The Maryland Department of Transportation State Highway Administration Standard Specifications for Construction and Materials (revised 2020), at <https://www.roads.maryland.gov/mdotsha/pages/sscm.aspx?pageid=853&id=ssp>

For lane closure permit Contact James Moon at JMoon.consultant@mdot.maryland.gov or call 410-677-4000.

Once the access permit has been secured, the contractor will immediately need to contact the SHA District 1 access permit inspector Mr. Jon Chullin (JChullin.consultant@mdot.maryland.gov, phone: (443-365-7255) to initiate the construction/inspection phase of the project. Mr. Chullin will explain the steps that need to begin the process prior to any work being performed in the SHA right-of-way, a pre-construction meeting shall be held with representatives of the administration. In order to schedule the pre-construction meeting, all source of supply letters must be approved. Submit source of supply letters by mail (notifying Mr. Chullin when the letters are sent) to Mr. Marvin Coble, Lab Quality Manager, SHA, 7450 Traffic Drive, Hanover, MD 21076, or by email mcoble@mdot.maryland.gov (with Mr. Chullin in copy). Mr. Chullin will serve as primary contact for District 1 throughout the construction process in the State right of way/contact Mr. Chullin at least two (2) weeks prior to the date you tend to begin construction. Once you have approved source supply letters, you must notify Mr. Chullin (48 hours before the commencement of work and prior to each successive stage of construction).

Once the access permit has been issued, any revisions to the approved plans, during or before the construction process, need to be approved through the District 1 Access Management Office

The Permittee is required to hire a Third-Party firm, approved by the MDOT-SHA, for testing and inspection of all work performed within the Maryland Department of Transportation, State Highway Administration Right of Way.

SHA LANDSCAPE NOTES

Landscape construction within rights of way of the Maryland State Highway Administration (SHA) and within SHA property, easement areas and lands to be conveyed to SHA shall conform to these notes. For guidance regarding design modifications during construction, refer to the SHA landscape design guide, SHA Landscape Estimating Manual, and the SHA environmental guide for access and district permit applicants at <http://www.roads.maryland.gov/index.aspx?pageid=25>.

Landscape construction shall conform to sections 701 through 716, and landscape materials shall conform to section 920 of the most recent revision of the SHA Standard Specifications for Construction and Materials, including all revisions and supplements as specified in these notes. These requirements shall supersede all other specifications for work on SHA property. All SHA specifications for landscaping and landscape materials published in 2008 have been replaced. Current specifications are at <http://www.roads.maryland.gov/index.aspx?pageid=44>.

Soil disturbance such as grading, excavation, soil placement or other activities that involve soil disturbance shall be supervised by an escm manager with a valid "SHA yellow card" in conformance with SHA standard specifications and any applicable erosion and sediment control permit.

Temporary stabilization shall be installed in conformance with section 704 to ensure that areas of soil disturbance are protected from wind, rainfall, and flowing water until permanent stabilization is installed.

- a. Temporary mulch, either as temporary straw mulch or temporary matting mulch, shall be installed at the end of each working day to provide "same day stabilization" unless other approved stabilization is installed.
- b. Temporary straw mulch shall be installed on areas and slopes flatter than 4:1; temporary matting mulch shall be applied on slopes 4:1 and steeper, and to areas with channels.
- c. Temporary seed shall be installed in lieu of temporary mulch when soil redistribution is expected more than 3(3) days after soil disturbance. The Required application rate shall be 100 lbs. per acre of 37-0-0 (scu) fertilizer.

Areas of roadway pavement removal shall be excavated to remove pavements, aggregate base and compacted soil to a minimum depth of 10 inches below the pavement surface, or as necessary to remove all materials unsuitable for landscaping. The excavated areas shall be restored with subsoil and topsoil as part of soil restoration.

Debris related to the demolition of sidewalks, driveways, curbs, trees, stumps, roots, fencing, pipes, and other materials that may interfere with landscape installation or future maintenance shall be excavated as necessary for their complete removal and disposal.

Areas of pavement removal, excavation or drilling in landscaped areas shall remove excavated debris and restore the subgrade with approved subsoil and topsoil placed in conformance with section 701 of the SHA Standard Specifications.

- a. A layer of approved topsoil of at least a 4-inch depth shall be placed on all disturbed areas flatter than and in all channels prior to seeding, sodding or other landscaping, unless otherwise specified.
- b. A layer of approved topsoil of at least a 2-inch depth shall be placed on all disturbed areas 2:1 and steeper prior to seeding, sodding or other landscaping, unless otherwise specified.
- c. Bioretention soil mix (bsm) and other materials installed in conjunction with sp1 319 - stormwater filtration facilities and SHA stormwater details shall be installed in conformance with SHA landscape notes and landscape plans. Plant materials and mulch shall be installed in bsm in conformance with stormwater details, section 710 or other SHA specifications.

Turfgrass establishment shall be performed in all disturbed areas, or within the areas indicated in the plans, in conformance with section 705 of the SHA Standard Specifications. The required application rate of 20-16-12 fertilizer shall be 200 lbs. per acre, and no fertilizer shall be applied from November 15 to March 1.

Soil stabilization matting shall be installed in conformance with section 709 of the SHA Standard Specifications, in conjunction with turfgrass establishment per section 705 or meadow establishment per section 707 as follows:

- a. Area's flatter than 6:1, Type A or Type E matting may be installed in lieu of straw mulch and hydromulch binder in conjunction with turfgrass establishment.
- b. Area's steeper than 6:1 and flatter than 4:1, Type A or Type E matting shall be installed in lieu of straw mulch and hydromulch binder in conjunction with turfgrass establishment, unless delineated and noted otherwise.
- c. Channels, stormwater management facilities, and slopes and steeper, Type A soil stabilization matting shall be installed in lieu of straw mulch and hydromulch binder in conjunction with turfgrass establishment, unless delineated and noted otherwise.

The Utility Notes

UTILITY NOTES

Contractor to be responsible for the necessary relocation and/or adjustment of all existing utilities, as well as the installation of any new underground utilities to serve this development, prior to the construction of the improvements. All utility relocation work shall be accomplished under a separate permit issued to the respective Utility company by the SHA District Utilities Engineer, Mr. Milan Shan, Salisbury, Maryland, (Phone: 410-677-4095) or by the SHA Assistant District Utilities Engineer, Mr. Robbie Muir, Salisbury, Maryland, (Phone: 410-677-4057).

Notify "MISS UTILITY" (Phone: 1-800-441-8355) forty-eight (48) hours in advance of any construction so that all underground utilities can be identified in the field.

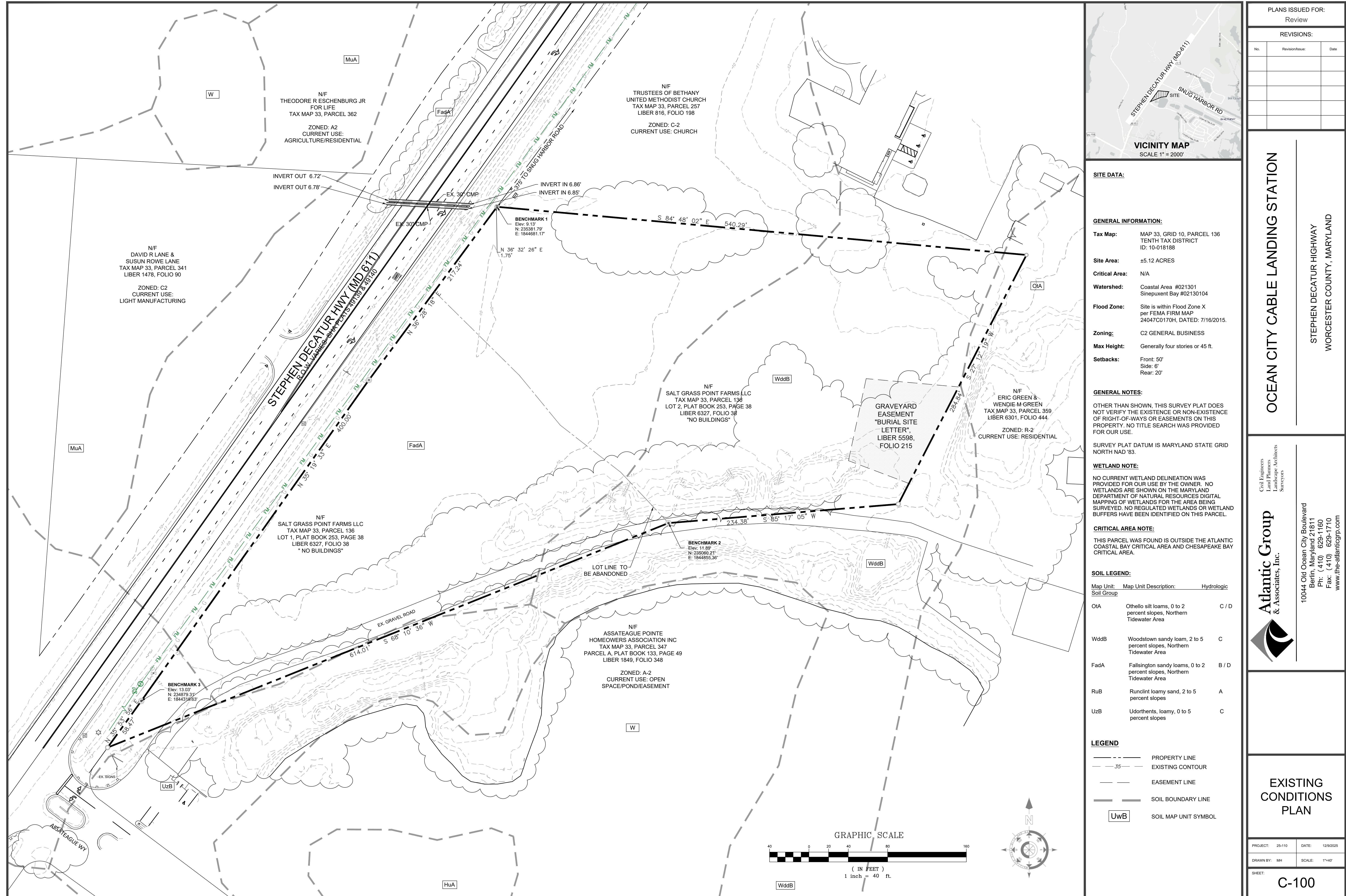
Notify the Maryland State Highway Administration Office of Traffic and Safety (Phone: 1-888-963-0307) forty-eight (48) hours in advance of excavation operation to allow any State-owned underground facility to be marked.

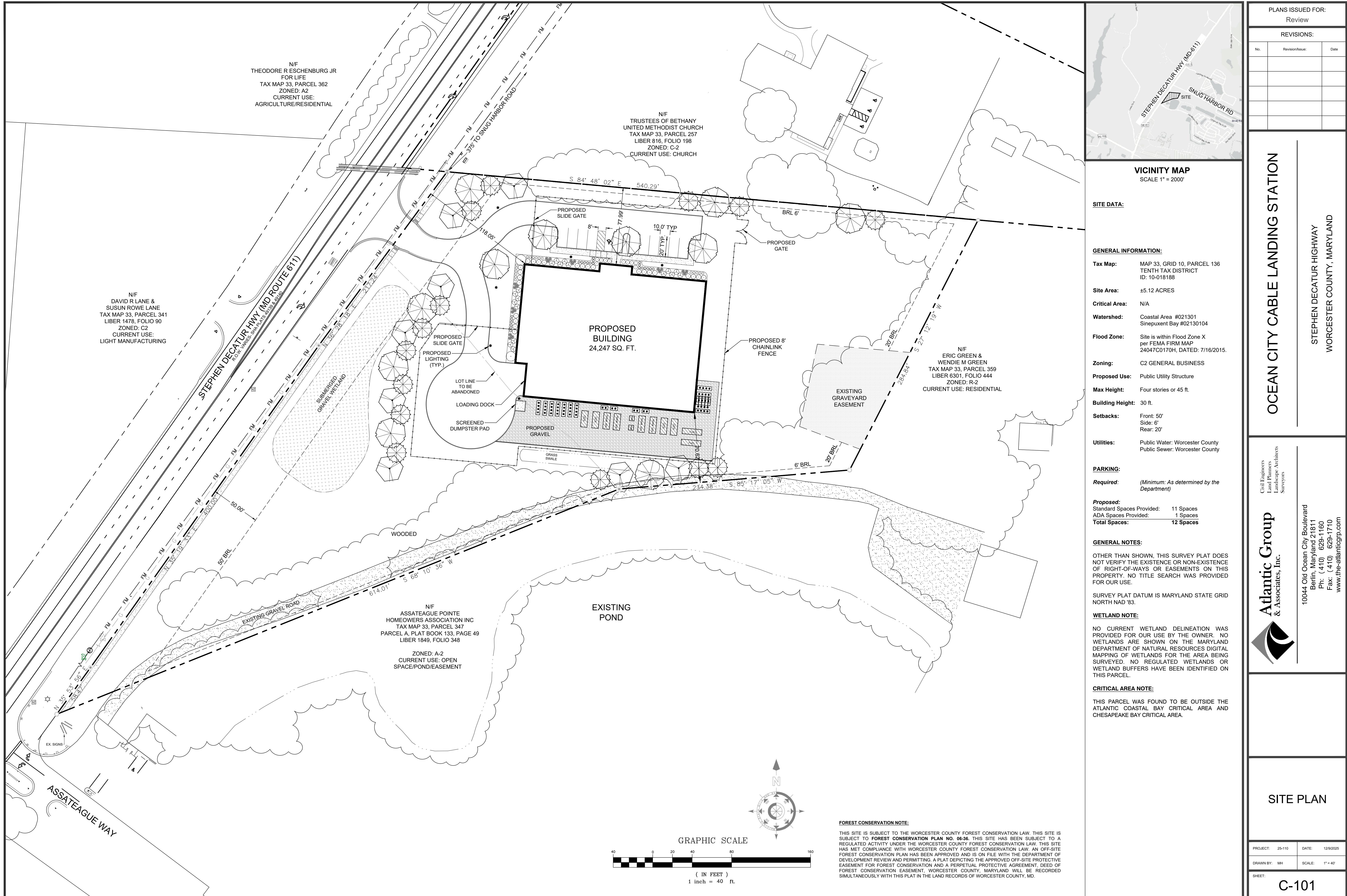
Civil Engineers
Land Planners
Landscape Architects
Surveyors10044 Old Ocean City Boulevard
Berlin, Maryland 21811
Ph: (410) 629-1160
Fax: (410) 629-1710
www.the-atlanticgrp.comAtlantic Group
& Associates, Inc.TITLE
SHEET
NOTES

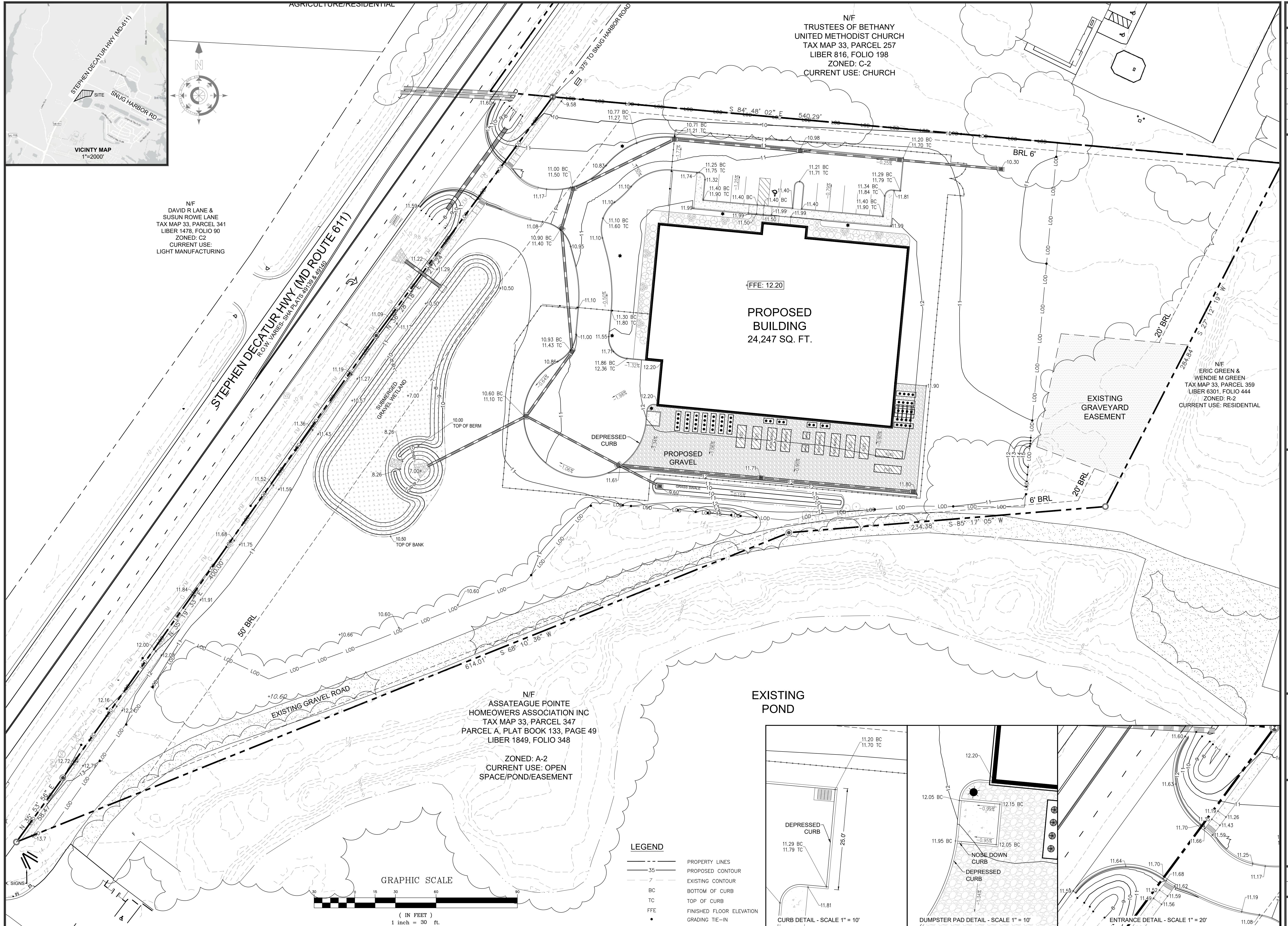
PROJECT: 25-110 DATE: 12/9/2025

DRAWN BY: KB SCALE: NTS

SHEET: C-002







PLANS ISSUED FOR:
Review

REVISIONS:

No.	Revision/Issue:	Date
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OCEAN CITY CABLE LANDING STATION

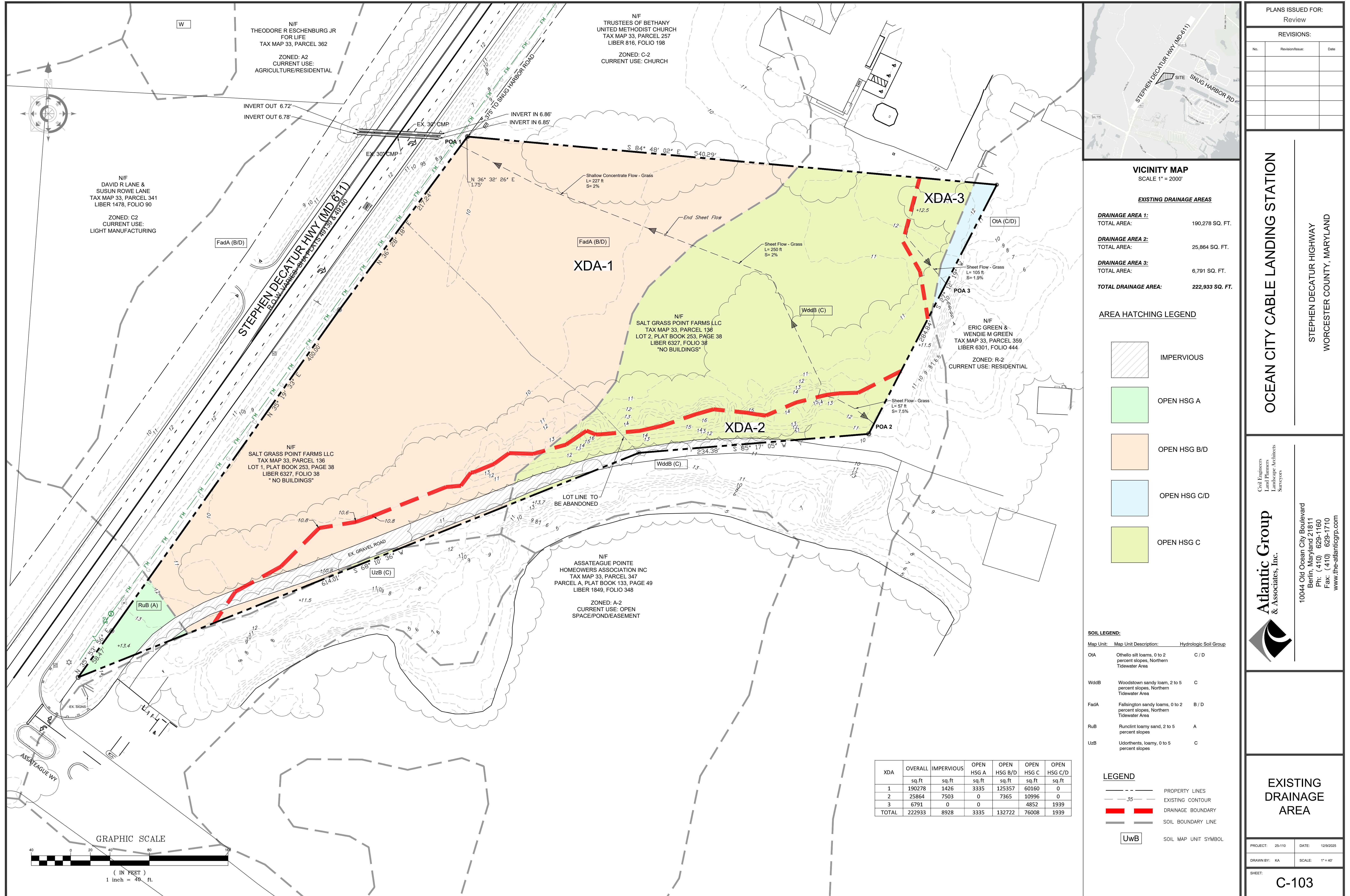
STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

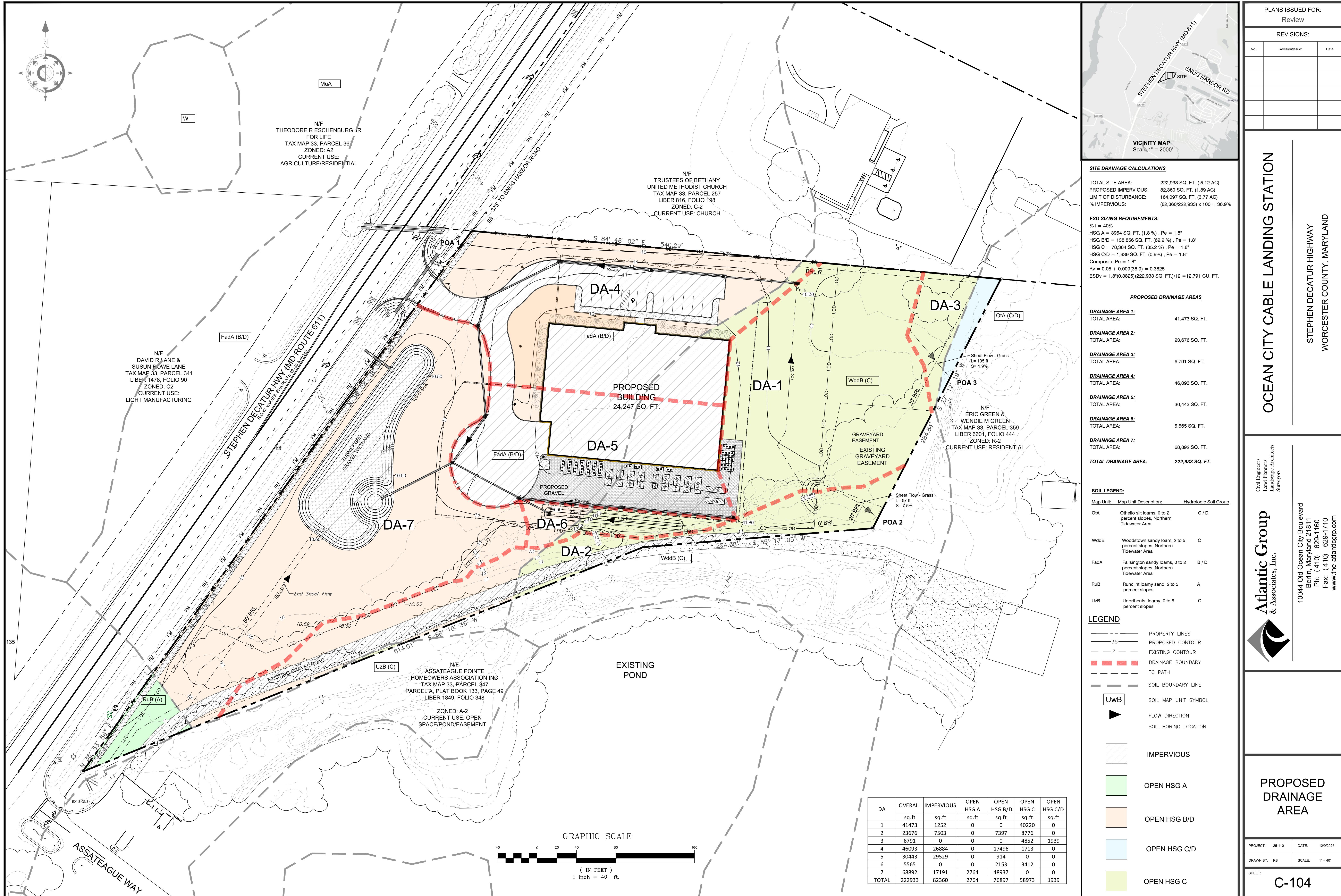
Civil Engineers
and Planners
Landscape Architects
Surveyors

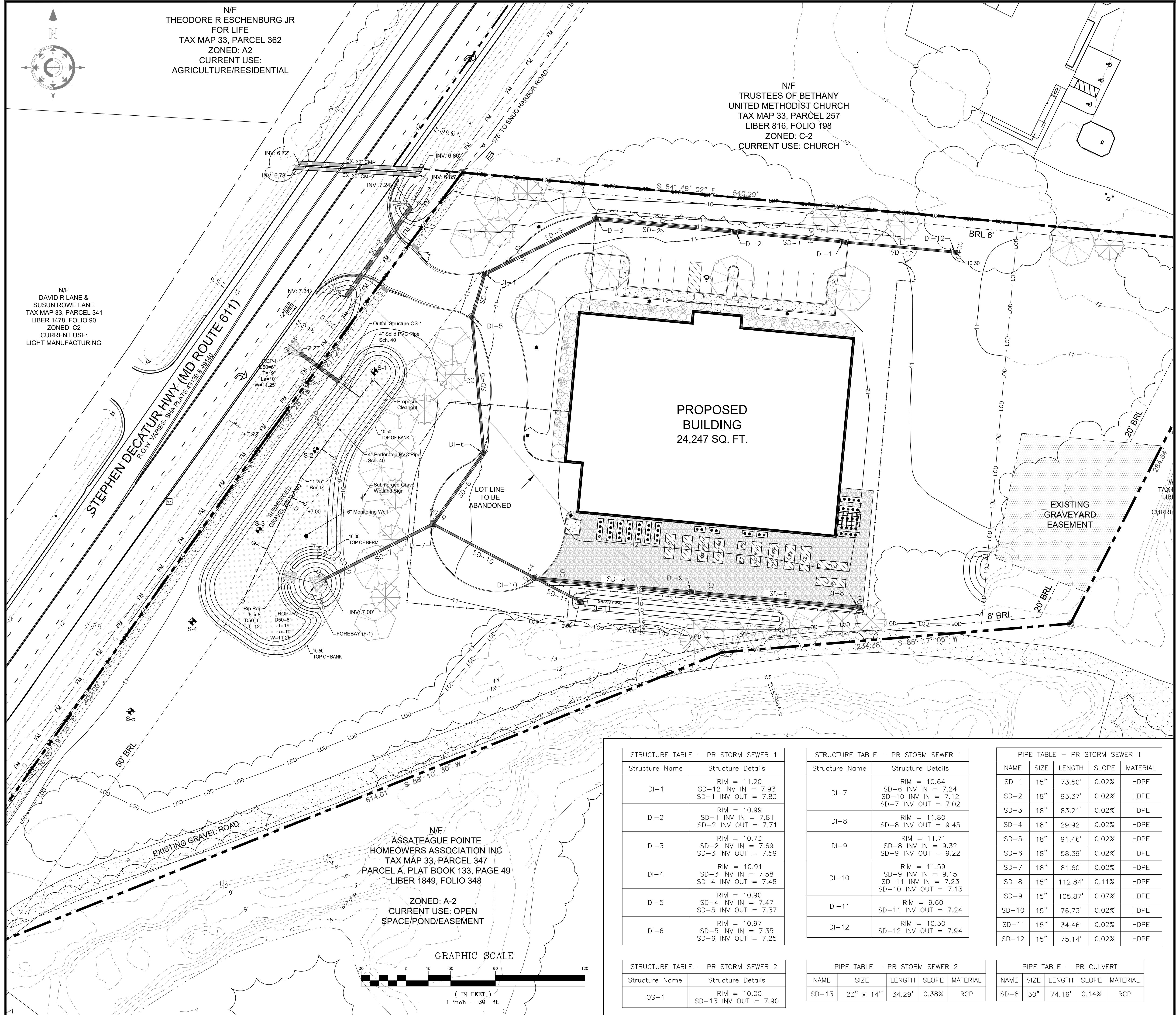
Atlantic Group
& Associates, Inc.

10044 Old Ocean City Boulevard
Berlin, Maryland 21811
Ph: (410) 629-1160
Fax: (410) 629-1710
www.the-atlanticgrp.com

**CONCEPT
GRADING
PLAN**







SUBMERGED GRAVEL WETLAND CONSTRUCTION AND INSTALLATION GUIDELINES:

1. CONTACT THE WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. **FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.**
2. ALL ON-SITE DISTURBED AREAS SHOULD BE STABILIZED PRIOR TO ALLOWING RUNOFF TO ENTER THE NEWLY CONSTRUCTED WETLAND.
3. THE PROPOSED LOCATION OF A SUBMERGED GRAVEL WETLAND SHALL BE PROTECTED DURING CONSTRUCTION. SURFACE RUNOFF SHALL BE DIVERTED AWAY FROM THE PRACTICE DURING GRADING OPERATIONS. FLOW SPLITTERS AND OTHER CONVEYANCE INFRASTRUCTURE SHALL BE BLOCKED.
4. WETLAND CONSTRUCTION SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA. ANY PUMPING OPERATIONS SHALL DISCHARGE FILTERED WATER TO A STABLE OUTLET.
5. THE AGGREGATE SHALL BE COMPOSED OF CLEAN WASHED, UNIFORMLY GRADED MATERIAL WITH A POROSITY OF 40%. ROUNDED BANK RUN GRAVEL IS RECOMMENDED.

MAINTENANCE AND INSPECTION:

1. REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
 - DURING EXCAVATION TO SUBGRADE.
 - DURING PLACEMENT OF BACKFILL OF PERFORATED INLET PIPE AND OBSERVATION WELLS.
 - DURING PLACEMENT OF GEOTEXTILES AND ALL FILTER MEDIA.
 - DURING CONSTRUCTION OF ANY APPURTEnant CONVEYANCE SYSTEMS SUCH AS DIVERSION STRUCTURES, INLETS, OUTLETS, AND FLOW DISTRIBUTION STRUCTURES.
 - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION, AND BEFORE ALLOWING RUNOFF TO ENTER THE WETLAND.
2. PRIVATELY OWNED PRACTICES SHALL HAVE A MAINTENANCE PLAN AND SHALL BE PROTECTED BY EASEMENT, DEED RESTRICTION, ORDINANCE, OR OTHER LEGAL MEASURES PREVENTING ITS NEGLECT, ADVERSE ALTERATION, AND REMOVAL.
3. DURING THE FIRST YEAR OF OPERATION, INSPECTIONS SHOULD BE CONDUCTED AFTER EVERY MAJOR STORM AND POORLY ESTABLISHED AREAS REVEGETATED.
 - 3.1. INSPECT TO BE CERTAIN SYSTEM DRAINS WITHIN 24-72 HRS (WITHIN THE DESIGN PERIOD, BUT ALSO NOT SO QUICKLY AS TO MINIMIZE STORMWATER TREATMENT)).
 - 3.2. WATERING PLANTS AS NECESSARY DURING THE FIRST GROWING SEASON
 - 3.3. RE-VEGETATING POORLY ESTABLISHED AREAS AS NECESSARY
 - 3.4. TREATING DISEASED VEGETATION AS NECESSARY
 - 3.5. QUARTERLY INSPECTION OF SOIL AND REPAIRING ERODED AREAS, ESPECIALLY ON SLOPES
 - 3.6. CHECKING INLETS, OUTLETS, AND OVERFLOW SPILLWAY FOR BLOCKAGE, STRUCTURAL INTEGRITY, AND EVIDENCE OF EROSION
4. INSPECTION FREQUENCY SHOULD BE AT LEAST EVERY 6 MONTHS THEREAFTER, OR AS THE LOCAL JURISDICTION DEEMS NECESSARY. INSPECTION FREQUENCY CAN BE REDUCED TO ANNUAL FOLLOWING 2 YEARS OF MONITORING THAT INDICATES THE RATE OF SEDIMENT ACCUMULATION IS LESS THAN THE CLEANING CRITERIA LISTED BELOW. INSPECTIONS SHOULD FOCUS ON:
 - 4.1. CHECKING THE FILTER SURFACE FOR DENSE, COMPLETE, ROOT MAT ESTABLISHMENT ACROSS THE WETLAND SURFACE. THOROUGH REVEGETATION WITH GRASSES, FORBS, AND SHRUBS IS NECESSARY. UNLIKE BIORETENTION, WHERE MULCH IS COMMONLY USED, COMPLETE SURFACE COVERAGE WITH VEGETATION IS NEEDED.
 - 4.2. CHECKING THE GRAVEL WETLAND SURFACE FOR STANDING WATER OR OTHER EVIDENCE OF RISER CLOGGING, SUCH AS DISCOLORED OR ACCUMULATED SEDIMENTS.
 - 4.3. CHECKING THE SEDIMENTATION CHAMBER OR FOREBAY FOR SEDIMENT ACCUMULATION, TRASH, AND DEBRIS.
 - 4.4. INSPECT TO BE CERTAIN THE SEDIMENTATION FOREBAY DRAINS WITHIN 24 TO 72 HRS.
 - 4.5. CHECKING INLETS, OUTLETS, AND OVERFLOW SPILLWAY FOR BLOCKAGE, STRUCTURAL INTEGRITY, AND EVIDENCE OF EROSION.
 - 4.6. REMOVAL OF DECAYING VEGETATION, LITTER, AND DEBRIS.
5. SEDIMENT ACCUMULATION IN THE PRETREATMENT AREAS SHOULD BE REMOVED AS NECESSARY.
6. SIGNS OF UNEVEN FLOW DISTRIBUTION WITHIN THE WETLAND MAY MEAN THAT THE GRAVEL OR UNDERDRAIN IS CLOGGED. THE GRAVEL AND/OR UNDERDRAIN MAY NEED TO BE REMOVED, CLEANED, AND REPLACED.
7. A DENSE STAND OF WETLAND VEGETATION SHOULD BE MAINTAINED THROUGH THE LIFE OF THE FACILITY WITH PLANTINGS REPLACED AS NEEDED.
8. INLETS AND OUTLETS TO EACH SUBMERGED GRAVEL WETLAND CELL SHOULD BE FREE FROM DEBRIS TO PREVENT CLOGGING.
9. EROSION AT INFLOW POINTS SHOULD BE REPAIRED. FLOW SPLITTERS SHOULD BE FUNCTIONAL TO PREVENT BYPASSING OF THE FACILITY.
10. THE OUTFALL PIPE FROM THE SGW FACILITY SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF JETTING/CLEANOUT WILL BE NECESSARY.

PLANS ISSUED FOR:
Review

OCEAN CITY CABLE LANDING STATION

WORCESTER COUNTY, MARYLAND

Julianic Group
Associates, Inc.

Land Planners
Landscape Architects
Surveyors

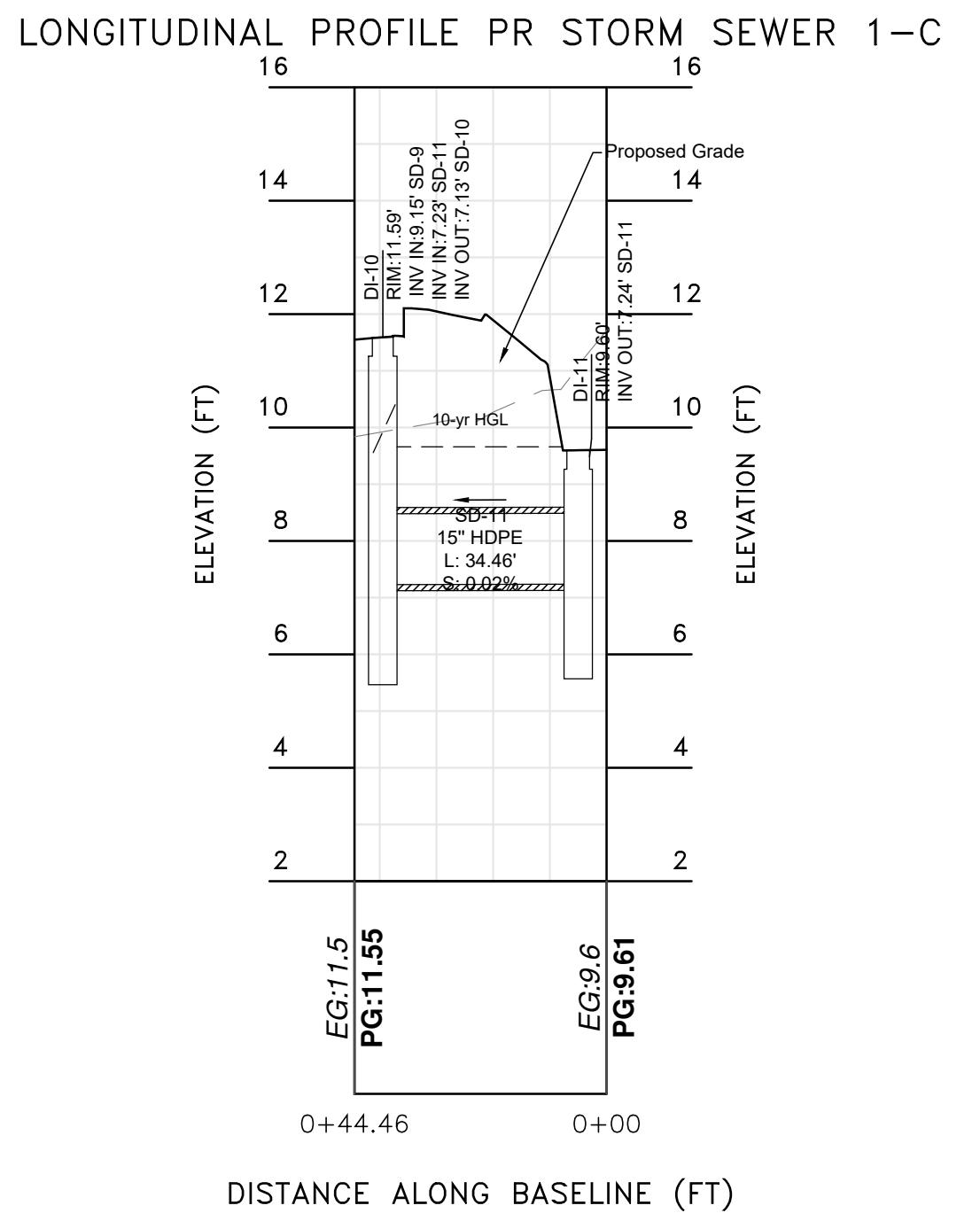
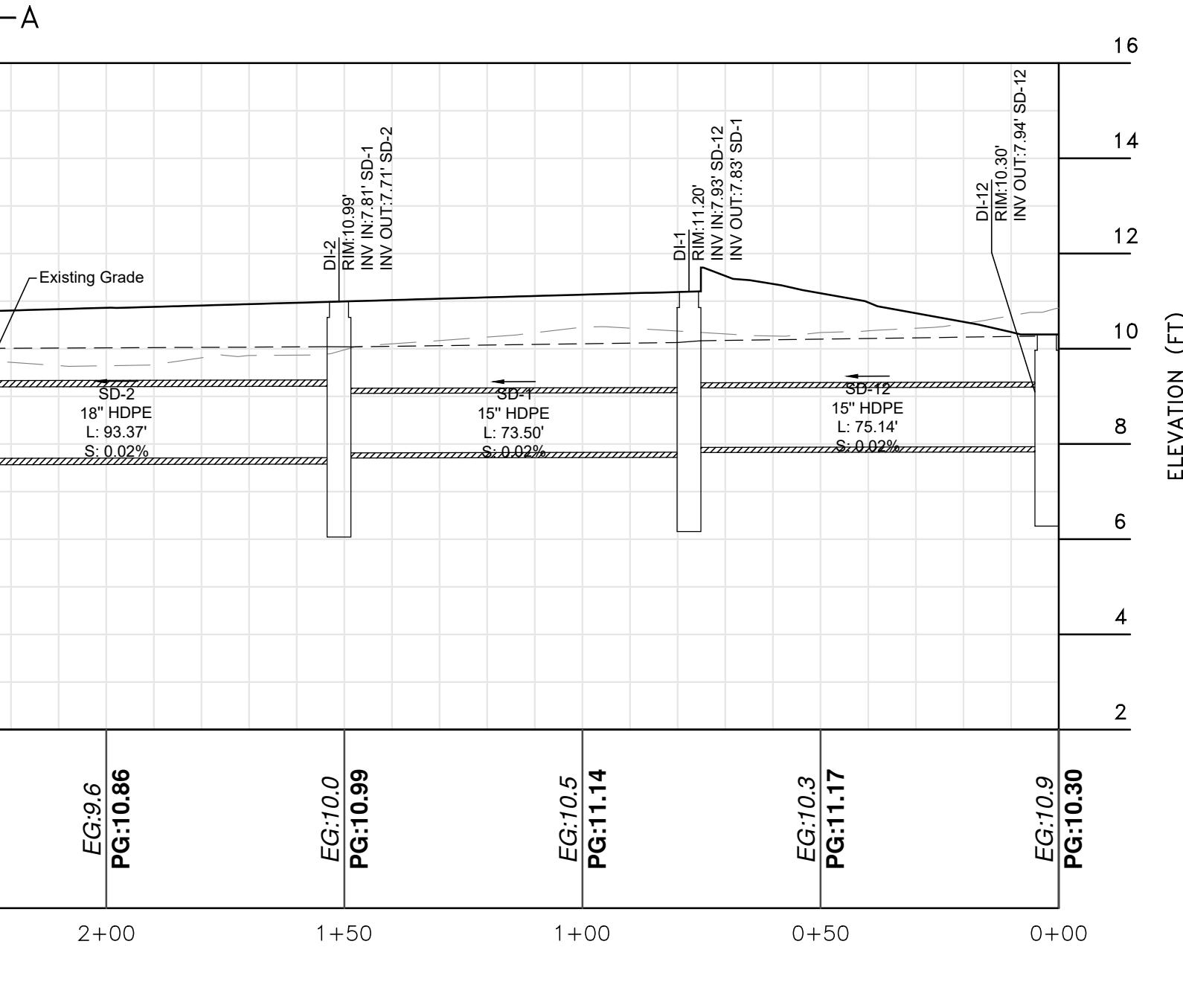
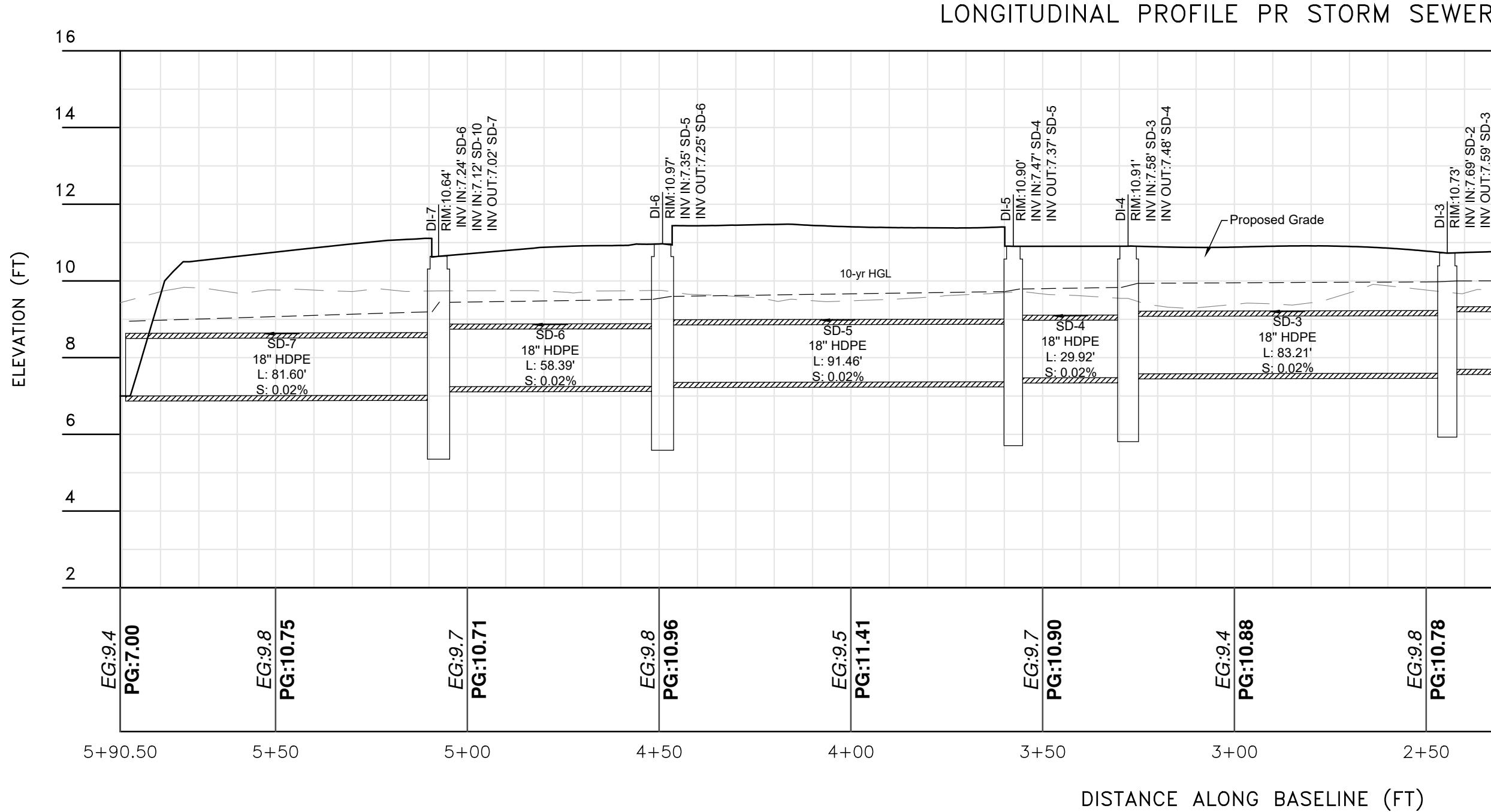
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CONCEPT SWM PLAN

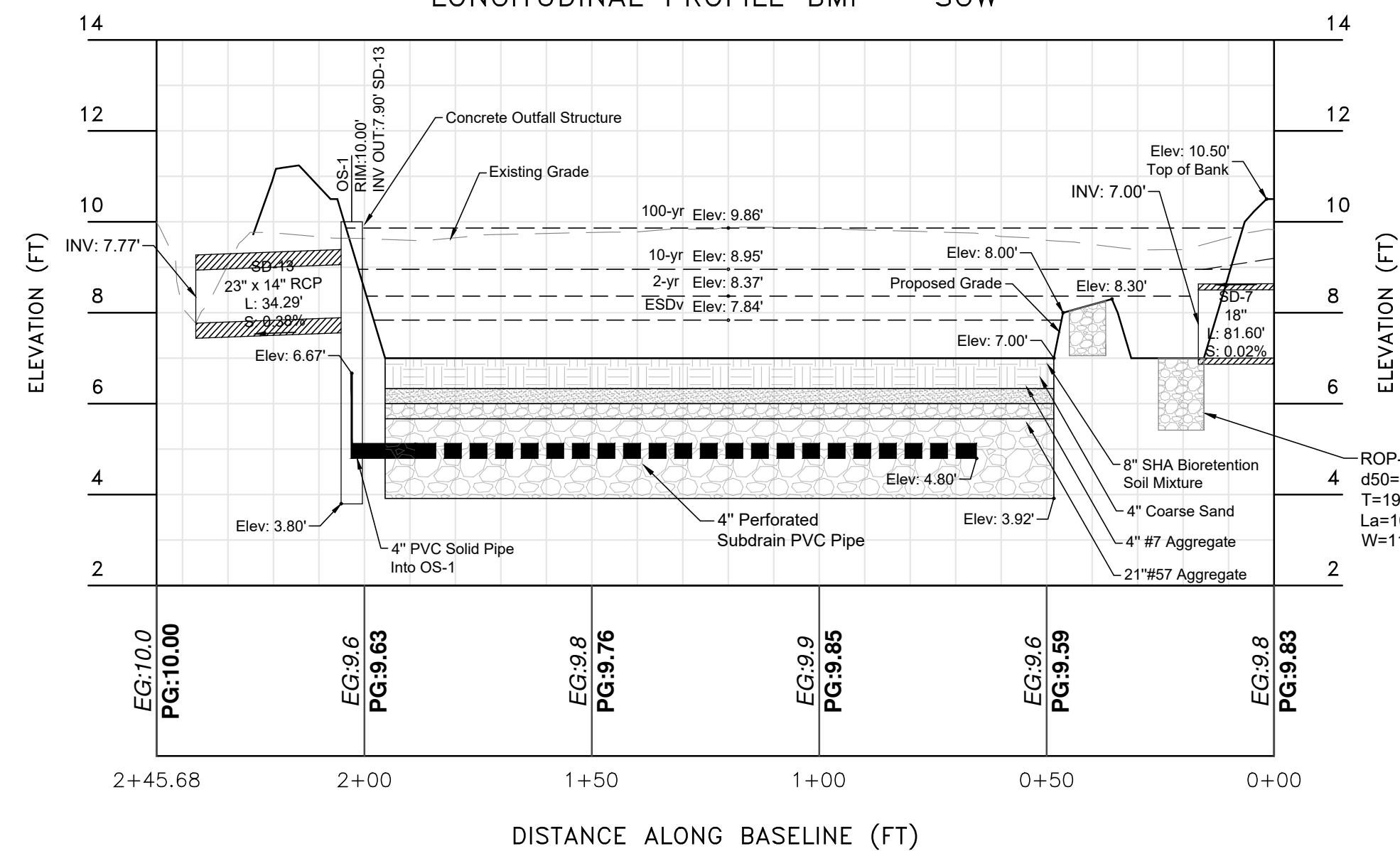
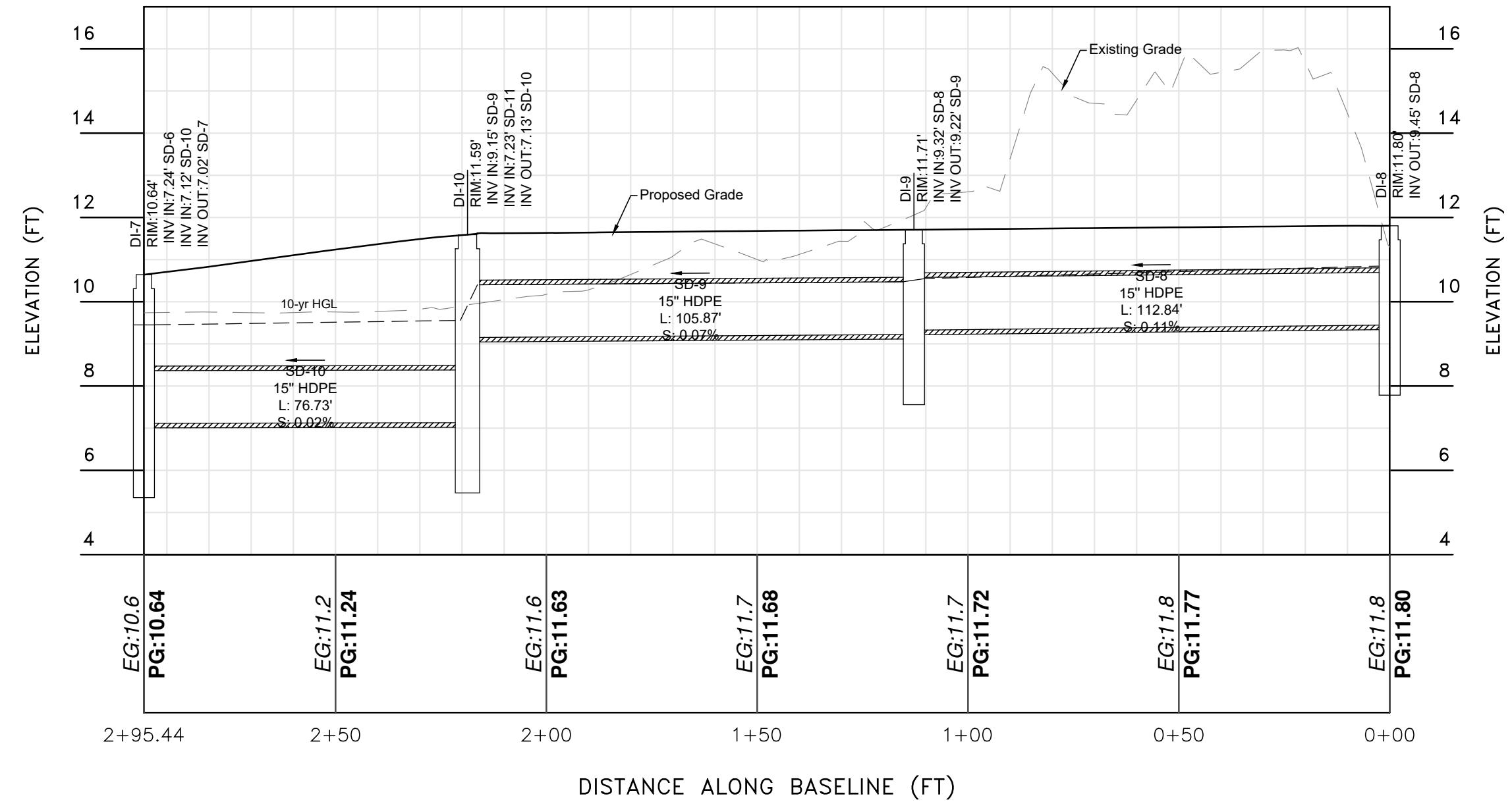
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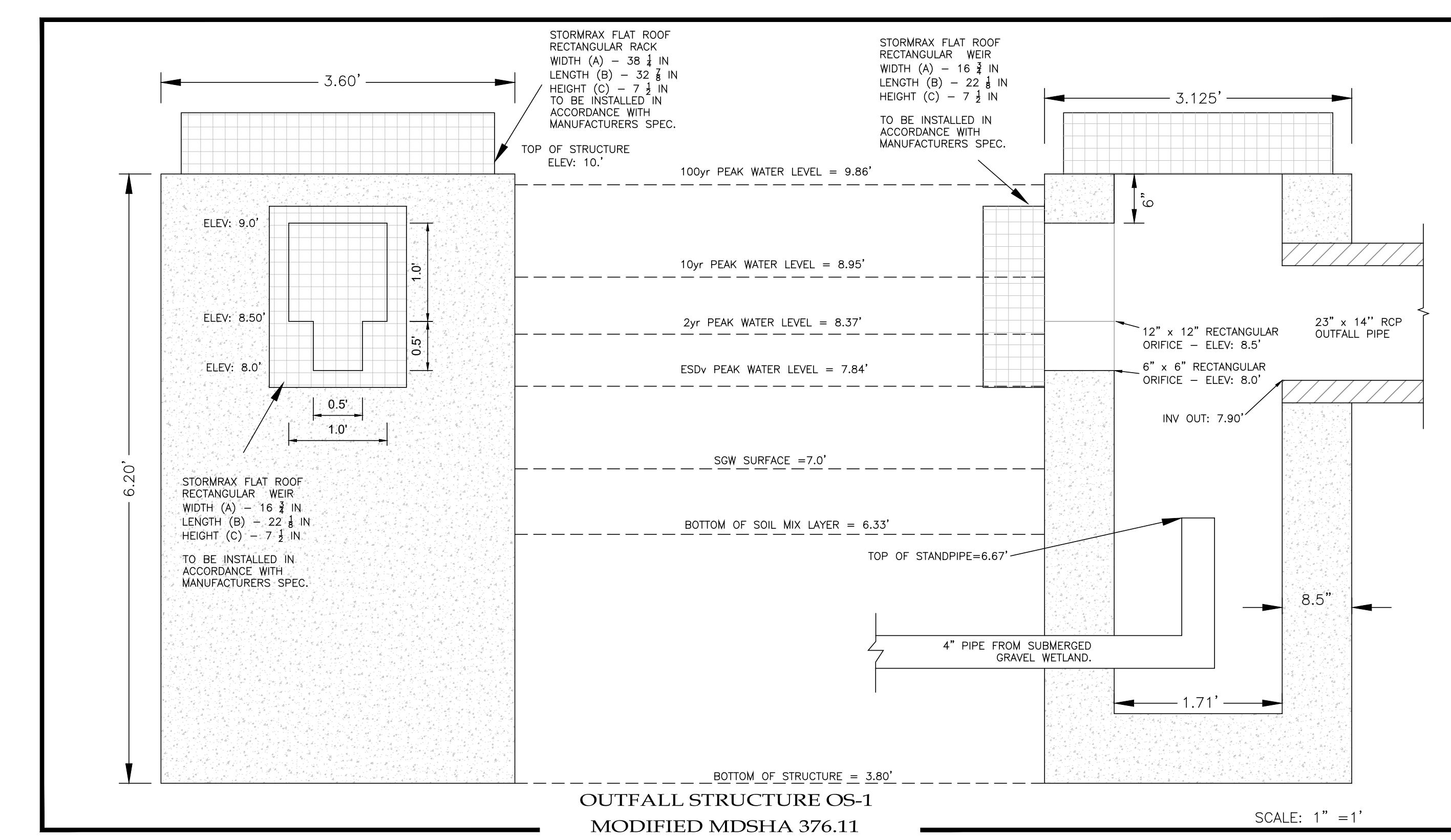
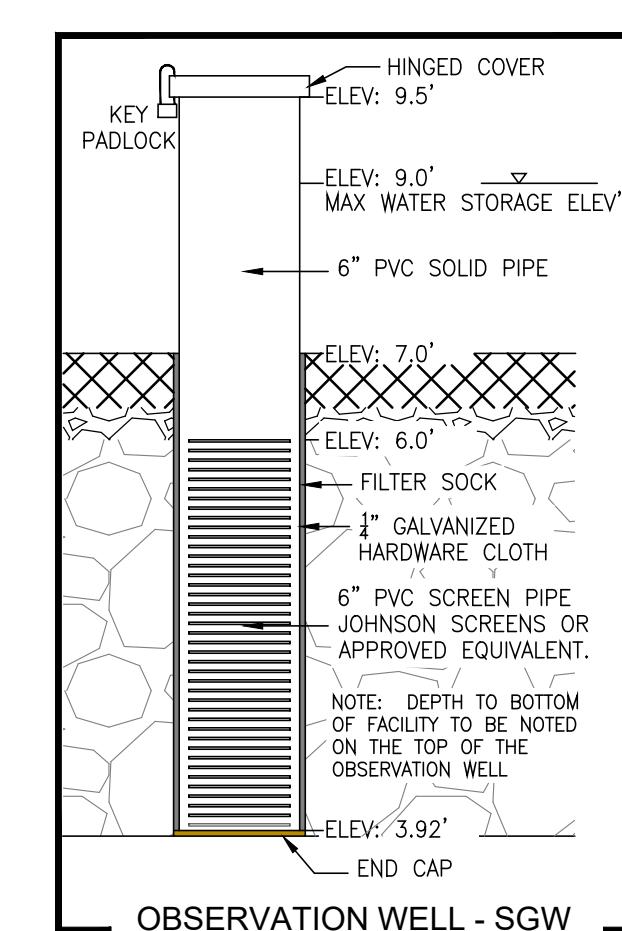
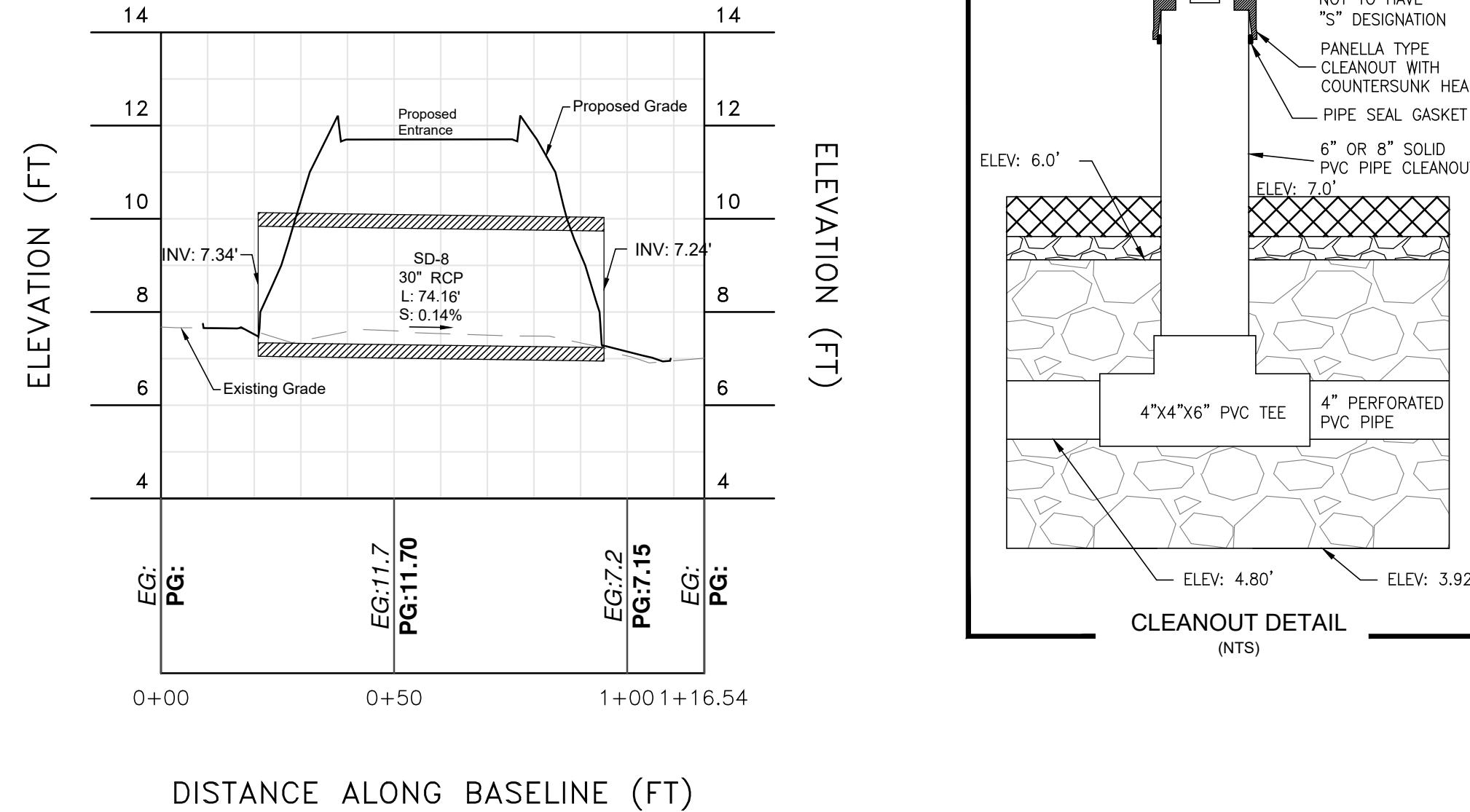
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LONGITUDINAL PROFILE PR STORM SEWER 1-E



LONGITUDINAL PROFILE PR CULVERT



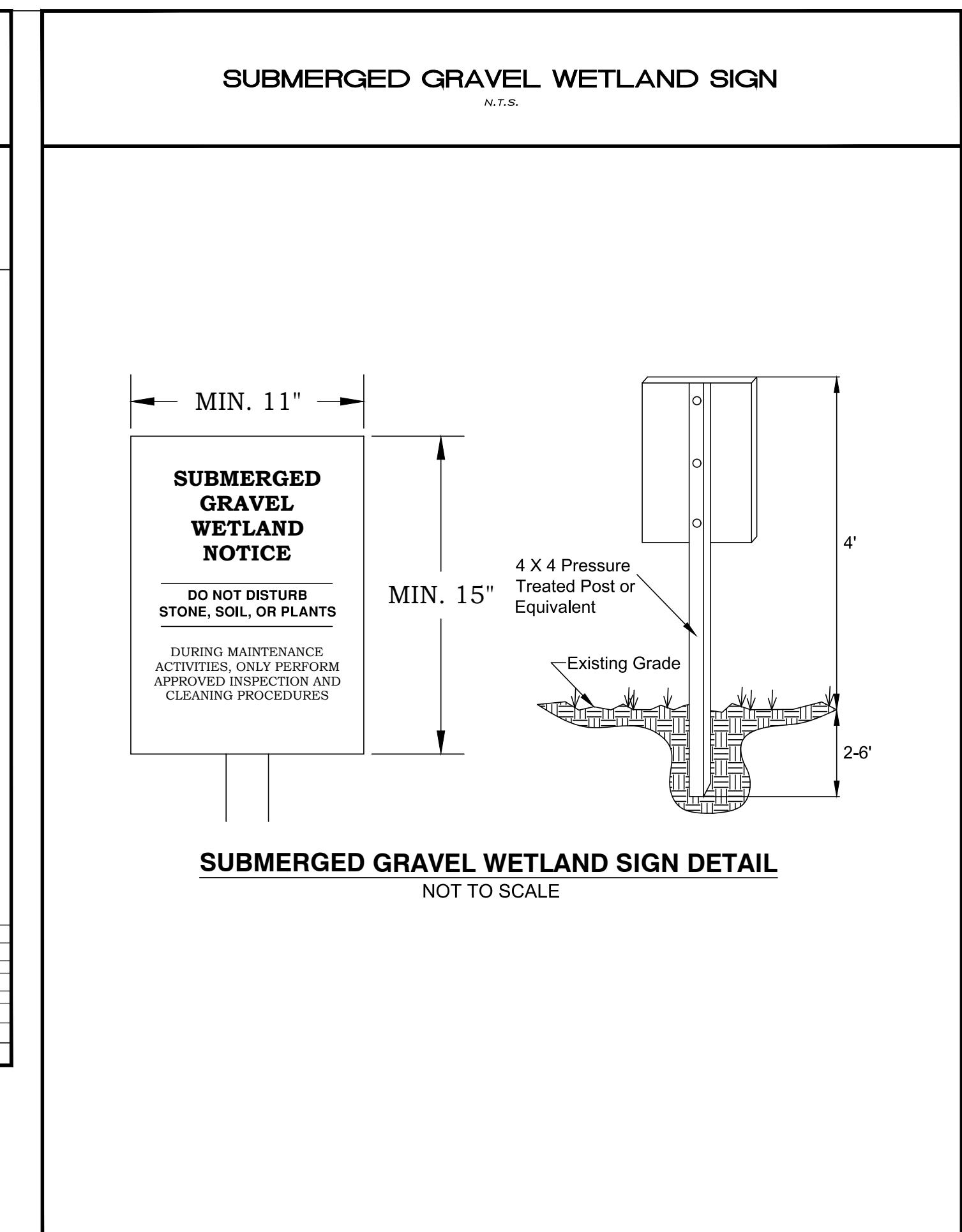
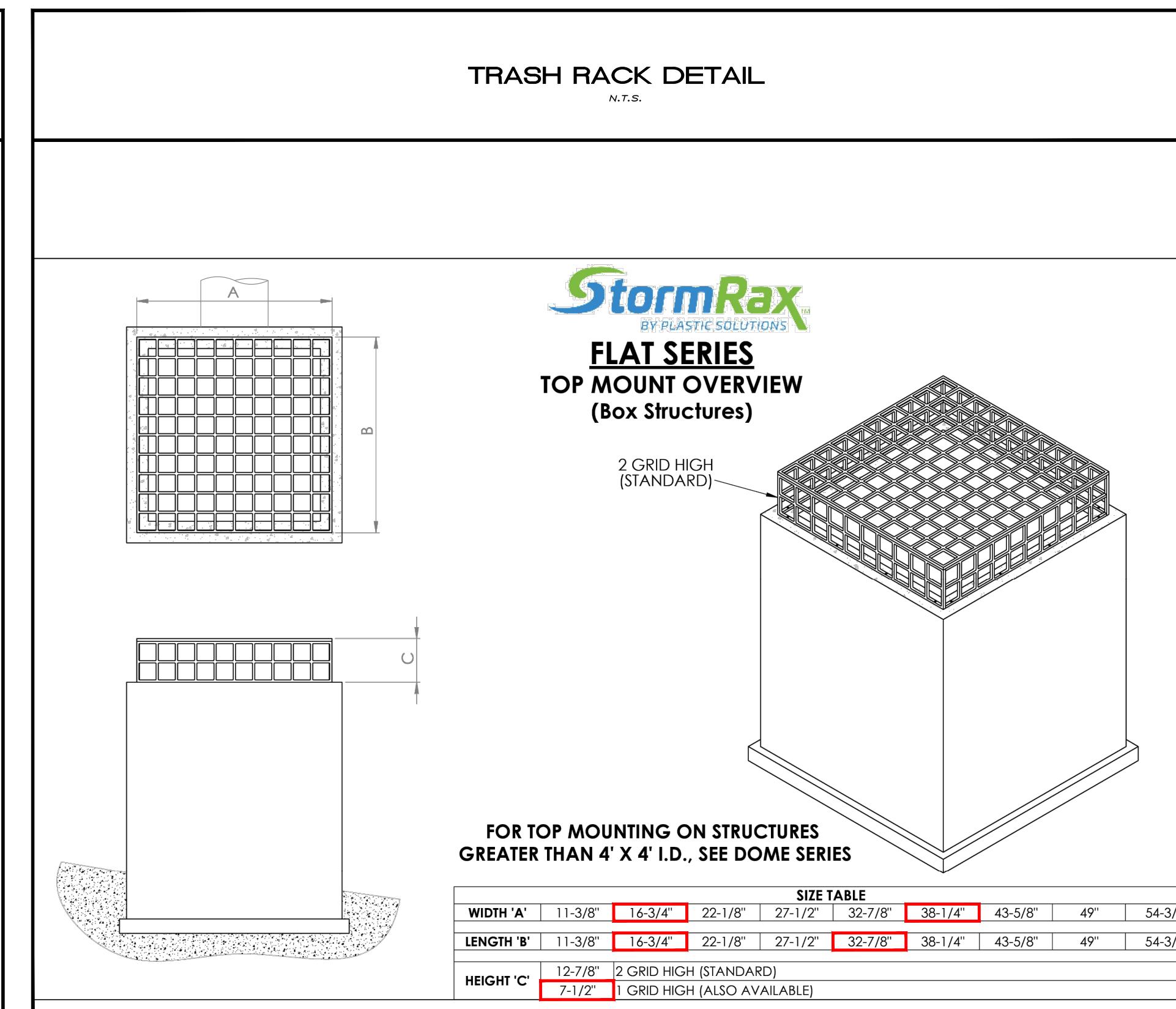
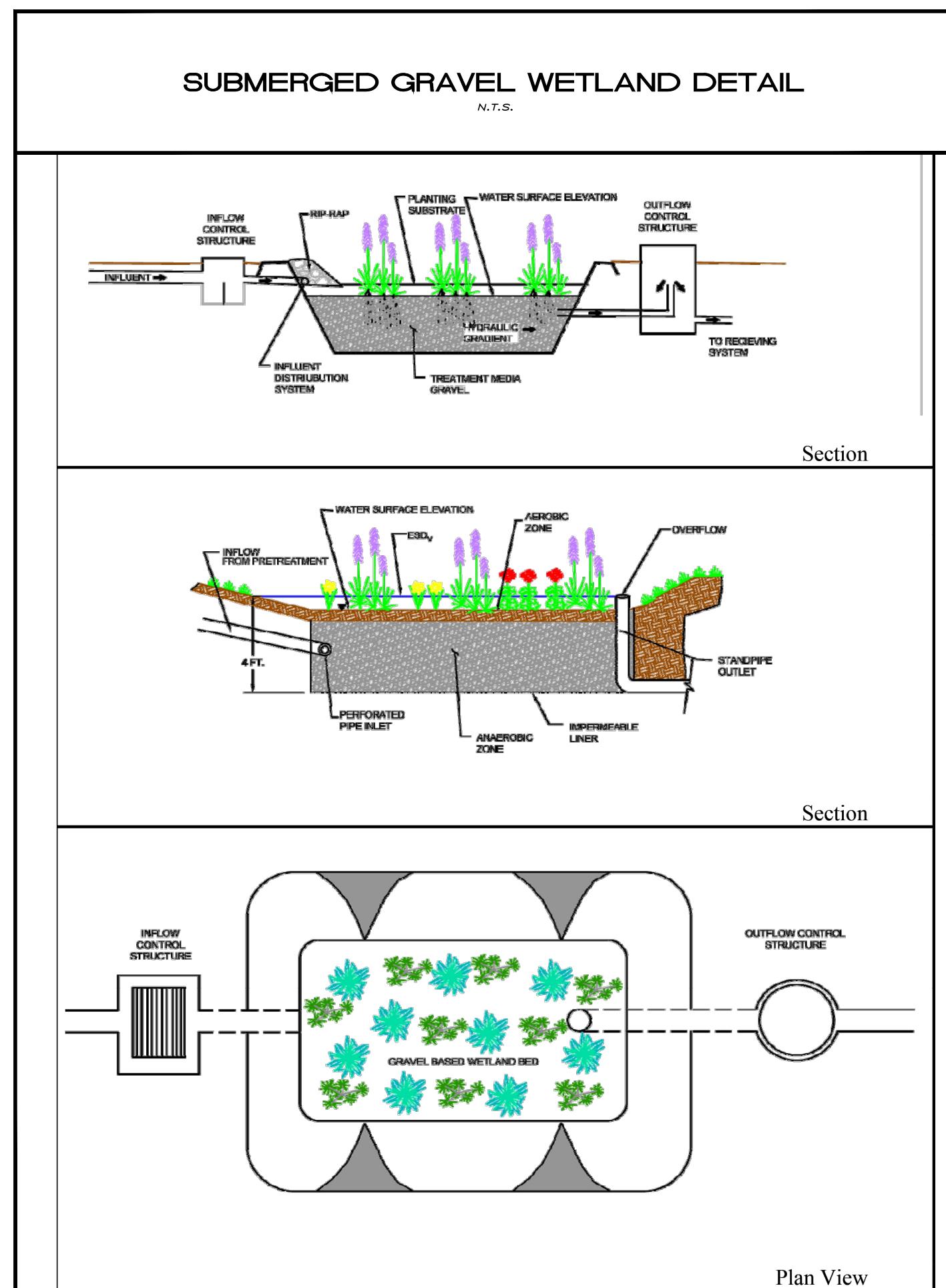
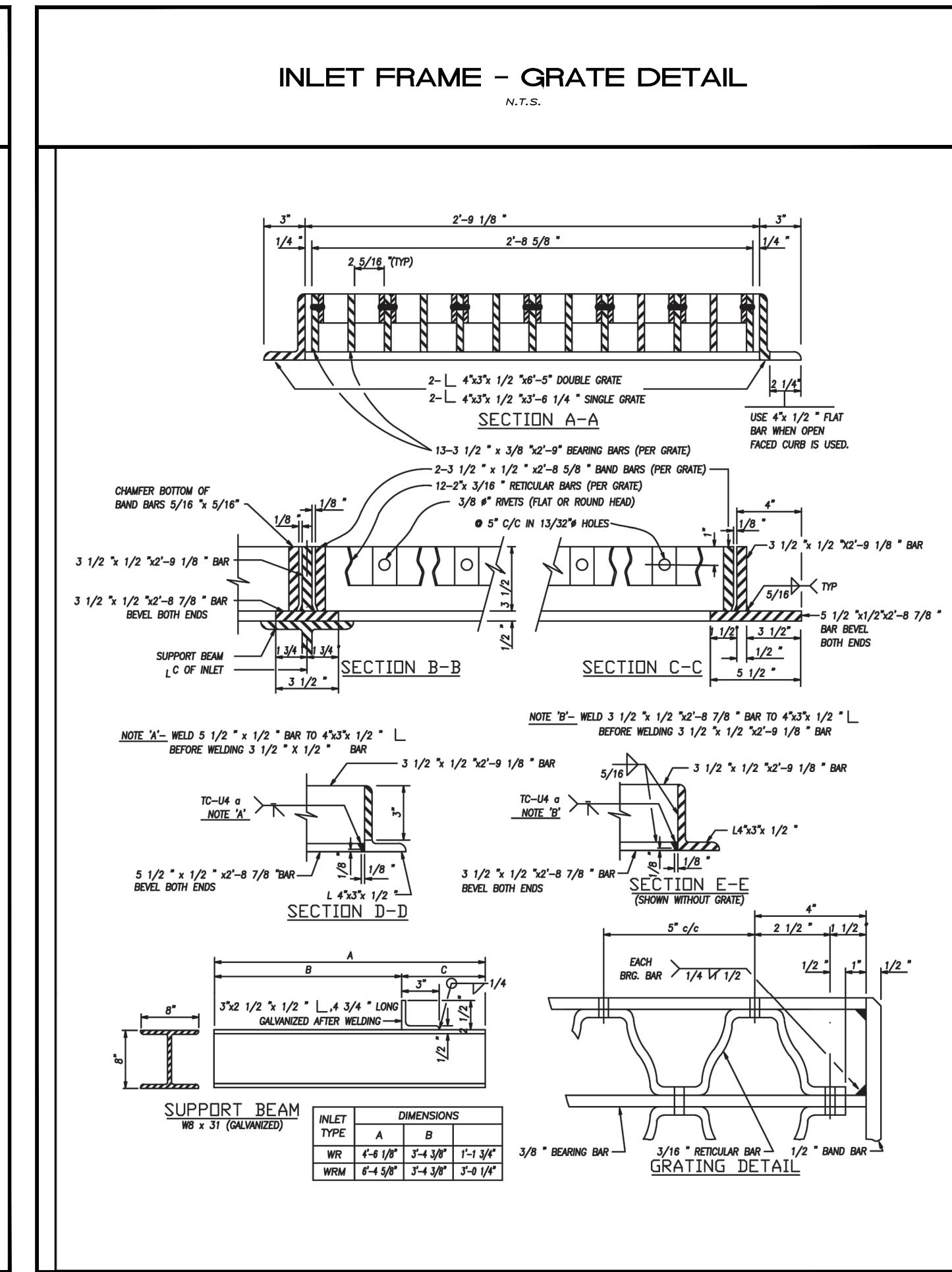
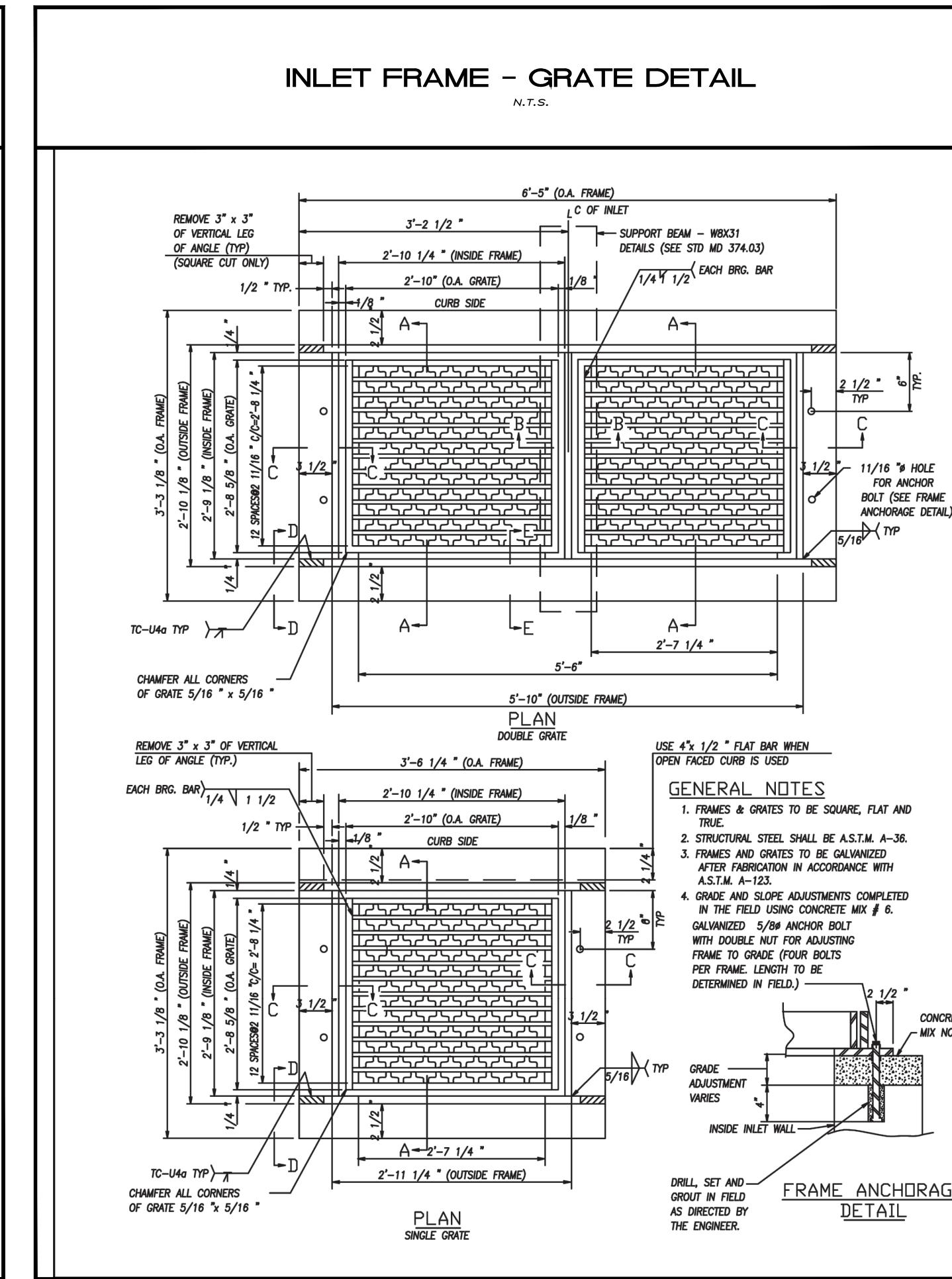
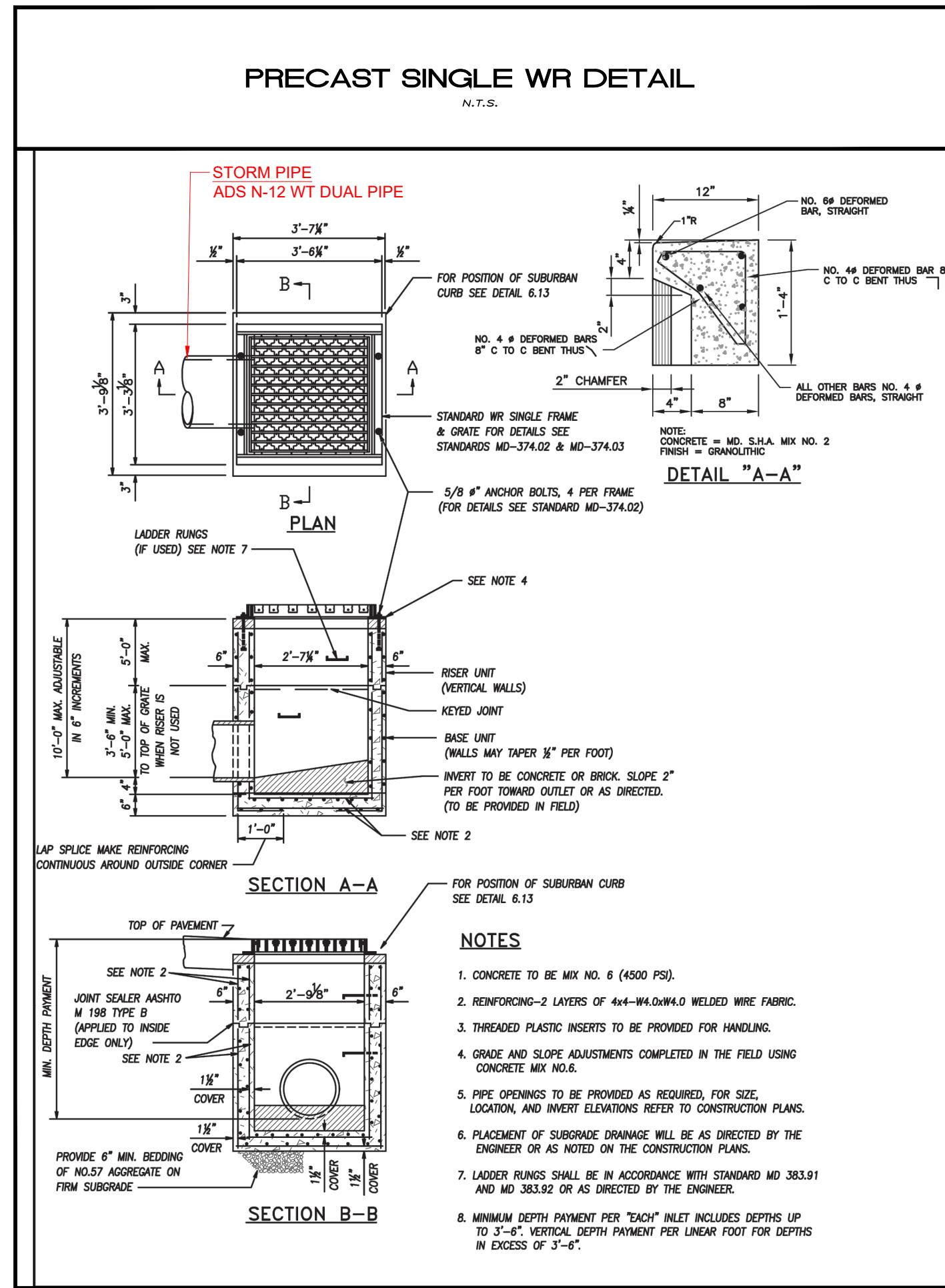
OCEAN CITY CABLE LANDING STATION

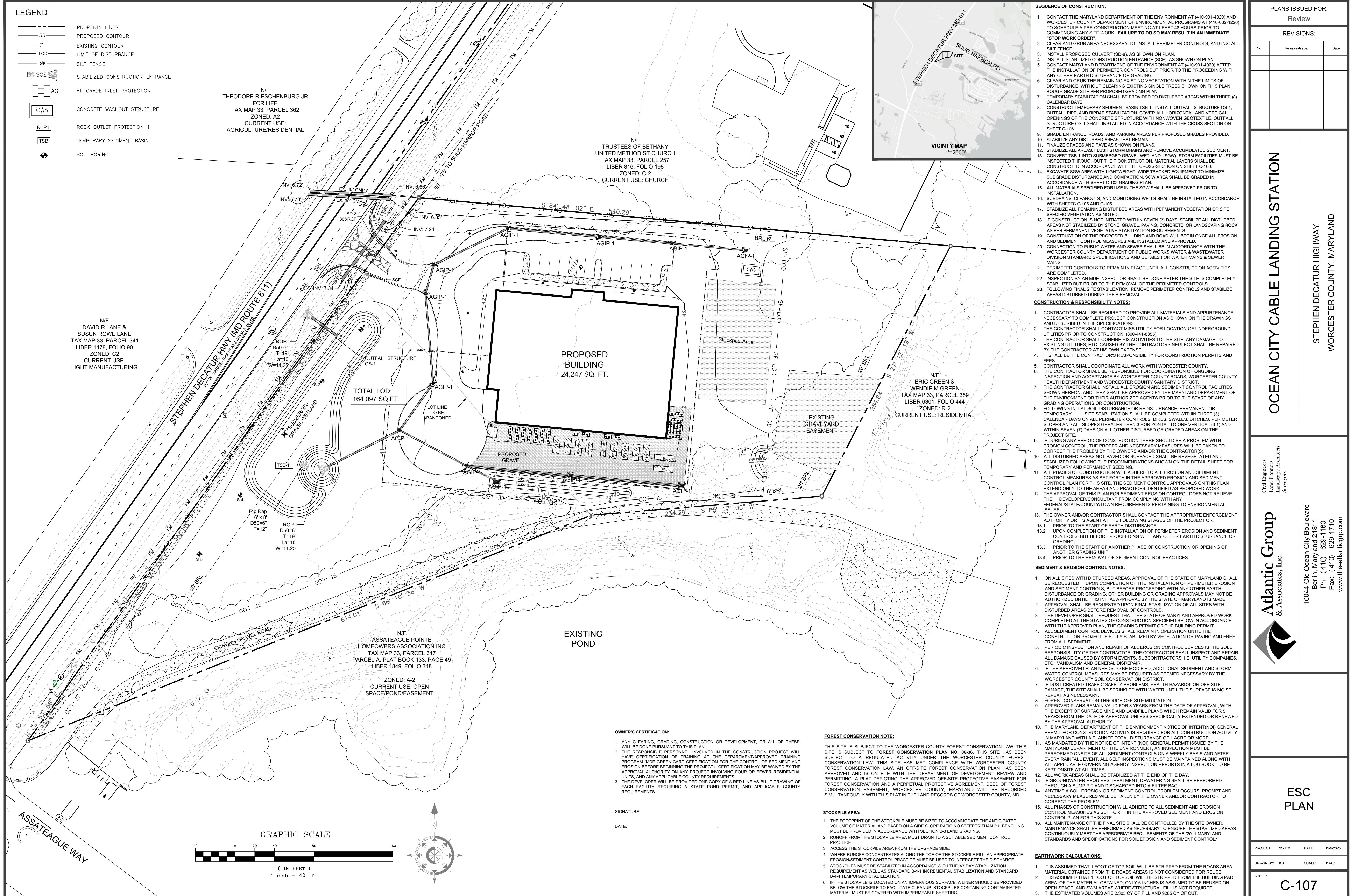
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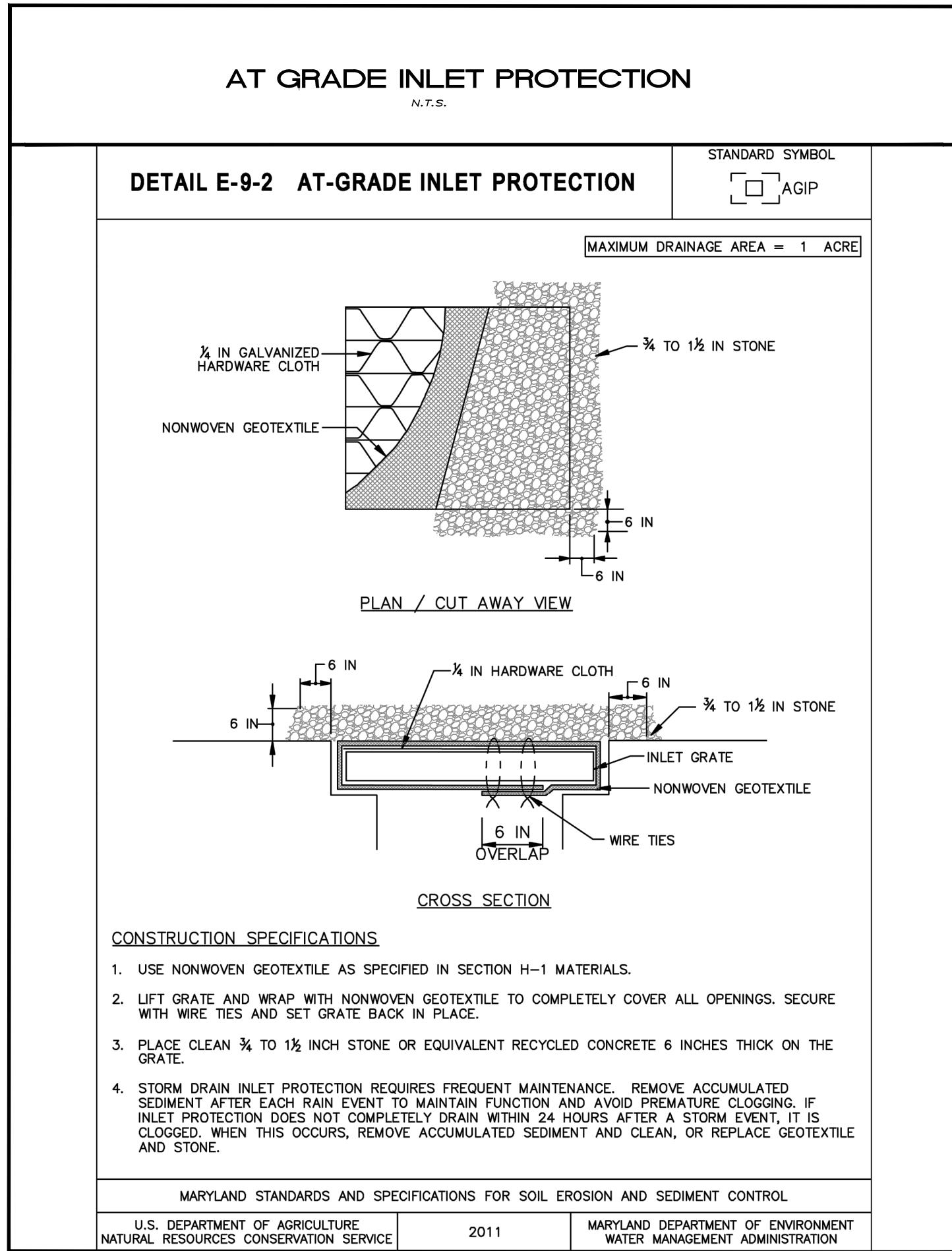
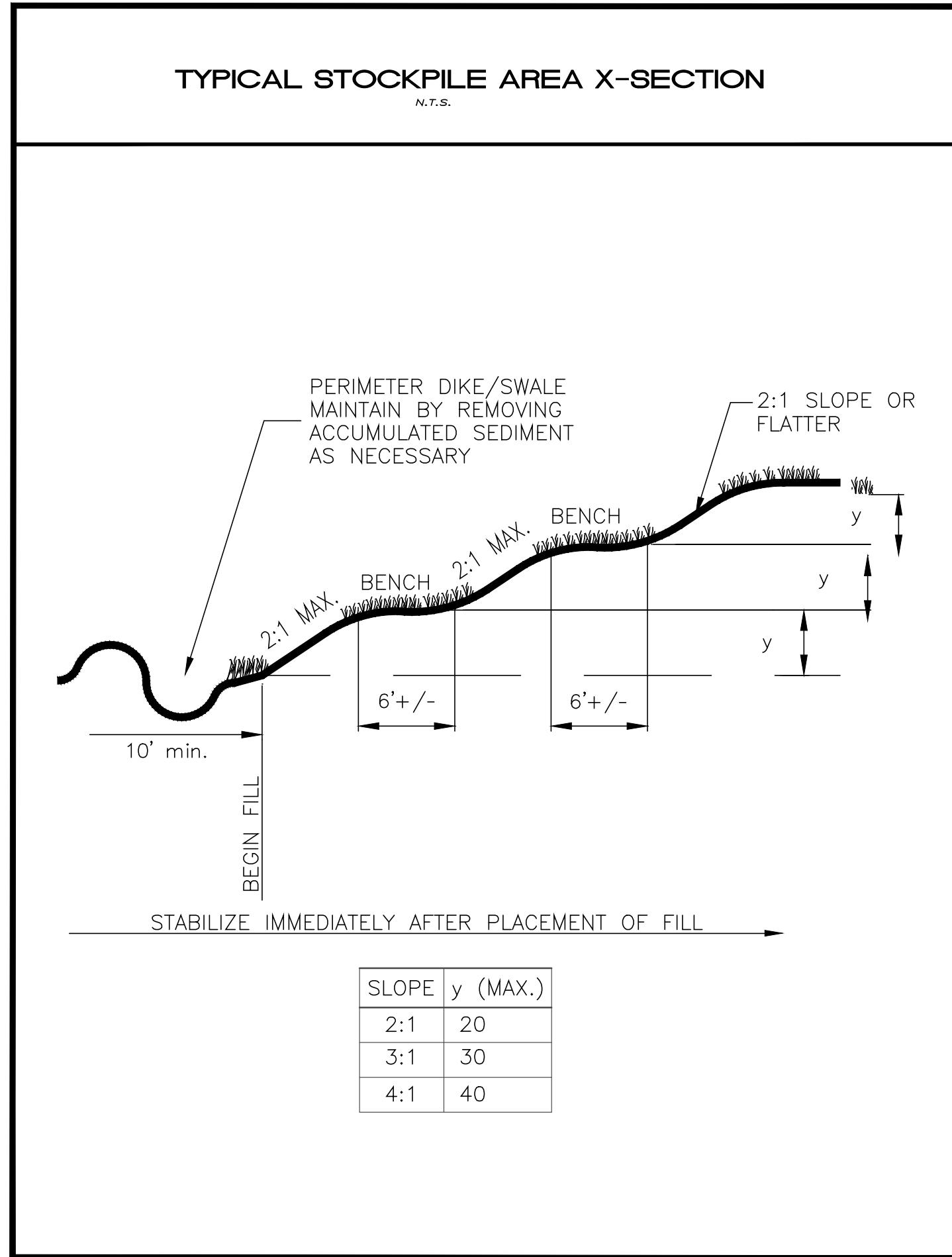
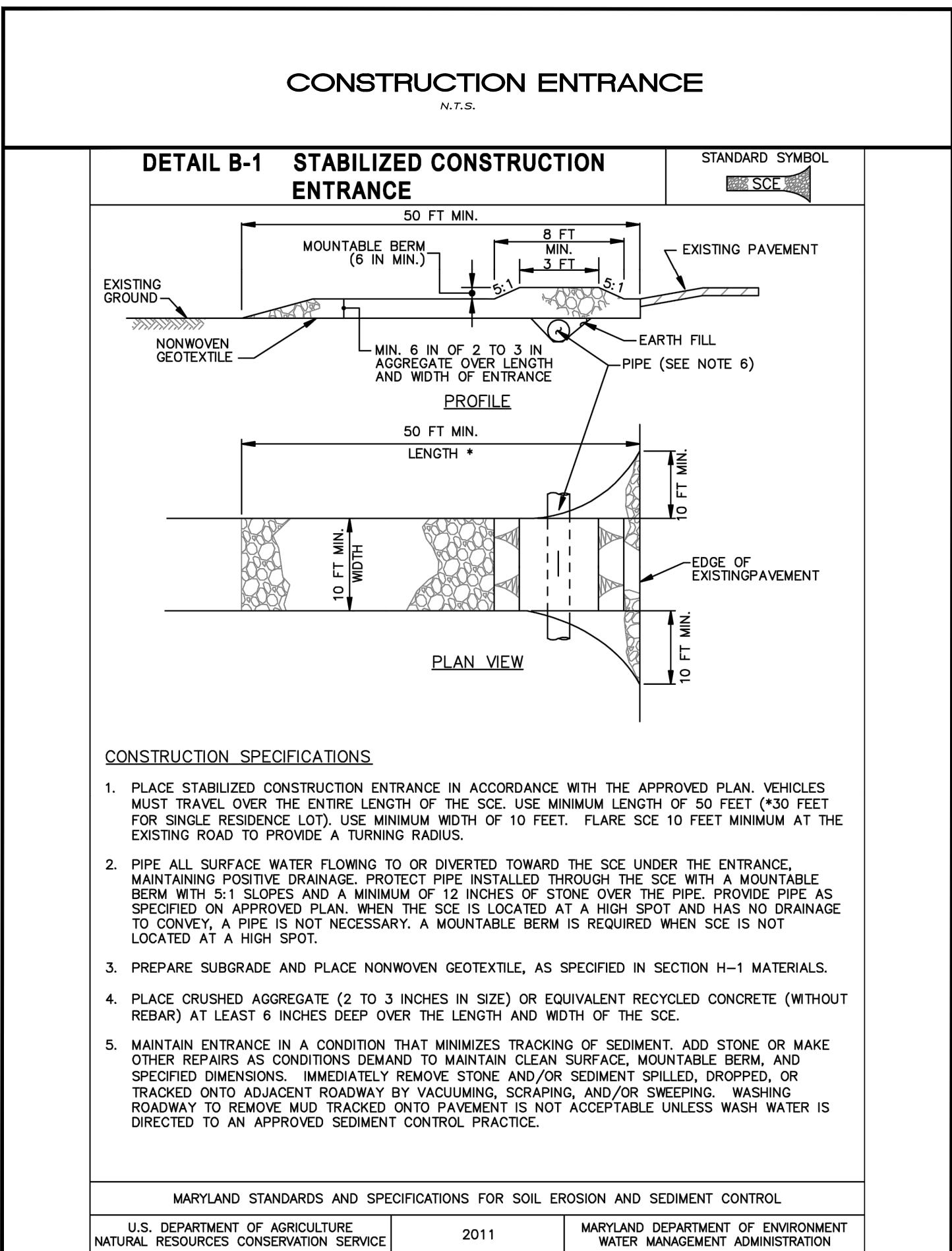
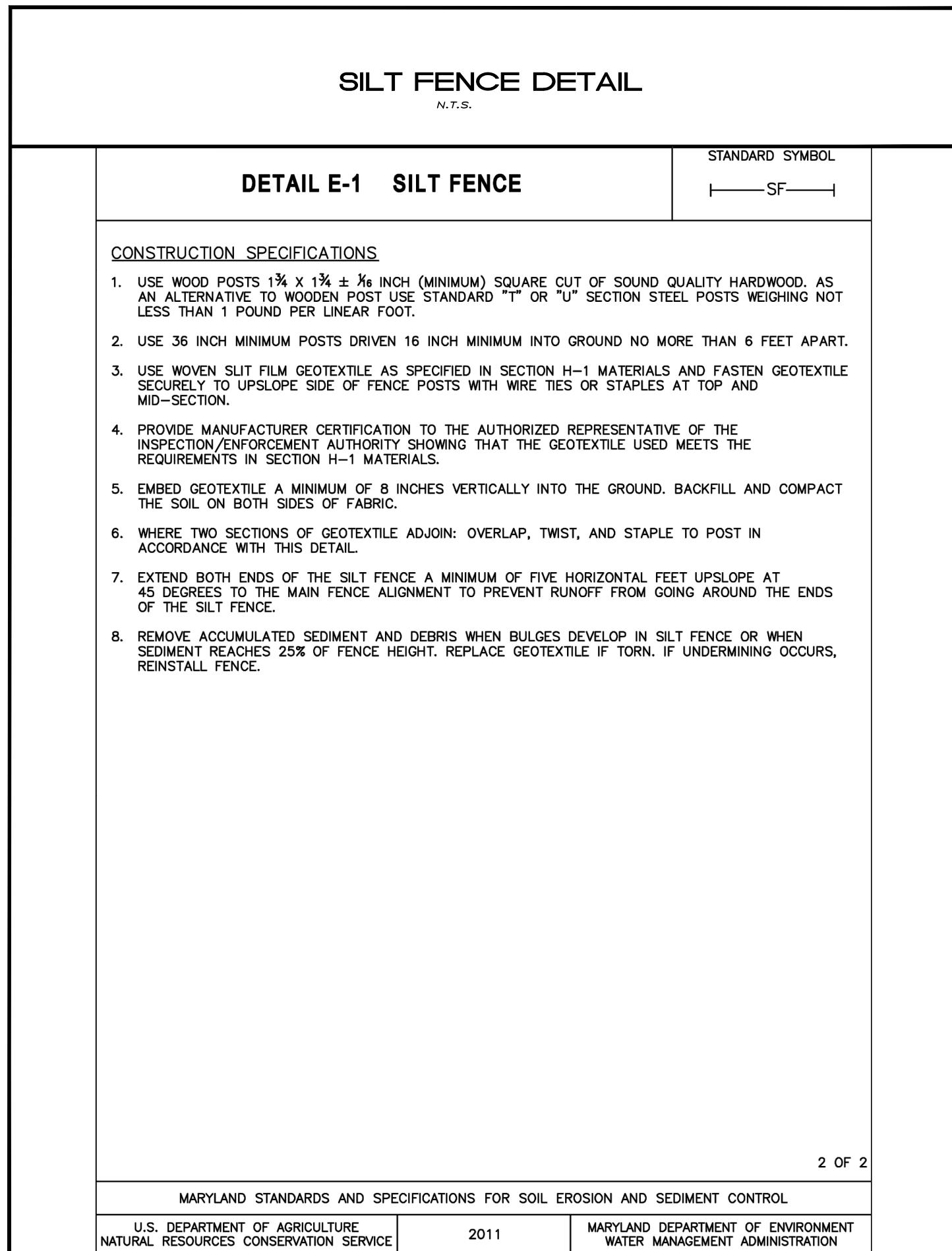
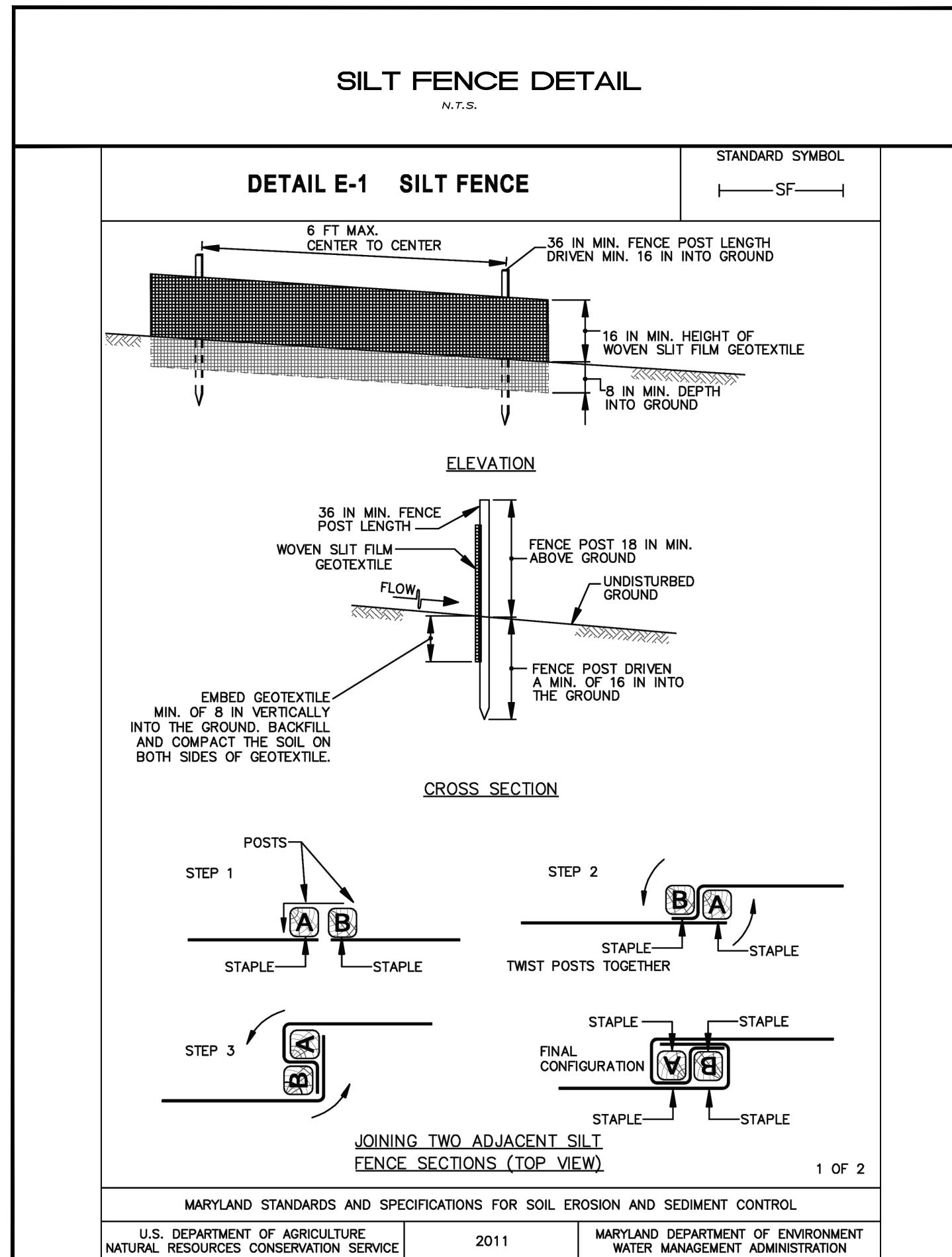
ESDv Storage Calculations (Submerged Gravel Wetland)
Required ESDv to be treated = 12,791 cf.
Volume w/in Saturated Soil and Stone = 6,338 sf x (6.67' - 3.92') x 0.40 = 6,972 cf
Volume w/in Unsaturated Soil and Stone = 6,338 sf x (7.0' - 6.67') x 0.40 = 845 cf
Volume in Free Storage = (7 to 8) = 8,302 cf (Stage Storage Calc.)
Total ESDv Storage in Facility = 16,119 cf





No.	Revision/Issue:	Date

OCEAN CITY CABLE LANDING STATION

STEPHEN DECATUR HIGHWAY
WORCESTER COUNTY, MARYLAND

TEMPORARY SEEDING
N.T.S.

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ^{1/}		Seeding Depth ^{2/} (inches)	Recommended Seeding Dates by Plant Hardiness Zone ^{3/}		
	lb/ac	lb/1000 ft ²		5b and 6a	6b	7a and 7b
Cool-Season Grasses						
Annual Ryegrass (<i>Lolium perenne</i> ssp. <i>multiforme</i>)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Barley (<i>Hordeum vulgare</i>)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Oats (<i>Avena sativa</i>)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Wheat (<i>Triticum aestivum</i>)	120	2.8	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Cereal Rye (<i>Secale cereale</i>)	112	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 31	Mar 1 to May 15; Aug 1 to Nov 15	Feb 15 to Apr 30; Aug 15 to Dec 15
Warm-Season Grasses						
Foxtail Millet (<i>Setaria italica</i>)	30	0.7	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14
Pearl Millet (<i>Pennisetum glaucum</i>)	20	0.5	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14

NOTES:

1/ Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.

2/ For sandy soils, plant seeds at twice the depth listed above.

3/ The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

Civil Engineers
Land Planners
Landscape Architects
Surveyors

Atlantic Group
& Associates, Inc.

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www.the-atlanticgrp.com

ESC DETAILS

PROJECT: 25-110 DATE: 12/9/2025

DRAWN BY: KB SCALE: NTS

SHEET: C-501

No.	Revision/Issue:	Date

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