

WORCESTER COUNTY PLANNING COMMISSION AGENDA

Thursday, October 2, 2025

**Worcester County Government Center
One West Market St., Room 1102
Snow Hill, Maryland 21863**

The public is invited to view this meeting live: <https://worcestercountymd.swagit.com/live>

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order (1:00 p.m.)

II. Administrative Matters

- A. Planning Commission Meeting Minutes – September 4, 2025
- B. Planning Commission Work Session Meeting Minutes – September 11, 2025
- C. Board of Zoning Appeals Agenda – October 9, 2025
- D. Technical Review Committee Agenda – October 8, 2025

III. Site Plan Review

- A. Ocean Pines Volunteer Fire Department South Station – Major Site Plan Review

IV. Adjournment

**WORCESTER COUNTY PLANNING COMMISSION
MEETING MINUTES – September 4, 2025**

Meeting Date: September 4, 2025

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission

Jerry Barbierri, Chair

Phyllis Wimbrow

Betty Smith

Marlene Ott

Kathy Drew

Mary Knight

Ken Church

Staff

Jennifer Keener, Director, DRP

Matt Laick, Zoning Administrator, DRP

Ben Zito, DRP Specialist, DRP

Gary Pusey, DRP Specialist, DRP

Roscoe Leslie, County Attorney, Administration

I. Call to Order

II. Administrative Matters

A. Review and approval of minutes, August 7, 2025.

As the first item of business, the Planning Commission reviewed the minutes of the August 7, 2025, meeting.

Following the review, a motion was made by Ms. Ott to approve the minutes as written Ms. Drew seconded the motion, and the motion carried unanimously.

B. Board of Appeals Agenda, September 11, 2025.

As the next item of business, the Planning Commission reviewed the agenda for the Board of Zoning Appeals meeting scheduled for September 11, 2025. Mr. Pusey was present for the review to answer questions and address concerns of the Planning Commission.

Ms. Drew inquired about Case No. 25-39 regarding the two (2) variances to reduce the Atlantic Coastal Bays Critical Area buffer. Mr. Pusey provided an overview of the case and variance request. Hugh Cropper IV, in attendance, also provided details regarding the case.

After a discussion, no comments were forwarded to the Board.

C. Technical Review Committee Agenda, August 13, 2025.

As the next item of business, the Planning Commission reviewed the agenda for the Technical Review Committee meeting scheduled for September 10, 2025. Mr. Zito was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Committee.

III. Site Plan Review

**WORCESTER COUNTY PLANNING COMMISSION
MEETING MINUTES – September 4, 2025**

A. Pocomoke Storage, LLC – Major Site Plan Review, Automatic Landscaping Irrigation Waiver Request, and Gravel Waiver Request

As the next item of business, the Planning Commission reviewed a Major Site Plan for the Pocomoke Storage, LLC project.

Mr. Nathan Noble approached the table. Mr. Noble provided an overview of the project, and the need for an automatic landscaping irrigation waiver request per §ZS 1-322(b)(7). Mr. Zito clarified that an additional waiver for the proposed gravel driveway and parking area will be needed per §ZS 1-320(f)(1). Ms. Keener clarified that the site plan would need to receive a variance from the Board of Zoning Appeals from the 100' front yard setback from US Route 113.

Following a review, a motion was made by Ms. Knight to approve the site plan as submitted, contingent upon a variance from the Board of Zoning Appeals, as well as granting the waivers to the automatic landscaping irrigation and gravel driveway and parking areas.

Ms. Ott seconded the motion, and the motion carried unanimously.

IV. Miscellaneous

A. Approved Private Roads Request – The Elms Minor RPC

Mr. Hugh Cropper, IV and Mr. Steve Engel approached the table. Mr. Cropper provided an overview of the Elms RPC, as well as the request for the proposed private roads. Mr. Barbierri inquired about the proposed road names, and Mr. Engel provided insight into the selected road names.

Following a review, a motion was made by Ms. Knight for the Planning Commission to forward a favorable recommendation to the County Commissioners for the approval of the proposed private roads. Ms. Smith seconded the motion, and the motion carried unanimously.

V. Adjourn

On a motion made by Ms. Knight and seconded by Ms. Ott, the Planning Commission adjourned.

Mary Knight, Secretary

Ben Zito, DRP Specialist

**WORCESTER COUNTY PLANNING COMMISSION
WORK SESSION
MEETING MINUTES – September 11, 2025**

Meeting Date: September 11, 2025

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission

Jerry Barbierri, Chair
Phyllis Wimbrow, Vice Chair
Kathy Drew
Marlene Ott
Betty Smith
Mary Knight

Staff

Jennifer Keener, Director, DRP
Matt Laick, Deputy Director, DRP
Bob Mitchell, Director, EP
Lily Wagner, Planner, EP

- I. Call to Order**
- II. Comprehensive Plan Work Session**

Water Resource Element

As the first item of business, the Planning Commission met with Michael Bayer from Wallace Montgomery to discuss the revised draft Water Resources Element (WRE). The Planning Commission reviewed the various sections and made suggested edits. They had a discussion on wastewater treatment plant capacity, PFAs (“forever chemicals”), reporting of annual agricultural irrigation data, and reconciling the growth area numbers in the tables to a map.

Fisheries Element

The Planning Commission then reviewed the Fisheries Element, which is required for all jurisdictions that are located on tidal waters. Mr. Bayer stated that he provided the draft copy to Maryland Department of Natural Resources (DNR) for review and feedback and had additional data to be input. Staff and the Planning Commission recommended adding language about the impacts of the off-shore wind project, which includes the operations and maintenance facility in the commercial harbor, as well as updated numbers on the economic impact of various fishing tournaments like the White Marlin Open.

Land Use Element and Maps

Next, the Planning Commission reviewed the Land Use Element. Mr. Bayer explained that the starting point for this chapter was the existing land use chapter from the 2006 Comprehensive Plan. Staff and the Planning Commission discussed various topics including:

- Adding language regarding off-shore wind impacts.

WORCESTER COUNTY PLANNING COMMISSION
WORK SESSION
MEETING MINUTES – September 11, 2025

- How to appropriately balance solar development with agricultural and residential needs.
- The impacts of development in Sussex County, DE and Accomack County, VA on local infrastructure.
- Eliminating the Existing Developed Area (EDA) land use category and replacing it with a true residential classification. Currently, there is no independent residential land use category. The EDA encompasses residential, as well as commercial properties, which should be reclassified as Commercial Centers.
- Eliminating references to the Transfer of Development Rights program. The Planning Commission felt that Worcester County does not have sufficient sewer capacity at this time to truly designate receiving areas. Mr. Bayer stated that some of the Maryland counties that do have such programs have not been as successful in implementation.
- The Planning Commission wanted to keep the discussion on “commercial cinders”, which are commercial properties that have been underutilized or abandoned, and could be utilized for other uses. There was also discussion on whether there was an appropriate supply of commercial zoning, as the current Comprehensive Plan states that there is an oversupply. An analysis needs to be completed on this topic.
- Further inquiry into the industrial land use category is needed. The current Comprehensive Plan states that a light industry location should be developed in the northern county, however it also states that there are sufficient industrial areas. Staff will inquire with the Department of Economic Development on this matter.
- How recommendations in the existing Comprehensive Plan were incorporated into various documents such as the Design Guidelines and Standards for Commercial Uses, the addition of consolidated development rights and rural cluster subdivisions into the Zoning and Subdivision Control Article, and amendments to the Residential Planned Community section of the Zoning Code to discuss the best practices and growth area considerations listed in the plan.
- The Planning Commission discussed the elimination of the E-1 Estate District, which had been proposed in the 2006 Comprehensive Plan, but was not implemented in the 2009 Zoning Code. It was suggested that language be added about its removal.

Staff and Mr. Bayer noted that the Future Land Use Map was not ready for distribution. Mrs. Keener reiterated how the municipalities were given the opportunity to weigh in on the Growth Areas surrounding their municipal boundaries, and the Planning Commission reviewed those areas for consensus in April 2025. That was the basis for the development capacity analysis (“build-out analysis”) that informed the Water Resources Element and Land Use Element. Staff has not yet worked with the consultant to review the map and make suggested edits before presenting to the Planning Commission.

Copies of the April 2025 growth area maps were included in the packet, with the notations as to the action that the Planning Commission took on each area. Also included in the packet were two requests from the public; one that had been reviewed during that meeting, and one received in May 2025. Mr. Mark Cropper was present at the work session and provided

**WORCESTER COUNTY PLANNING COMMISSION
WORK SESSION
MEETING MINUTES – September 11, 2025**

comments on his request for a growth area on behalf of BLS Realty for property located outside of Ocean Pines, along the southwesterly side of Racetrack Road. He also provided the Planning Commission with a copy of a letter for another property located off Holly Grove Road, that is currently designated Green Infrastructure, and zoned Resource Protection District. His client would like a different zoning designation and didn't want to miss the opportunity for consideration. The Planning Commission discussed the purpose behind the prior designation of the Green Infrastructure category and associated zoning within what is known as the "Holly Grove Swamp".

Overall, no action was taken. The feedback received from staff and the Planning Commission will be incorporated into revised documents for further consideration.

The Planning Commission acknowledged that there will be a joint work session to be held with the Worcester County Commissioners on Tuesday, September 16, 2025, on the Introduction and County Profile chapters of the plan.

III. Adjourn

Mary Knight, Secretary

Jennifer Keener, Director

**NOTICE OF PUBLIC HEARING
WORCESTER COUNTY
BOARD OF ZONING APPEALS
AGENDA**

THURSDAY OCTOBER 9, 2025

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland. Audio and video recording will take place during this public hearing.

The public is invited to view this meeting live online at - <https://worcestercountymd.swagit.com/live>

6:30 p.m.

Case No. 25-53, on the lands of the Donald W. Urbancic Living Trust, requesting a variance to the rear yard setback from 5 feet to 3.4 feet (to encroach 1.6 feet) for a proposed deck in the A-2 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-202(c)(18), ZS 1-305 and ZS 1-318, located at 8837 Bay Ridge Drive, Tax Map 33, Parcel 347, Lot 163, Tax District 10, Worcester County, Maryland.

6:35 p.m.

Case No. 25-54, on the lands of Holly and Daniel Bernabei, requesting a variance to the side yard setback from 10 feet to 4.8 feet (to encroach 5.2 feet) and a variance to the rear yard setback from 25 feet to 24.875 feet (to encroach 0.125 feet) for a proposed open deck enlargement in the R-1 Rural Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-205(b)(2) & ZS 1-305 located at 11406 Maid at Arms Lane, Tax Map 26, Parcel 1, Lot 74, Tax District 3, Worcester County, Maryland.

6:40 p.m.

Case No. 25-56, on the lands of Kristi and Brooks Brittingham, requesting five (5) variances associated with a proposed minor subdivision, including three (3) variances to the front and side yard setback for existing poultry houses from 200 feet to 100 feet (a reduction of 100 feet); one (1) variance to the front yard setback for an existing manure shed from 200 feet to 170 feet (a reduction of 30 feet); and one (1) variance to the minimum lot width requirement from 200 feet to 180.13 feet (a reduction of 19.87 feet) for a proposed new lot in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-201(b)(5), ZS 1-349(f) and ZS 1-305, located at 8723 Ninepin Branch Road, Tax Map 30, Parcel 16, Tax District 4, Worcester County, Maryland.

6:45 p.m.

Case No. 25-57, on the lands of Rhonda and Clayton Hathaway, on the application of Blair Carey/RBR Homes, requesting a variance to the rear yard setback from 30 feet to 20.8 feet (to encroach 9.2 feet) for a third floor open deck with stairs and a variance to the rear yard setback from 30 feet to 26 feet (to encroach 4 feet) for first, second and third floor porches associated with a proposed residence in the R-3 Multi-family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2) and ZS 1-305, located at 38 Teal Circle, Tax Map 16, Parcel 41, Section 4, Lot 61, Tax District 3, Worcester County, Maryland.

6:50 p.m.

Case No. 25-55, on the lands of the Friends of Bishopville Cemetery, Inc., on the application of Joseph E. Moore, requesting two (2) special exceptions for (1) the expansion of an existing cemetery and (2) the approval of a Columbarium on a separate parcel in the V-1 Village District, pursuant to Zoning Code §§

ZS 1-116(c)(3), ZS 1-204(c)(19) and ZS 1-305, located at 10636 Cemetery Road, Tax Map 3, Parcels 98 and 101, Tax District 5, Worcester County, Maryland.

6:55 p.m.

Case No. 25-58, on the lands of Cecelia and Joseph Letts, on the application of Hugh Cropper IV, requesting a special exception for the enlargement of a nonconforming structure (single-family residence) and three (3) variances including (1) a variance to the side yard setback from 20 feet to 11.2 feet (to encroach 8.8 feet) for the dwelling; (2) a variance to the side yard setback from 20 feet to 13.5 feet (to encroach 6.5 feet) for a proposed deck and steps; and (3) an after-the-fact variance to the side yard setback from 20 feet to 3.7 feet (to encroach 16.3 feet) for an existing shed in the A-2 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(5), ZS 1-122(d)(1), ZS 1-116(c)(3), ZS 1-116(c)(4), ZS 1-202(b)(5) and ZS 1-305, located at 8949 Clark Road, Tax Map 33, Parcel 7, Tax District 10, Worcester County, Maryland.

7:00 p.m.

Case No. 25-59, on the lands of John Skidmore, requesting a variance to the side yard setback from 6 feet to 0 feet (to encroach 6 feet) for a proposed pool, deck, covered deck and associated improvements in the R-3 Multi-family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2) and ZS 1-305, located at 26 West Mallard Drive, Tax Map 21, Parcel 273, Section 14C, Lot 122, Tax District 3, Worcester County, Maryland.

7:05 p.m.

Case No. 25-52, on the lands of Nicholas and Danielle Campanaro, on the application of Hugh Cropper IV, requesting a variance to reduce the Atlantic Coastal Bays Critical Area Buffer from 100 feet to 75.4 feet (to encroach 24.6 feet) for a proposed single-family residence in the R-1 Rural Residential District, pursuant to Zoning Code §§ ZS 1-116(m), ZS 1-205(b)(2) and ZS 1-305 and Natural Resources Code §§ 3-104(d)(4) and NR 3-111, located on the southwestern side of Trappe Creek Drive at its intersection with Hunting Hound Road, Tax Map 32, Parcel 349, Lot 15, Tax District 3, Worcester County, Maryland.

Administrative Matters

IMPORTANT NOTICE

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

**Wednesday, October 8, 2025 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

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I. Call to Order

II. Site Plan Review (§ ZS 1-325)

A. Bishopville Volunteer Fire Department – Major Site Plan Review

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Bishopville, MD 21813. Tax Map 9, Parcel 214 & 216, Tax District 5, V-1 Village District, Bishopville Volunteer Fire Department, Inc., owner / Davis, Bowen, & Friedel, Inc., surveyor/engineer.

III. Adjourn

WORCESTER COUNTY PLANNING COMMISSION

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MEETING DATE: October 2, 2025

PURPOSE: Ocean Pines Volunteer Fire Department South Gate Firehouse - Major Site Plan Review

DEVELOPMENT: Proposed site development for Ocean Pines Volunteer Fire Department South Gate Firehouse. Development includes proposed firehouse, bays, parking spaces, and stormwater management facilities.

LOCATION: Located at 911 Ocean Parkway, Berlin, MD 21811. Tax Map 16, Parcel 18, Tax District 3.

ZONING DESIGNATION: C-2 General Commercial District.

BACKGROUND: The Ocean Pines Volunteer Fire Department is proposing to construct a new firehouse and bays at the South Gate Firehouse. Portions of the existing firehouse and bays will be demolished, and new facilities will be built in the same general footprint. The new building will be a total of 14,875 square feet.

SIGNS: On-building signage reading “Ocean Pines Volunteer Fire Department” is proposed.

PARKING: Per §ZS 1-320, a minimum of 41 spaces are required on the subject parcel, while only 28 are provided. 13 spaces from the adjacent parcel, owned by Ocean Pines Association, Inc., are proposed to be shared with the subject parcel, allowable under the off-premises parking provisions per §ZS 1-320(h).

Prior to the issuance of any building or zoning permit for any use or structure utilizing off-premises parking, the owners shall execute a written contract, easement or agreement, acceptable to the County Attorney, providing for the continued use of any off-premises parking and all terms and conditions as originally approved by the Planning Commission which shall be recorded in the land records of Worcester County.

Parking spaces shall be demarcated with painted stripes and parking bumpers where shown. Handicap accessible parking spaces have been provided as required under the Maryland

Accessibility Code.

LOADING SPACES: No loading spaces are proposed and none are required.

TRAFFIC CIRCULATION: The site will be accessed from Ocean Parkway and Firehouse Lane.

PEDESTRIAN AND BICYCLE CONNECTIVITY: §ZS 1-320 does not require a bicycle rack, and no bicycle racks are proposed.

REFUSE REMOVAL: No dumpsters are proposed. **The applicants will need to provide more information regarding refuse removal.**

LANDSCAPING: A landscape plan has been provided in accordance with §ZS 1-322. A complete and automated landscape irrigation system including rain sensors is proposed.

FOREST CONSERVATION LAW: This project is not required to comply with Forest Conservation Law. The property is located within the landward limits of the Atlantic Coastal Bays Critical Area is therefore exempt from the Forest Conservation Act.

STORMWATER MANAGEMENT/ SEDIMENT EROSION CONTROL: This project has obtained Stormwater Concept Plan approval.

CRITICAL AREA LAW: This property is located within the Atlantic Coastal Bays Critical Area (ACBCA) program boundary and is designated as Intensely Developed Area (IDA).

Staff will require written confirmation from the Natural Resources Division of Department of Environmental Programs that their requirements have been met prior to signature approval.

WATER SUPPLY AND WASTEWATER SERVICES: This property is served by public water and sewer. Staff will require written confirmation from the Department of Environmental Programs that their requirements have been met prior to signature approval.

ARCHITECTURAL JUSTIFICATION: This development is located within the Town Center tradition. The building elevations have been reviewed under the *Design Guidelines and Standards for Commercial Uses*.

The Planning Commission is empowered to grant waivers to the mandatory standards where it finds that the proposed alternative building or site design features generally achieve the overall objectives of the guidelines and standards that apply to the waiver being requested. In reviewing

waiver requests, the Planning Commission shall focus on the issues in a collective fashion as they apply to a particular facet of a project and not on each individual item in and of itself. The objective is to appreciate that in building or site design the total can truly be greater than the value of each component individually. Substantive building or site features which are provided beyond those required either by the terms of the *Zoning and Subdivision Control Article* or this document shall weigh heavily in evaluation of waiver requests.

The items requiring a waiver from the Planning Commission have been itemized below under “Planning Commission Considerations.” The applicant is required to justify their waiver request based upon the criteria outlined in Section 2(b) of the *Design Guidelines and Standards*.

PROPERTY OWNER: Ocean Pines Volunteer Fire Department, Inc.

APPLICANT: Ocean Pines Public Works Department & Ocean Pines Volunteer Fire Department

LAND PLANNER: Vista Design, Inc.

PREPARED BY: Ben Zito, DRP Specialist

PLANNING COMMISSION CONSIDERATIONS – DESIGN GUIDELINES

Design Guidelines: Waivers Requested

Sec 16(b)(2), 16(b)(3), 16b(8)	Pedestrian and Bicycle Circulation
Sec 19b(1), 19b(2)	Community Features & Spaces

Section 16(b)(2): Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. Sidewalks shall be provided with human-scale lighting to create a safe and attractive pedestrian atmosphere.

Section 16(b)(3): Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site.

Section 16(b)(8): Seating areas for pedestrians shall be provided near the entry and under protective coverings. Seating should be provided at least every one hundred feet of sidewalk along building facades having customer entrances.

Section 19(b)(1): Each commercial structure shall contribute to the improvement of public spaces by providing a community space that is centrally located, connected to the pedestrian walkway and placed in areas with the highest pedestrian traffic. It should be constructed of materials that are similar to the principal materials of the building and landscaped compatibly. This community space shall provide seating and at least one of the following:

- A. Patio.
- B. Pedestrian plaza.
- C. Transportation center.
- D. Window shopping walkway.
- E. Outdoor playground area.
- F. Kiosk area.
- G. Water feature.
- H. Clock tower.
- I. Other such deliberately shaped area or focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces.

Section 19(b)(2): Required community spaces shall be at least eight hundred square feet in size with no side less than twelve feet long.



Engineers • Architects • Surveyors • Landscape Architects • Land Planning Consultants • GIS Services

September 12, 2023

Mr. Benjamin M. Zito
DRP Specialist III
Worcester County – Development Review and Planning
One West Market Street, Room 1201
Snow Hill, MD 21863

**Re: Ocean Pines Volunteer Fire Department South Station
Waiver Request of Various Design Guidelines**

Dear Mr. Zito,

On behalf of our client, Ocean Pines Association, Inc. please accept this letter as our request for waivers of various sections of the Worcester County Design Guidelines (as adopted January 17, 2017) and Worcester County Code. The Ocean Pines Association, Inc is proposing to construct a new 14,875 square foot Ocean Pines Volunteer Fire Department South Station and associated infrastructure including travel aisles, water distribution, sewer conveyance within the Worcester County's Ocean Pines Sanitary Service Area, and Stormwater management components on the 1.34 acre Parcel 'A' (TM: 18, G: 20, P: 18), C-2 (General Commercial District) zoned property located at 911 Ocean Parkway, Ocean Pines. The property is located adjacent to the OPA Dept. of Public Works facility, and along a section of Ocean Parkway that is not adjacent to any residential homes. As such, the facility is not anticipated to negatively impact any adjacent properties.

The specific waivers being requested to support the expansion of the South Fire Department facility include:

- 1. Section 16(b)(2) - Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. Sidewalks shall be provided with human-scale lighting to create a safe and attractive pedestrian atmosphere:**
 - a. There are currently no sidewalks or walking paths in the vicinity of the existing fire department structure that is proposed for expansion. All pedestrians are instead directed to an existing trail network on the opposite side of Ocean Parkway that surrounds Southgate Pond. In addition, due to the industrial nature of the emergency service vehicles arriving and departing from the fire station and neighboring Ocean Pines Department of Public Works site, which has large equipment and construction materials entering and leaving the area via Firehouse Lane, we hereby request a waiver to not install sidewalks on all sides of the lot to reduce potential pedestrian conflicts.
- 2. Section 16(b)(3) - Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site**
 - a. The site proposes to provide an internal five foot width sidewalk around the northern portion of the proposed firehouse to serve full and part-time employees, volunteers and visitors who will

utilize the site's off-street parking lot to access the building. To coincide with waiver request #1 above, we hereby request a waiver to not install internal sidewalks that would interconnect to a public sidewalk system along all sides of the property.

3. Section 16(b)(8) – *Seating areas for pedestrians shall be provided near the entry and under protective coverings. Seating should be provided at least every one hundred feet of sidewalk along building facades having customer entrances.*

- a. The proposed firehouse is not proposed to have a community meeting hall component to host events (weddings, public meetings, etc.) and will not have a 'customer' entrance. The new firehouse will have a visitor entrance along the northside of the building adjacent to the parking lot and have internal sidewalks leading to and from the main entrance to the firehouse from the adjacent onsite parking lot. Due to the industrial nature of the emergency services provided on the site we hereby request a waiver to not provide pedestrian seating areas at the visitor entrance and along the sidewalks to the building.

4. Section 19(b)(1) – Each commercial structure shall contribute to the improvement of public spaces by providing a community space that is centrally located, connected to the pedestrian walkway and placed in areas with the highest pedestrian traffic. It should be constructed of materials that are similar to the principal materials of the building and landscaped compatibly. This community space shall provide seating and at least one of the following:

- a. Patio.
- b. Pedestrian plaza.
- c. Transportation center.
- d. Window shopping walkway.
- e. Outdoor playground area.
- f. Kiosk area.
- g. Water feature.
- h. Clock tower.
- i. Other such deliberately shaped area or focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces.

- a. This site currently does not have dedicated sidewalks or paved access paths providing public pedestrian access to the firehouse from off-site locations. The proposed firehouse also does not intend to provide space for the public to rent and or utilize the firehouse for events. Due to the industrial nature of the emergency services provided by the OPVFD, it is not appropriate to provide a space on the site for the public to actively congregate without specific permission granted by the fire department. Therefore, we hereby request a waiver to not provide a public space for pedestrians to gather on the firehouse property.

5. Section 19(b)(2): Required community spaces shall be at least eight hundred square feet in size with no side less than twelve feet long.

- a. The proposed firehouse does not intend to provide space for the public to rent and or utilize the firehouse for events. The site is not safely accessible by off-site pedestrian foot traffic and does not have adequate parking to serve the public with event space. Also, due to the industrial nature of the emergency services provided by the OPVFD, it is not appropriate to provide a

Mr. Benjamin M. Zito – Development Review and Planning

RE: Ocean Pines Volunteer Fire Department South Station – Waiver Requests of Various Design Guidelines

September 12, 2025

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community space on the site. We hereby request a waiver to not provide a public community space for pedestrians to gather on the firehouse property.

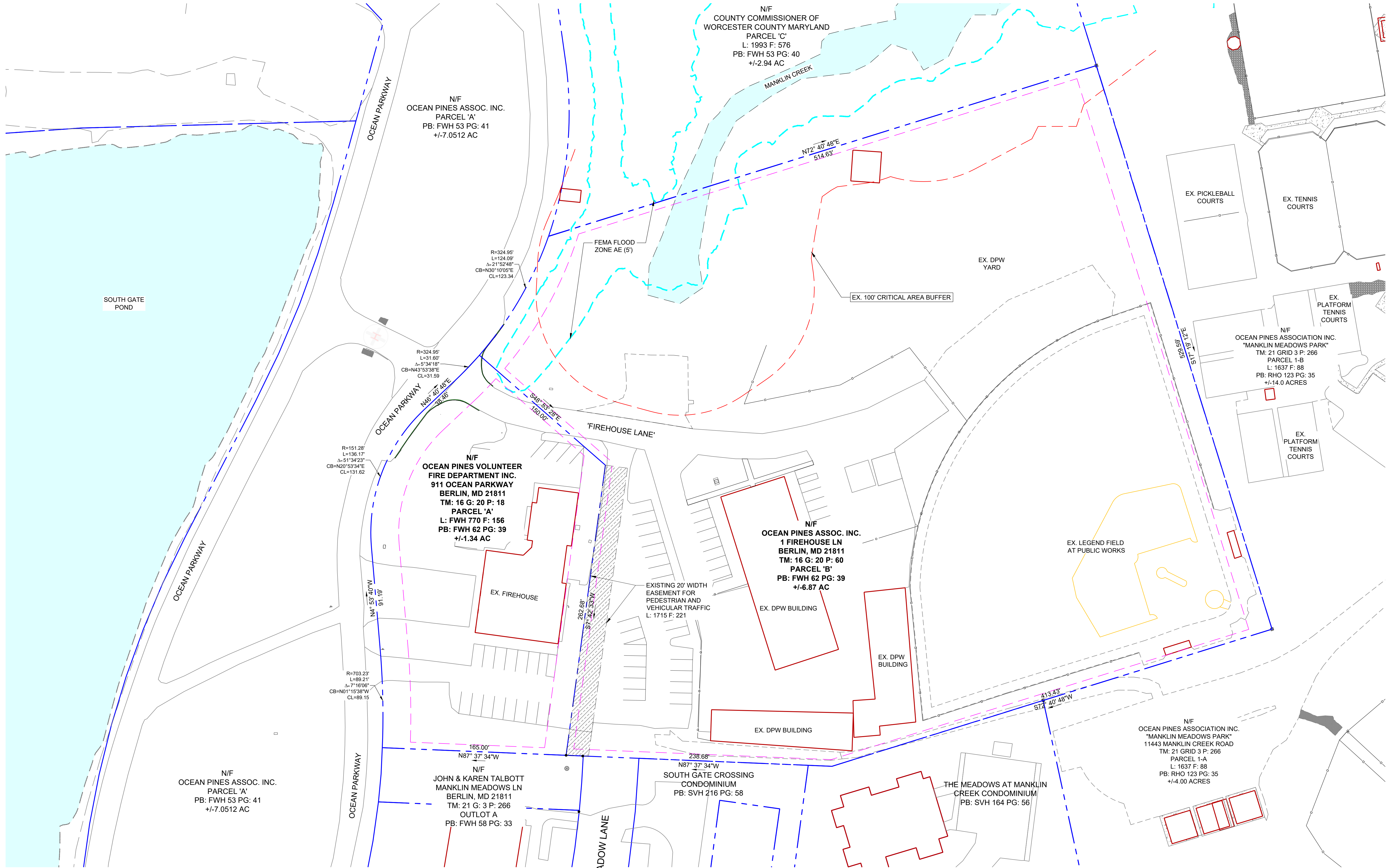
Thank you in advance for your consideration of these waiver requests. Should you have any questions or require additional information regarding this letter or the overall project, please do not hesitate to contact me.

Sincerely,

Vista Design Inc.

A handwritten signature in black ink that reads "Eric J. Jones". The signature is written in a cursive, flowing style.

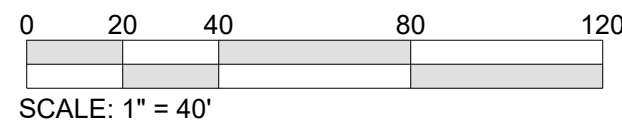
Eric Jones, P.E.



The Ocean Pines Association shall be responsible for the operation and maintenance of all Stormwater Management features within the site, including the M-6 Bioretention Areas, as shown on the construction drawings. They shall be operated and maintained per the requirements of the Maryland Environmental Site Design Manual, as noted on the drawings.

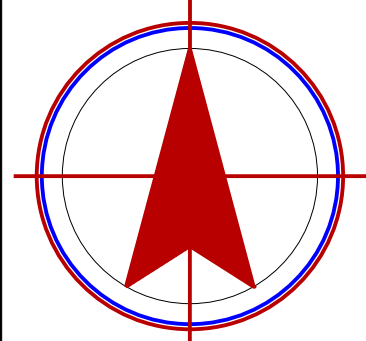
WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW
This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1 Worcester County Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

NORTH
MD STATE PLANE
DATUM (NAD83)



NOTE:
This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remain the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assignees without the written permission of VDI will be at the Client's risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

NOTE:
This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.



NORTH

REVISIONS

PROJECT DATA

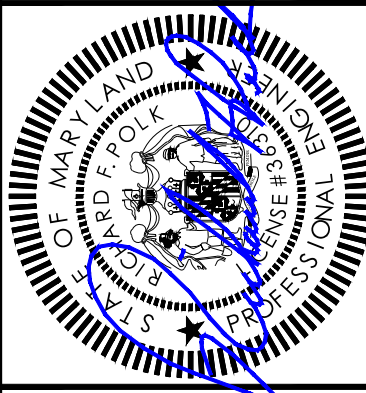
Project No.: 25-021
File Name: CE 071525.dwg
Client: OCEAN PINES
Location: WORCESTER COUNTY, MARYLAND
Date: 8/7/2025
Scale: 1" = 40'

PROPERTY OWNER
MOSAIC
PLAN

OCEAN PINES
VOLUNTEER FIRE
DEPARTMENT

SOUTH GATE FIREHOUSE

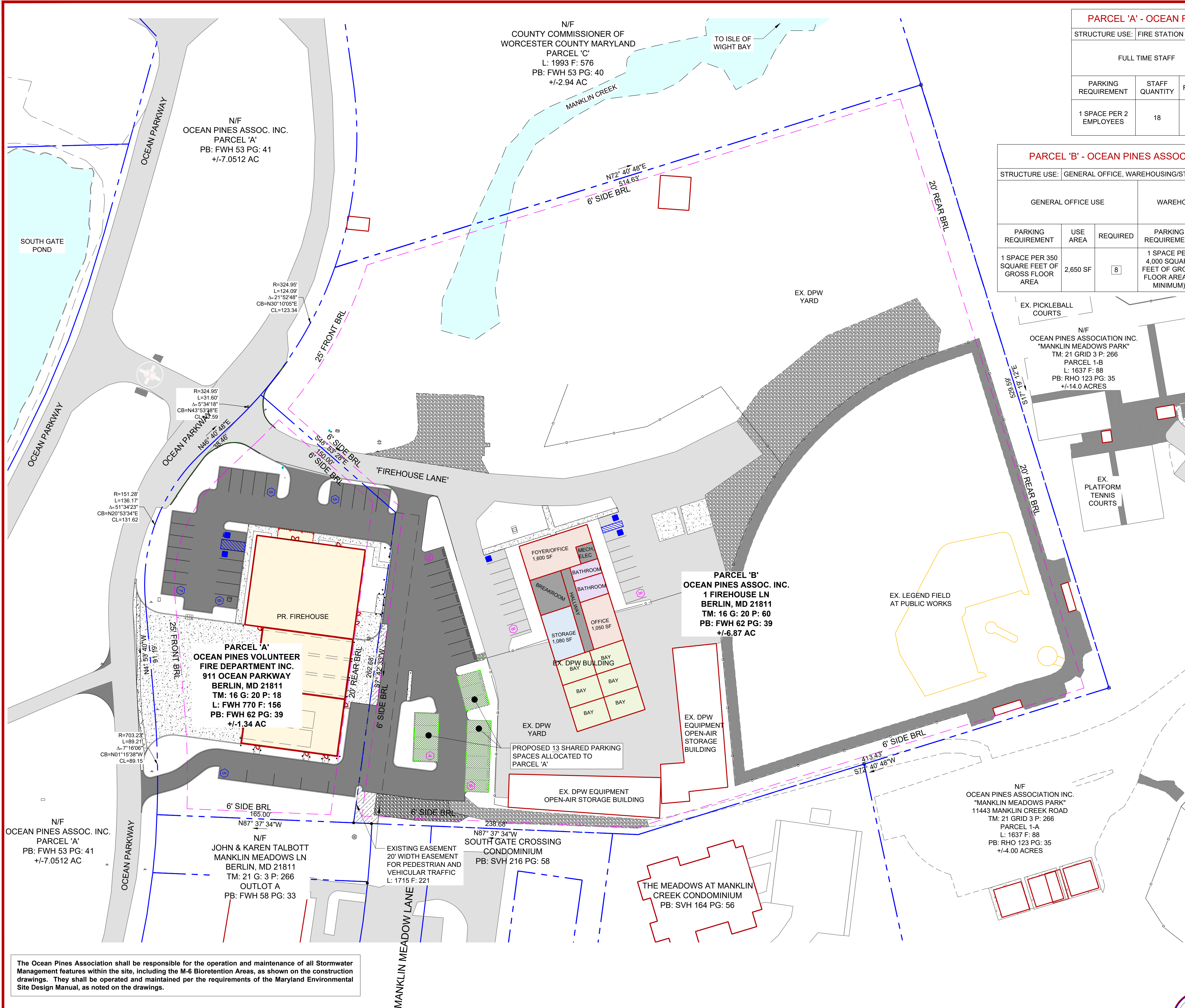
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Sheet No.:

G 002





PARCEL 'A' - OCEAN PINES VOLUNTEER FIRE DEPARTMENT PARKING REQUIREMENTS						
STRUCTURE USE: FIRE STATION WITH FULL TIME AND VOLUNTEER STAFF						
FULL TIME STAFF			VOLUNTEER STAFF			TOTAL REQUIRED PARKING SPACES (FULL TIME + VOLUNTEER SPACES)
PARKING REQUIREMENT	STAFF QUANTITY	REQUIRED	PARKING REQUIREMENT	STAFF QUANTITY (# OF APPARATUSES)	REQUIRED	
1 SPACE PER 2 EMPLOYEES	18	9	4 SPACES PER EACH PIECE OF APPARATUS	8 (3 ALS MEDIC, 1 ENGINE, 1 RESCUE, 1 TOWER, 1 HIGH WATER, 2 SUPPORT)	32	

PARCEL 'B' - OCEAN PINES ASSOC. DEPARTMENT OF PUBLIC WORKS PARKING REQUIREMENTS								
STRUCTURE USE: GENERAL OFFICE, WAREHOUSING/STORAGE, FLEET/EQUIPMENT REPAIR BAYS								
GENERAL OFFICE USE			WAREHOUSING/STORAGE USE			FLEET/EQUIPMENT REPAIR BAYS		
PARKING REQUIREMENT	USE AREA	REQUIRED	PARKING REQUIREMENT	USE AREA	REQUIRED	PARKING REQUIREMENT	# OF BAYS	REQUIRED
1 SPACE PER 350 SQUARE FEET OF GROSS FLOOR AREA	2,650 SF	8	1 SPACE PER 4,000 SQUARE FEET OF GROSS FLOOR AREA (2 MINIMUM)	1,080 SF	2	10 SPACES PLUS 1 SPACE PER SERVICE BAY	6	16

PROPOSED PARKING ALLOTMENT SUMMARY
(SEE SHEET C-202 FOR MORE DETAILS)

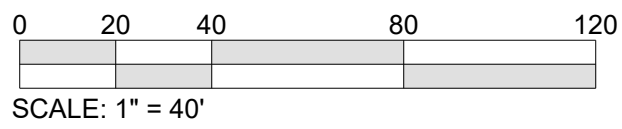
DESCRIPTION	REQUIRED	PROVIDED
PARCEL 'A' - OPVFD	41	28
PARCEL 'B' - OPA DPW	26	39
TOTAL ('A' & 'B')	67	67

REQUIRED NUMBER OF EASEMENTED PARKING SPACES ON PARCEL 'B' ALLOCATED FOR PARCEL 'A' (1)

PARKING NOTES
1. PARKING SPACES SHOWN ON THIS PLAN ARE INTENDED TO BE A QUANTITATIVE GRAPHICAL REPRESENTATION OF THE TOTAL PARKING SPACES. A SHARED PARKING AGREEMENT BETWEEN THE OCEAN PINES ASSOCIATION AND THE OCEAN PINES VOLUNTEER FIRE DEPARTMENT INC. IS TO BE RECORDED, BUT INDIVIDUAL SPACES WILL NOT BE MARKED IN THE FIELD WITH PAINT AND/OR SIGNAGE.

PARKING SUPPLEMENTAL LEGEND

PROPERTY LINE	---
EXISTING BUILDING/STRUCTURE	---
EXISTING BUILDING INTERIOR SPACE USES	
GENERAL OFFICE	---
WAREHOUSING/STORAGE	---
FLEET/EQUIPMENT REPAIR BAYS	---
PROPOSED FIRE DEPARTMENT BUILDING	---
PROPOSED PARKING PARCEL 'A'	9
PROPOSED PARKING PARCEL 'B'	9
PROPOSED SHARED PARKING SPACES	---



NOTE:
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NOTE:
This drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW
This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1 Worcester County Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

REVISIONS

PROJECT DATA

PROPOSED SITE PARKING PLAN

OCEAN PINES VOLUNTEER FIRE DEPARTMENT

Sheet No: C 202



EXISTING CRITICAL AREA SITE DATA	
CRITICAL AREA CLASSIFICATION	IDA (INTENSELY DEVELOPMENT AREA)
SITE AREA (LIMIT OF DISTURBANCE) (AC)	1.92
EXISTING IMPERVIOUS WITHIN LOD, AC (%)	1.19 (62%)
EXISTING PERVIOUS WITHIN LOD, AC (%)	0.73 (38%)

EXISTING SITE COVERAGE BY PROPERTY				
PROPERTY	LIBER - FOLIO (PLAT BOOK/PAGE)	IMPERVIOUS WITHIN LOD (BUILDING, CONCRETE, ASPHALT) (AC)	PERVIOUS WITHIN LOD (LAWN & TREE COVER) (AC)	LIMIT OF DISTURBANCE ON PROPERTY (AC)
PARCEL 'A' OCEAN PINES VOLUNTEER FIRE DEPARTMENT INC.	1715-221 (FWH 62/39)	0.71	0.54	1.25
PARCEL 'B' OCEAN PINES ASSOCIATION INC. DEPARTMENT OF PUBLIC WORKS	1715-221 (FWH 62/39)	0.43	0.13	0.56
PARCEL 'A' OCEAN PINES ASSOCIATION INC. OCEAN PARKWAY ROW	(FWH 53/41)	0.05	0.06	0.11
TOTALS		1.19	0.73	1.92



PROPOSED CRITICAL AREA SITE DATA	
CRITICAL AREA CLASSIFICATION	IDA (INTENSELY DEVELOPMENT AREA)
SITE AREA (LIMIT OF DISTURBANCE) (AC)	1.92
PROPOSED IMPERVIOUS WITHIN LOD, AC (%)	1.53 (79.5%)
PROPOSED PERVIOUS WITHIN LOD, AC (%)	0.39 (20.5%)

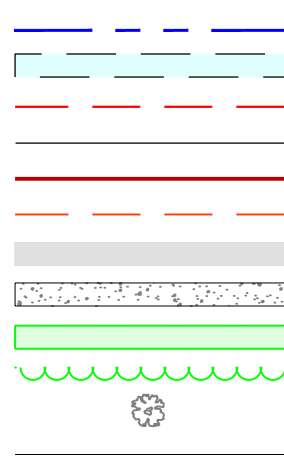
PROPOSED SITE COVERAGE BY PROPERTY				
PROPERTY	LIBER - FOLIO (PLAT BOOK/PAGE)	IMPERVIOUS WITHIN LOD (BUILDING, CONCRETE, ASPHALT) (AC)	PERVIOUS WITHIN LOD (STORMWATER, LAWN & TREE COVER) (AC)	LIMIT OF DISTURBANCE ON PROPERTY (AC)
PARCEL 'A' OCEAN PINES VOLUNTEER FIRE DEPARTMENT INC.	1715-221 (FWH 62/39)	1.01	0.24	1.25
PARCEL 'B' OCEAN PINES ASSOCIATION INC. DEPARTMENT OF PUBLIC WORKS	1715-221 (FWH 62/39)	0.44	0.12	0.56
PARCEL 'A' OCEAN PINES ASSOCIATION INC. OCEAN PARKWAY ROW	(FWH 53/41)	0.08	0.03	0.11
TOTALS		1.53	0.39	1.92

The Ocean Pines Association shall be responsible for the operation and maintenance of all Stormwater Management features within the site, including the M-6 Bioretention Areas, as shown on the construction drawings. They shall be operated and maintained per the requirements of the Maryland Environmental Site Design Manual, as noted on the drawings.

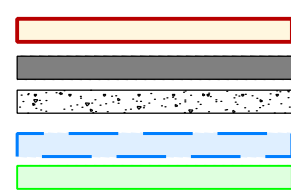
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LEGEND

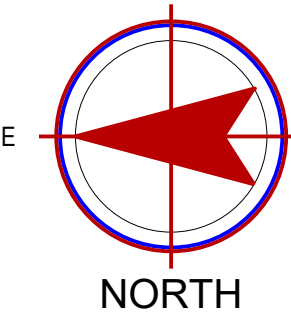
Property Line
Existing Manklin Creek
Existing 100' Critical Area Buffer
Existing Edge of Pavement
Existing Building
Existing Building Roofline
Existing Asphalt
Existing Concrete
Existing Pervious Area
Existing Tree Line
Existing Tree
Existing Parking Paint



Proposed Building
Proposed Asphalt
Proposed Concrete
Proposed Stormwater Facility
Proposed Pervious Area



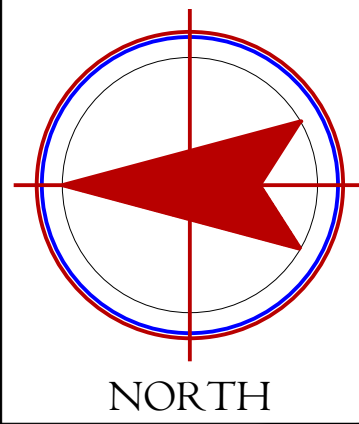
NORTH
MD STATE PLANE
DATUM (NAD83)



0 15 30 60 90
SCALE: 1" = 30'

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NOTE:
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REVISIONS

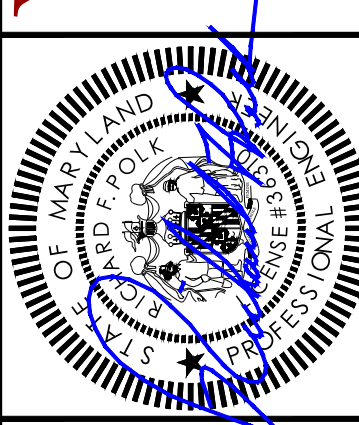
PROJECT DATA

Project No.: 25-021
File Name: CI_071525.dwg
OCEAN PINES
WORCESTER COUNTY, MARYLAND
Date: 8/7/2025
Scale: 1" = 30'

CRITICAL AREA COVERAGE PLAN

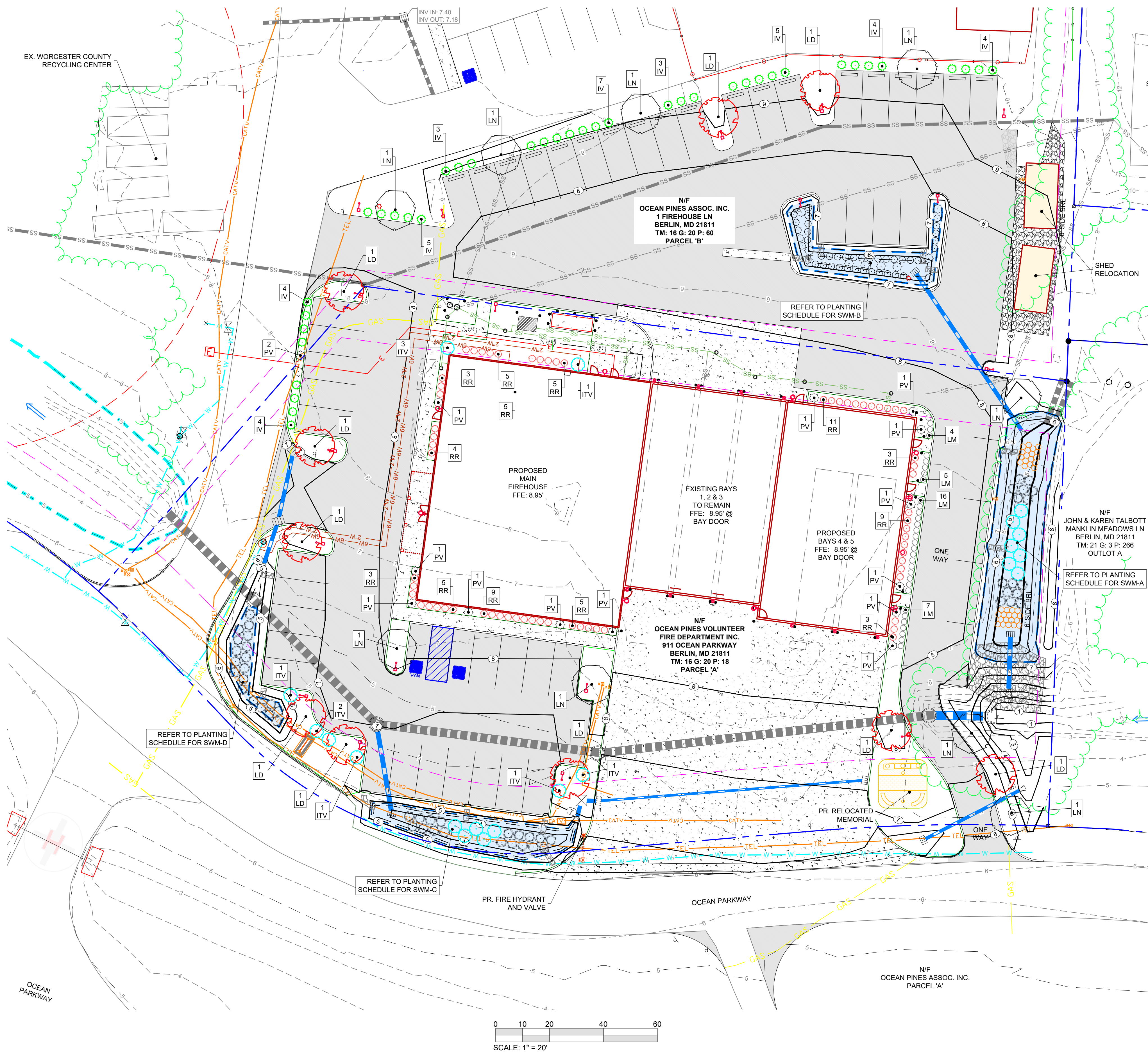
OCEAN PINES VOLUNTEER FIRE DEPARTMENT SOUTH GATE FIREHOUSE

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Sheet No.:

C 209



PLANT LIST - SWM-A MICRO-BIORETENTION							
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACING
	ITV	7	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	18" - 24"	H: 3'-5" S: 3'-5"	4' O.C.
	AT	36	ASCLEPIAL TUBEROSA	BUTTERFLY WEED	CONT.	H: 2'-3" S: 1'-2"	2' O.C.
	EP	15	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	H: 3'-4" S: 4'	2' O.C.

PLANT LIST - SWM-B MICRO-BIORETENTION							
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACING
	IRV	40	IRIS VERSICOLOR	BLUE FLAG IRIS	CONT.	H: 2'-2.5" S: 2'-2.5"	2' O.C.
	PV	10	PANICUM VIRGATUM	SWITCHGRASS	CONT.	H: 3'-6" S: 2'-3"	AS SHOWN

PLANT LIST - SWM-C MICRO-BIORETENTION							
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACING
	ITV	5	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	18" - 24"	H: 3'-5" S: 3'-5"	4' O.C.
	EP	18	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	H: 3'-4" S: 4'	2' O.C.

PLANT LIST - SWM-D MICRO-BIORETENTION							
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACING
	EP	19	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	H: 3'-4" S: 4'	2' O.C.

PLANT LIST - SUBMERGED GRAVEL WETLAND #3							
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACING
	IG	39	ILEX GLABRA	INKBERRY	18" - 24"	H: 4'-5" S: 4'-5"	4' O.C.
	ITV	8	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	18" - 24"	H: 3'-5" S: 3'-5"	4' O.C.
	LD	10	LAGERSTROMIA INDICA "WHIT II"	DYNAMITE CRAPE MYRTLE	6' - 7'	H: 15'-20" S: 10'-15"	AS SHOWN
	LN	9	LAGERSTROMIA INDICA X FAURIEI "NATCHEZ"	NATCHEZ CRAPE MYRTLE	6' - 7'	H: 15'-20" S: 15'-20"	AS SHOWN
	LM	32	LIRIOPE MUSCARI "VARIEGATA"	LILY TURF	1 GAL	H: 9"-18" S: 1'-2"	AS SHOWN
	PV	15	PANICUM VIRGATUM	SWITCHGRASS	3 GAL	H: 3'-6" S: 2'-3"	AS SHOWN
	RR	65	ROSA RED DRIFT	RED DRIFT ROSE	3 GAL	H: 18" S: 30"	3' O.C.

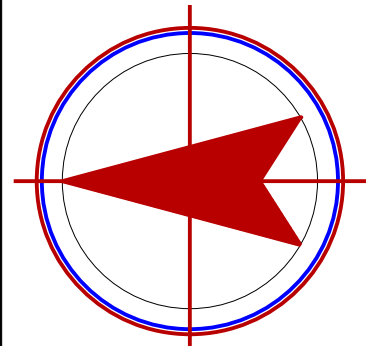
- NOTES:
1. THE PLANTING SCHEDULES REFERENCES PLANT MATERIAL FOR BOTH THE SITE AND STORMWATER MANAGEMENT AREAS.
 2. IRRIGATION WILL NEED TO BE PROVIDED FOR THE PLANTINGS ALONG THE OUTER PERIMETER OF THE BUILDING.
 3. A MINIMUM 36" STRIP OF 2"-3" CLEAN WASH RIVER STONE WITH ALUMINUM EDGING WILL BE INSTALLED AROUND THE PERIMETER OF THE PROPOSED BUILDING AS SHOWN.
 4. AN AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED TO SUPPORT THE LANDSCAPED AREAS OUTSIDE OF THE PROPOSED STORMWATER FACILITIES.

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NORTH

REVISIONS

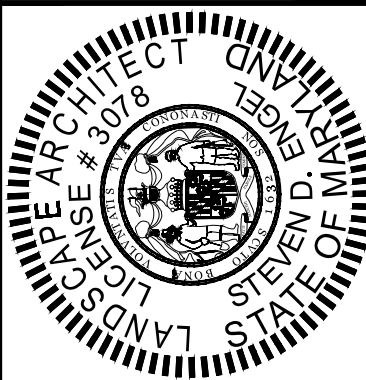
PROJECT DATA

Project No.: 25-021
File Name: LS 080625.dwg
Ocean Pines
Worcester County, Maryland
Date: 08/11/25
Scale: 1" = 20'

PROPOSED
LANDSCAPE PLAN

OCEAN PINES
VOLUNTEER FIRE
DEPARTMENT
SOUTH GATE FIREHOUSE

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Sheet No.:

L 700

NEW BUILDING FOR

OCEAN PINES VOLUNTEER
FIRE DEPARTMENT

OCEAN PARKWAY

OCEAN PINES, MARYLAND

W. F. HORN ARCHITECT, INC.
LEWES, DELAWARE

CODE INFORMATION

CODE INFORMATION

- BUILDING AREA – 14875 SQUARE FEET
FULLY SPRINKLERED
- I. INTERNATIONAL BUILDING CODE – 2021
- A. OCCUPANCY CLASSIFICATION –
BUSINESS GROUP B
STORAGE GROUP S–1
- B. INCIDENTAL USE AREAS
1. BOILER AND FURNACE ROOMS – NOT APPLICABLE
2. STORAGE ROOMS OVER 100 SQ. FT. – NOT APPLICABLE
3. LAUNDRY ROOMS OVER 100 SQUARE FEET – 1 HOUR RATED
- C. GENERAL BUILDING HEIGHTS AND AREAS
1. HEIGHT –
GROUP B AND S–1 – 3 STORY, 60’ PERMITTED
HEIGHT MODIFICATIONS NOT REQUIRED
2. AREA –
GROUP B AND S–1 – 36,000 SQUARE FEET PER STORY PERMIT
AREA MODIFICATIONS NOT REQUIRED
- D. TYPE OF CONSTRUCTION – CONSTRUCTION TYPE VB
1. STRUCTURAL FRAME – 0 HOUR
2. BEARING WALLS, EXTERIOR – 0 HOUR
3. BEARING WALLS, INTERIOR – 0 HOUR
4. NONBEARING WALLS, EXTERIOR – 0 HOUR
5. NONBEARING WALLS, INTERIOR – 0 HOUR
6. FLOOR CONSTRUCTION – 0 HOUR
7. ROOF CONSTRUCTION – 0 HOUR
8. FIRE SEPARATION DISTANCE,
GREATER THAN 30 FT. – 0 HOUR
9. UNPROTECTED WALL OPENING,
GREATER THAN 30 FT. – UNLIMITED AREA
- E. INTERIOR FINISHES –
1. WALLS AND CEILINGS –
EXIT ACCESS CORRIDORS – CLASS C
ROOMS AND ENCLOSED SPACES – CLASS C
2. FLOOR FINISH – CLASS II
3. DECORATIONS AND TRIM – FLAME RESISTANT
- F. MEANS OF EGRESS
1. OCCUPANT LOAD –
BUSINESS –
100 SQUARE FEET PER OCCUPANT = 70 PEOPLE
STORAGE
300 SQUARE FEET PER OCCUPANT = 27 PEOPLE
2. EGRESS WIDTH –
STAIRWAYS – .3” PER OCCUPANT
OTHER EGRESS COMPONENTS – .2” PER OCCUPANT
3. ACCESSIBLE MEANS OF EGRESS –
FOUR REQUIRED
SEVEN PROVIDED
4. SPACES WITH ONE MEANS OF EGRESS –
MAXIMUM OCCUPANT LOAD – 50
MAXIMUM TRAVEL DISTANT – 75’
5. LENGTH OF EXIT ACCESS TRAVEL –
200’ FEET MAXIMUM ALLOWED
75 FEET MAXIMUM PROVIDED

6. SIZE OF DOORS – 32 ” MINIMUM
EGRESS WIDTH PER OCCUPANT = .2”/PERSON, 34 X .2” =
170 PEOPLE PER DOOR
7. PANIC HARDWARE – NOT REQUIRED
8. LIGHTED EXIT SIGNS REQUIRED
- II. NFPA 101 – 2021
- A. CLASSIFICATION OF OCCUPANCY –
NEW BUSINESS
STORAGE
- B. CLASSIFICATION OF HAZARD OF CONTENTS – ORDINARY HAZARD
- C. MINIMUM CONSTRUCTION REQUIREMENTS – NO REQUIREMENT
- D. OCCUPANT LOAD – 97 PEOPLE
- E. MEANS OF EGRESS –
1. ALL EXITS LOCATED AT LEVEL OF EXIT DISCHARGE
2. FOUR EXITS REQUIRED
3. DOORS
a. 32” MINIMUM CLEAR WIDTH
b. MAXIMUM FLOOR VARIATION BOTH SIDES OF DOOR – 1/2”
c. SWING IN DIRECTION OF EGRESS TRAVEL
4. PANIC HARDWARE AT EXIT DOORS FROM BUILDING NOT REQUIRED
5. TRAVEL DISTANCE TO EXITS – 150 FEET MAXIMUM
6. EMERGENCY LIGHTS AND LIGHTED EXIT SIGNS
- F. PROTECTION –
1. INTERIOR WALL AND CEILING CLASS A, CLASS B OR CLASS C
2. SMOKE DETECTORS AND FIRE ALARM SYSTEM REQUIRED

- III. MARYLAND ACCESSIBILITY CODE
- IV. INTERNATIONAL STANDARDD PLUMBING CODE – 2021
- V. NATIONAL ELECTRICAL CODE NFPA 70 – 2021
- VI. INTERNATIONAL ENERGY CONSERVATION CODE – 2021
- VII. COMAR 05.02.02 MARYLAND ACCESSIBILITY CODE

VIII. ADA

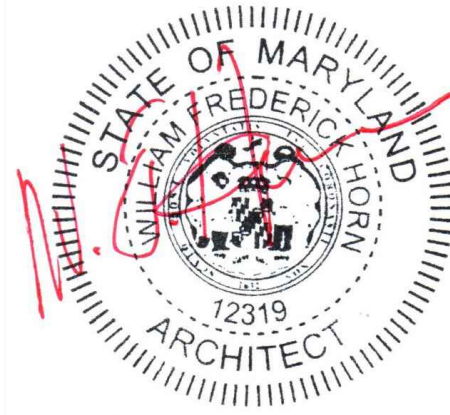
- A. ACCESSIBLE SITES –
1. AT LEAST ONE ACCESSIBLE ROUTE PROVIDED
2. ACCESSIBLE PARKING SPACES – SEE SITE PLAN
- B. ACCESSIBLE BUILDING –
1. ONE ACCESSIBLE ROUTE TO ACCESSIBLE SPACES PROVIDED
2. FLOOR SURFACES TO BE SLIP RESISTANT
a. CARPET IF PROVIDED – LEVEL LOOP, GLUED INSTALLATION
3. STAIRS – 7” MAX. RISER, 11” MIN TREAD
4. DOORS –
a. CLEAR WIDTH – 32” MINIMUM PROVIDED
b. MANEUVERING CLEARANCES – PROVIDED
c. THRESHOLDS – 1\2” MAXIMUM HEIGHT PROVIDED
d. HARDWARE – LEVER TYPE HARDWARE TO BE PROVIDED
e. 50% OF ENTRANCES MUST BE ACCESSIBLE – 100% PROVIDED
5. DRINKING FOUNTAINS – PROVIDED
6. TOILET FACILITIES – PROVIDED

NOTES:

1. ALL DOORS TO BE EQUIPPED WITH LEVER TYPE LOCK AND LATCHSETS.
UNLESS NOTED OTHERWISE

INDEX OF DRAWINGS

- T1.1 TITLE SHEET, INDEX AND CODE INFORMATION
- A1.1 FLOOR PLAN AND NOTES
- A1.2 DOOR SCHEDULE, HARDWARE AND WINDOW TYPES
- A1.3 ROOF PLAN, DETAILS AND NOTES
- A2.1 ELEVATIONS
- A3.1 WALL SECTION
- A3.2 WALL SECTION
- A3.3 WALL SECTION
- F1.1 FOUNDATION PLAN, DETAILS AND NOTES
- S1.1 STRUCTURAL PLAN, DETAILS AND NOTES



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NUMBER 12319,
EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE
UNDERTAKEN FOR AND ARE PERFORMED IN THE
INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO
CONTRACTUAL OBLIGATION IS ASSUMED BY THE
ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON
INVOLVED IN THE PROJECT.

TITLE SHEET, INDEX
AND CODE INFORMATION

DESIGNED WFH	
DRAWN WFH	
CHECKED WFH	
PROJ. NO.OPFD125	
SCALE AS NOTED	
SHEET NUMBER	

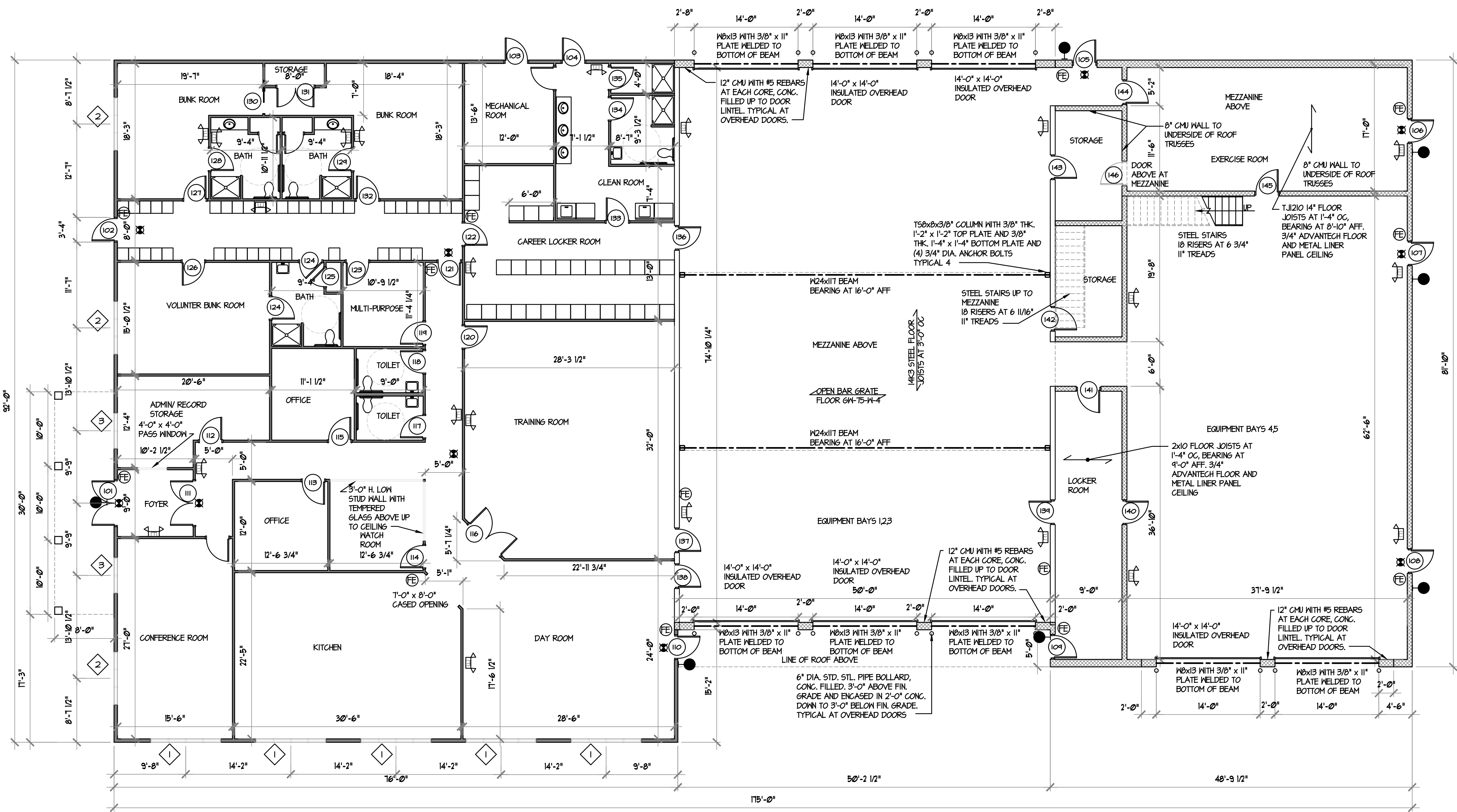
T1.1

NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND



PRINTED 07/08/25– FOR CONSTRUCTION

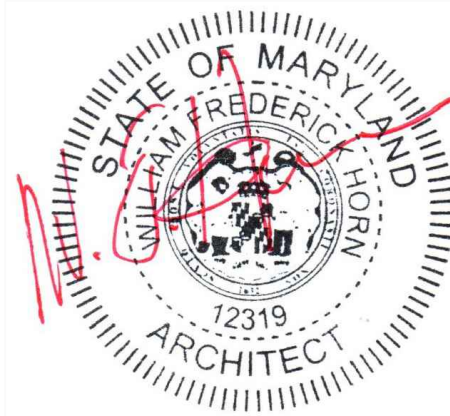




1 FLOOR PLAN
1/8" = 1'-0"

SYMBOLS

- ⊕ DENOTES FIRE EXTINGUISHER LOCATION. FIRE EXTINGUISHER SHALL BE 2A:10B:C MOUNTED AT 48" TO TOP.
- ⬆ DENOTES EMERGENCY LIGHT WITH BATTERY BACK UP
- ⊗ DENOTES LIGHTED EXIT SIGNS
- ⊙ DENOTES REMOTE HEAD EXTERIOR EMERGENCY LIGHT



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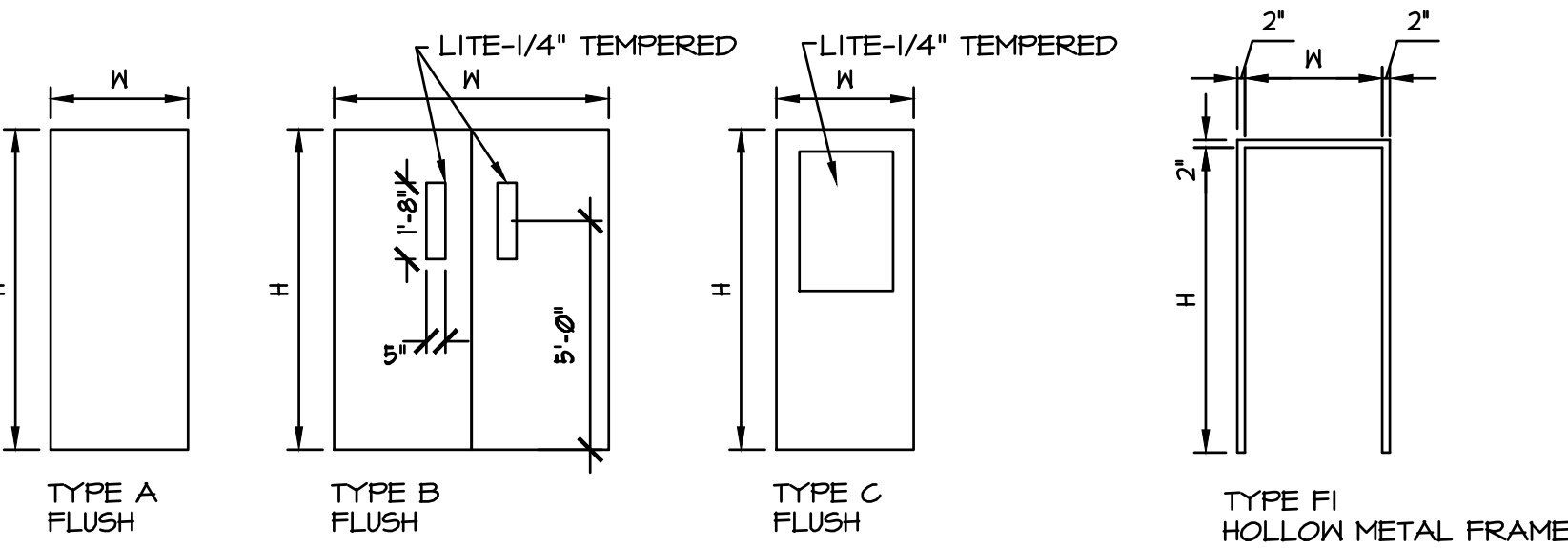
PRINTED 07/08/25- FOR CONSTRUCTION

NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

W.F.HORN
ARCHITECT, INC.
30053 W. BARRIER REEF BLVD. LEWES, DELAWARE
PHONE: 302-674-1620 302-231-2176

DESIGNED WFH
DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER
A1.1

DOOR AND FRAME SCHEDULE																		
DOOR NUMBER	DOOR TYPE	DOOR MATL	SIZE WxH	THK	FINISH	UNDER CUT	LOUVER	GLASS TYPE	HARD WARE	FRAME TYPE	FRAME MATL	FRAME DEPTH	FRAME FINISH	HEAD TYPE	JAMB TYPE	THRESH HOLD	FIRE RATING	REMARKS
101	—	ALUM	6'-0"x7'-0"	1-3/4"	ANOD	—	—	—	—	—	—	—	—	—	—	—	—	
102	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
103	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
104	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
105	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
106	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
107	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
108	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
109	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
110	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	6-1/2"	PAINT	H1	J1	ALUM	—	INSUL. GALV. HM
111	B	WD	(2)3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-1	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	
112	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	
113	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	
114	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
115	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
116	B	WD	(2)3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-1	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
117	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
118	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
119	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
120	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
121	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
122	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
123	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
124	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
125	A	WD	2'-6"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
126	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
127	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
128	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
129	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
130	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	—	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	POCKET DOOR
131	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-10	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
132	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F2	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
133	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
134	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
135	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
136	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	5 7/8"	PAINT	H-1	J-1	—	90 MIN	—
137	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	5 7/8"	PAINT	H-1	J-1	—	90 MIN	—
138	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	5 7/8"	PAINT	H-1	J-1	—	90 MIN	—
139	C	HM	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
140	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
141	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
142	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
143	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
144	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
145	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	—	—	—
201	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	—	—	—	HW-3	F1	HM	5 7/8"	PAINT	H-1	J-1	—	45 MIN.	—



DOOR TYPES

FRAME TYPES

DOOR AND HARDWARE SCHEDULE

NOTE:
1. ALL EXIT DOORS INDICATED WITH DEADBOLTS SHALL BE NON-KEYED (THUMB LATCH) FROM THE EGRESS SIDE.

2. ALL LOCKSETS TO BE MASTER KEYED.

3. HARDWARE FINISH TO BE US26D, SATIN CHROMIUM PLATED.

4. HARDWARE INDICATED FOR FUNCTION, EQUAL PRODUCTS OF OTHER MANUFACTURERS ARE ACCEPTABLE.

HARDWARE SET 1
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

- 3 PAIR HINGES, STANLEY FBB114NRP
- 2 PUSH PLATE
- 2 PULL BAR
- 2 KICK PLATE
- 2 CLOSER, YALE PA4400
- 2 DOORSTOP, IVES 436

HARDWARE SET 2
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 LATCHSET, YALE PB5401LN
- 1 DOORSTOP, IVES 436

HARDWARE SET 3
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 PANIC EXIT DEVICE, YALE 2100F
- 1 CLOSER, YALE PA4400
- 1 DOORSTOP, IVES 436

HARDWARE SET 4
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 LOCKSET, YALE PB5405LN
- 1 DOORSTOP, IVES 436

HARDWARE SET 5
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 PUSH PLATE
- 1 PULL BAR
- 1 KICK PLATE
- 1 CLOSER, YALE PA4400
- 1 DOORSTOP, IVES 436

HARDWARE SET 6
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 LOCKSET, YALE PB5408LN
- 1 DOORSTOP, IVES 436

HARDWARE SET 7
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

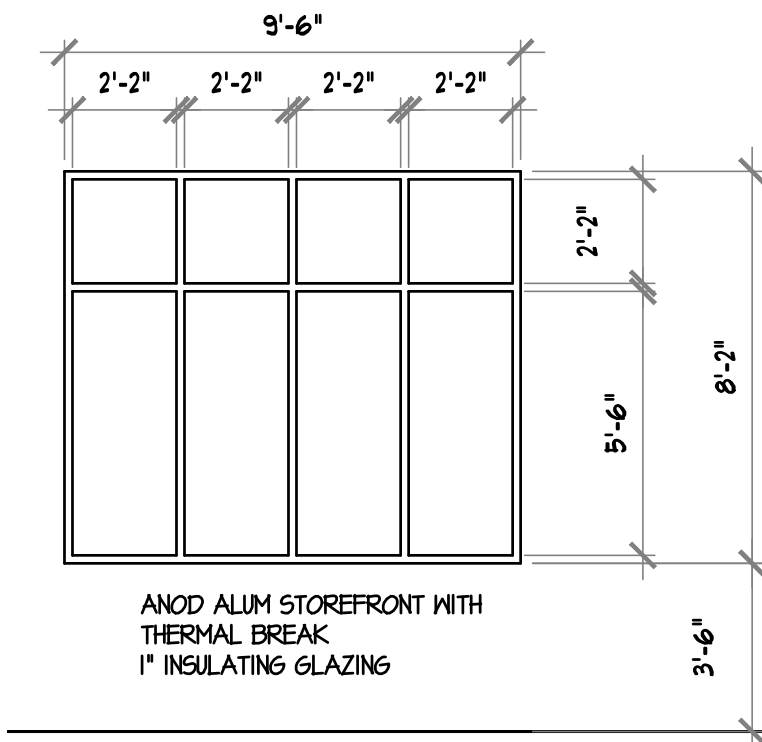
- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 LOCKSET, YALE PB5402LN
- 1 DOORSTOP, IVES 436

HARDWARE SET 8
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

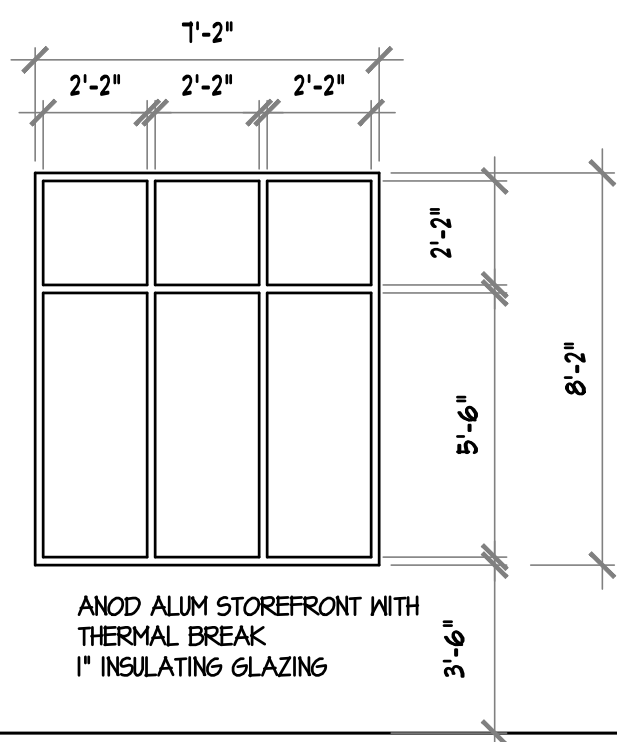
- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 LOCKSET, YALE PB5404LN
- 1 DOORSTOP, IVES 436

HARDWARE SET 9
DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

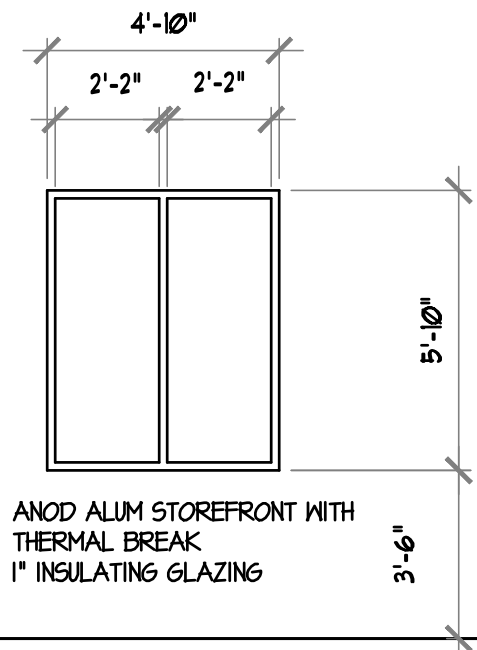
- 1 1/2 PAIR HINGES, STANLEY FBB114NRP
- 1 LOCKSET, YALE PB5405LN
- 1 CLOSER, YALE PA4400
- 1 DOORSTOP, IVES 436



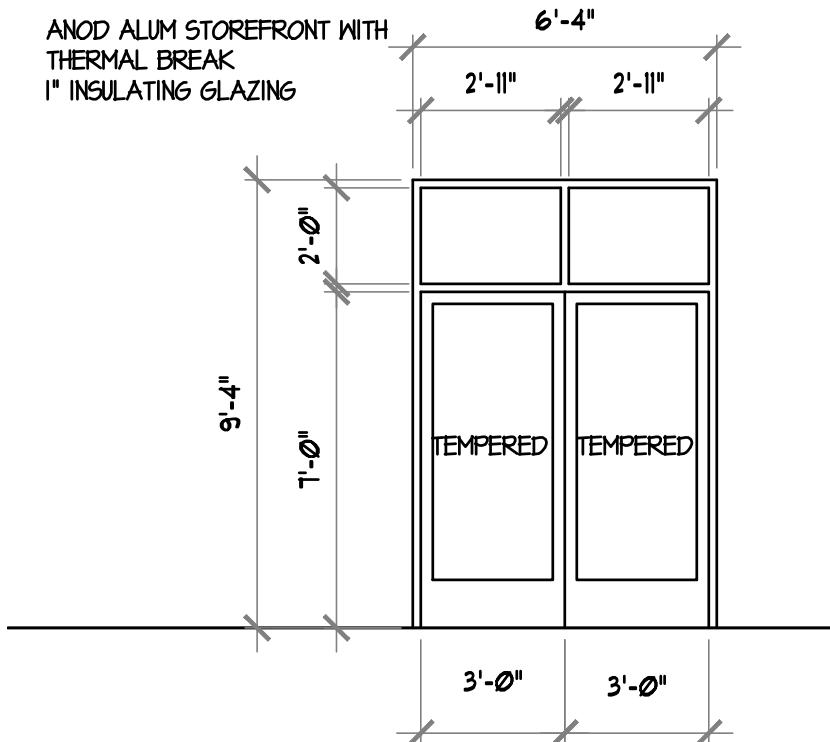
WINDOW 1



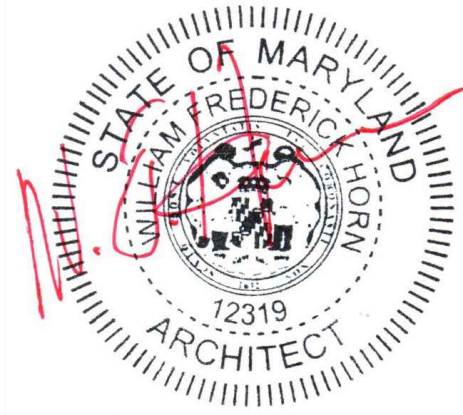
WINDOW 2



WINDOW 3



STOREFRONT ENTRANCE



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

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DOOR SCHEDULE
HARDWARE
AND WINDOW TYPES

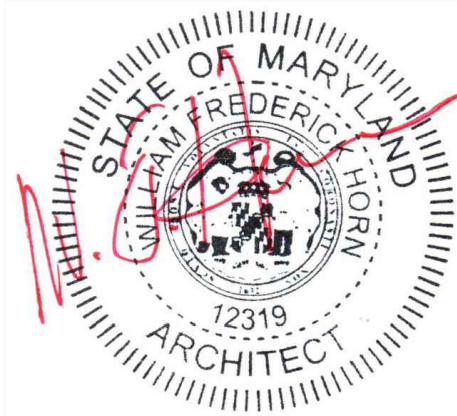
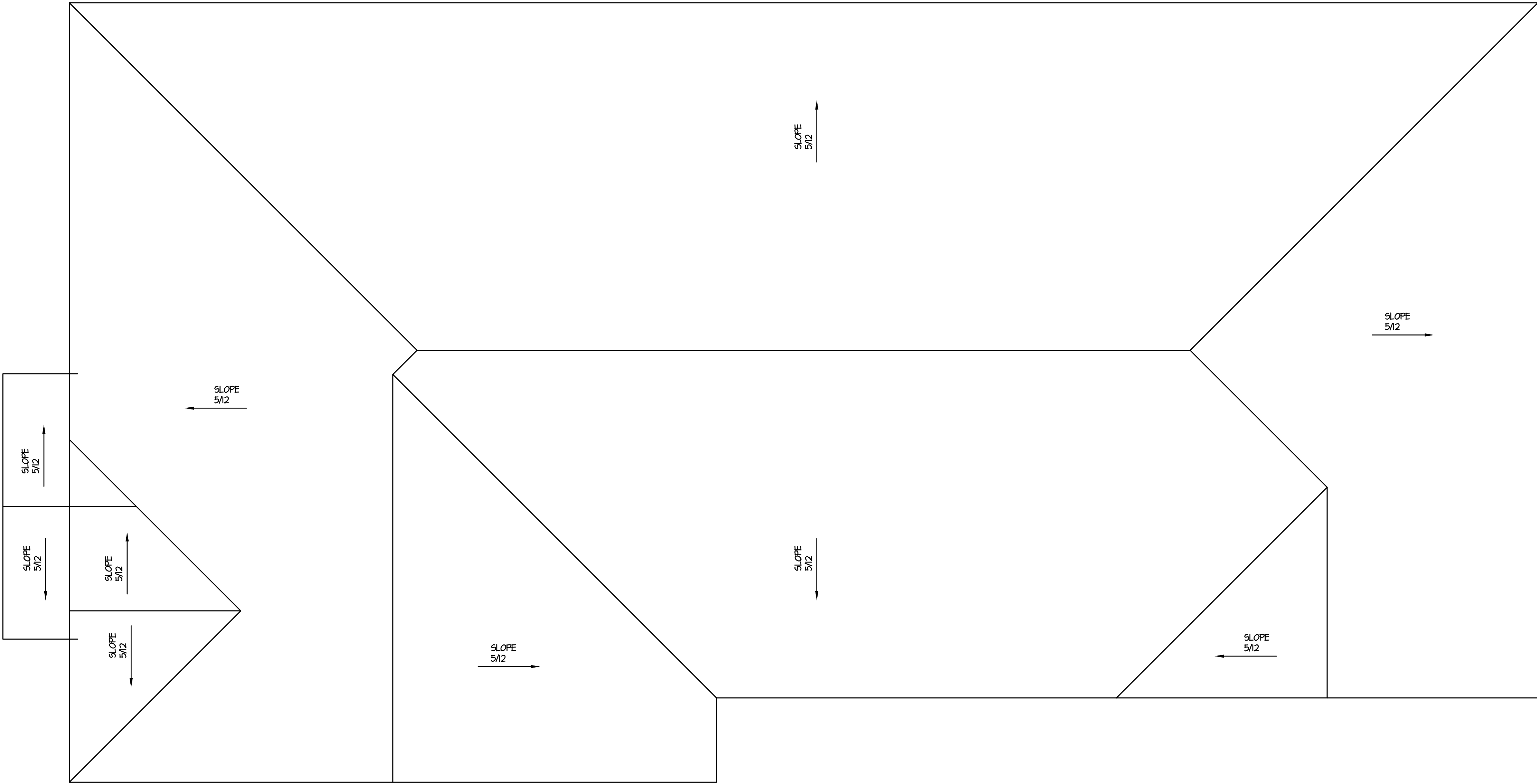
NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

W.F. HORN
ARCHITECT, INC.
30053 W. BARRIER REEF BLVD. LEWES, DELAWARE
PHONE: 302-674-1620 302-231-2176

DESIGNED WFH
DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER

A1.2

1 ROOF PLAN
1/8" = 1'-0"



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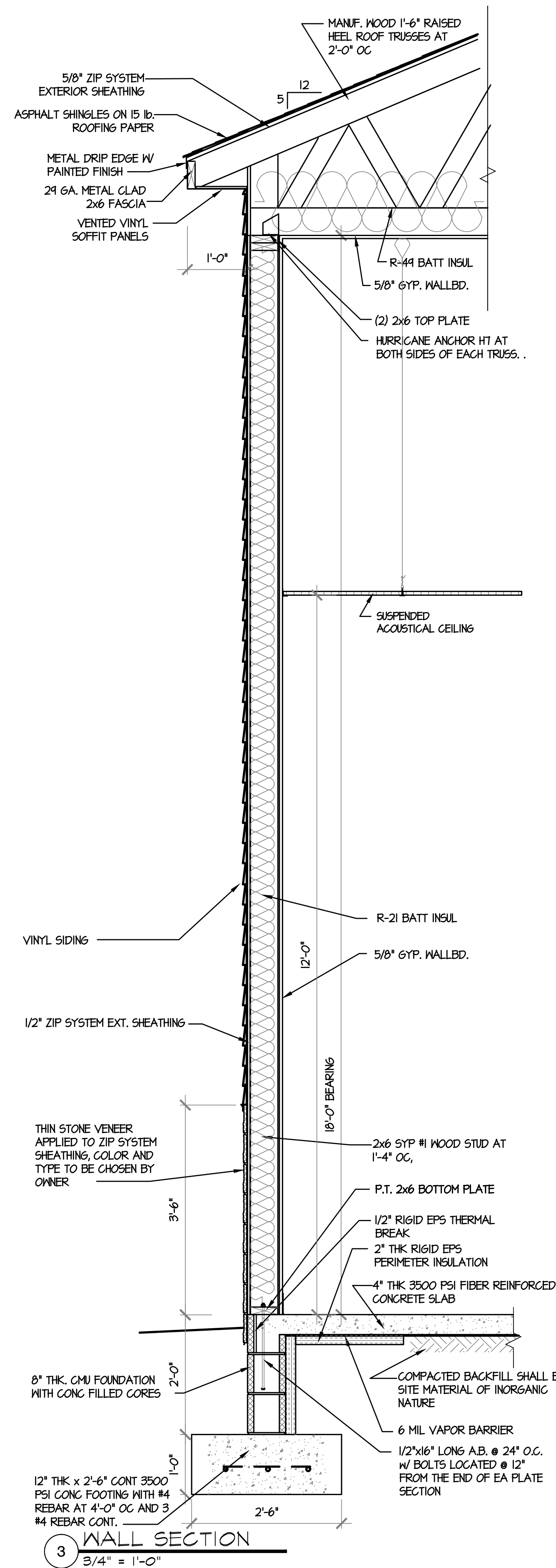
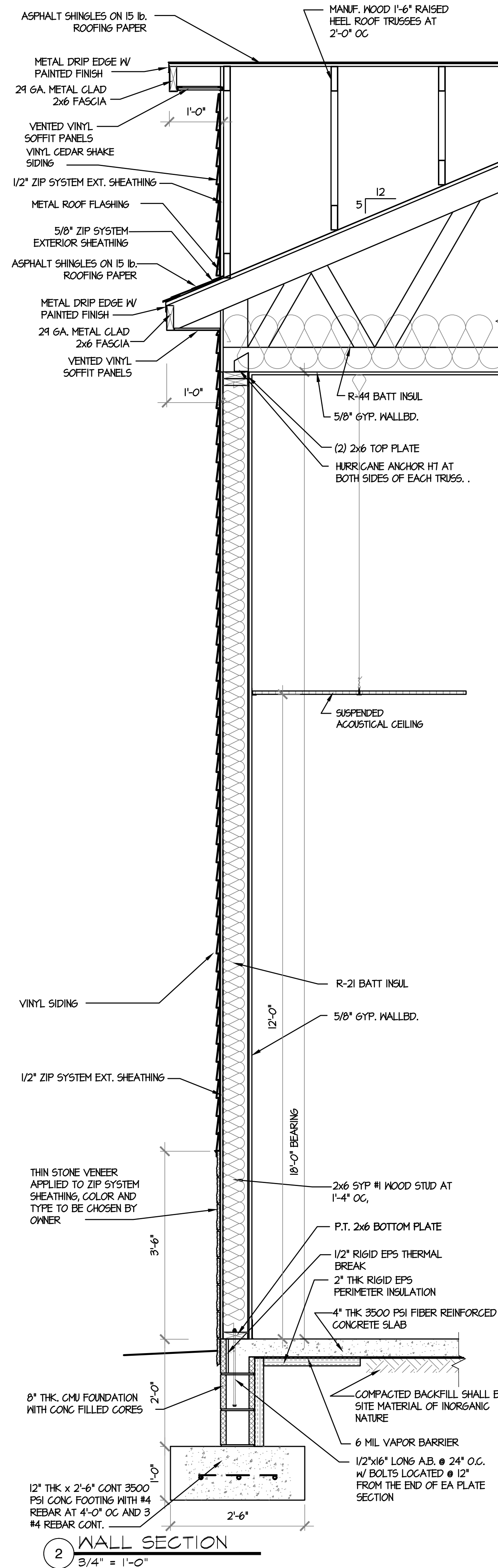
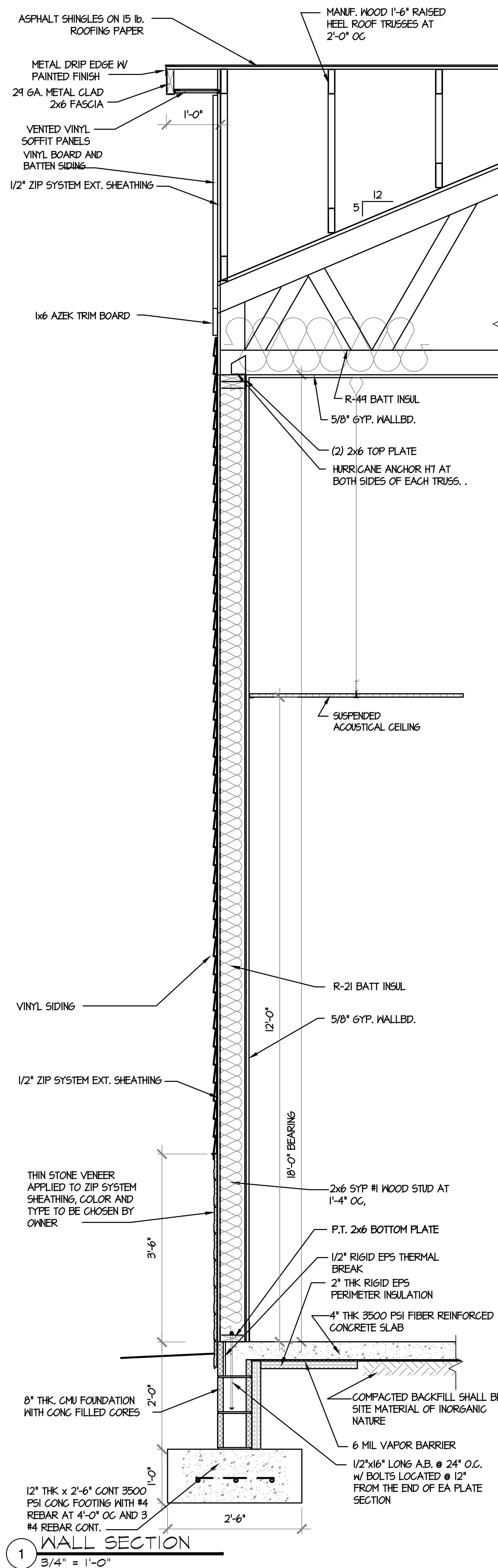
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ROOF PLAN
DETAILS
AND NOTES

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DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER
A1.3

NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

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ARCHITECT, INC.
30053 W. BARRIER REEF BLVD. LEWES, DELAWARE
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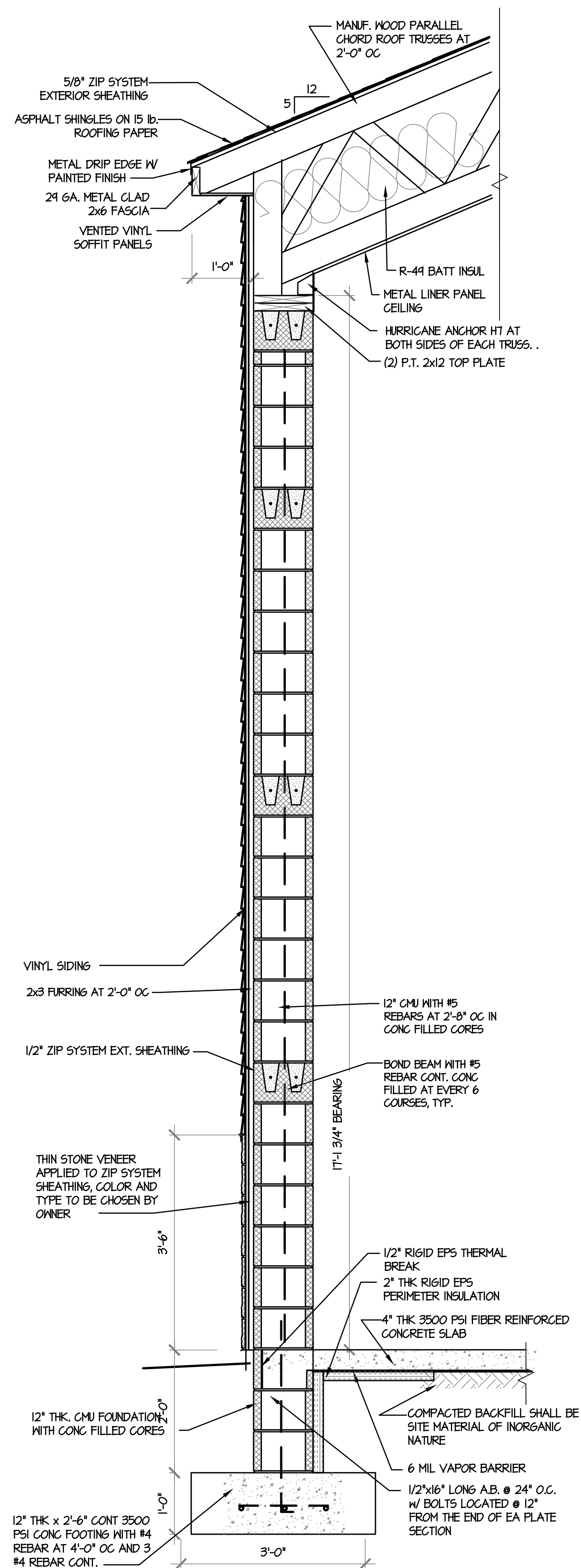
SECTIONS

DESIGNED WFH
DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER

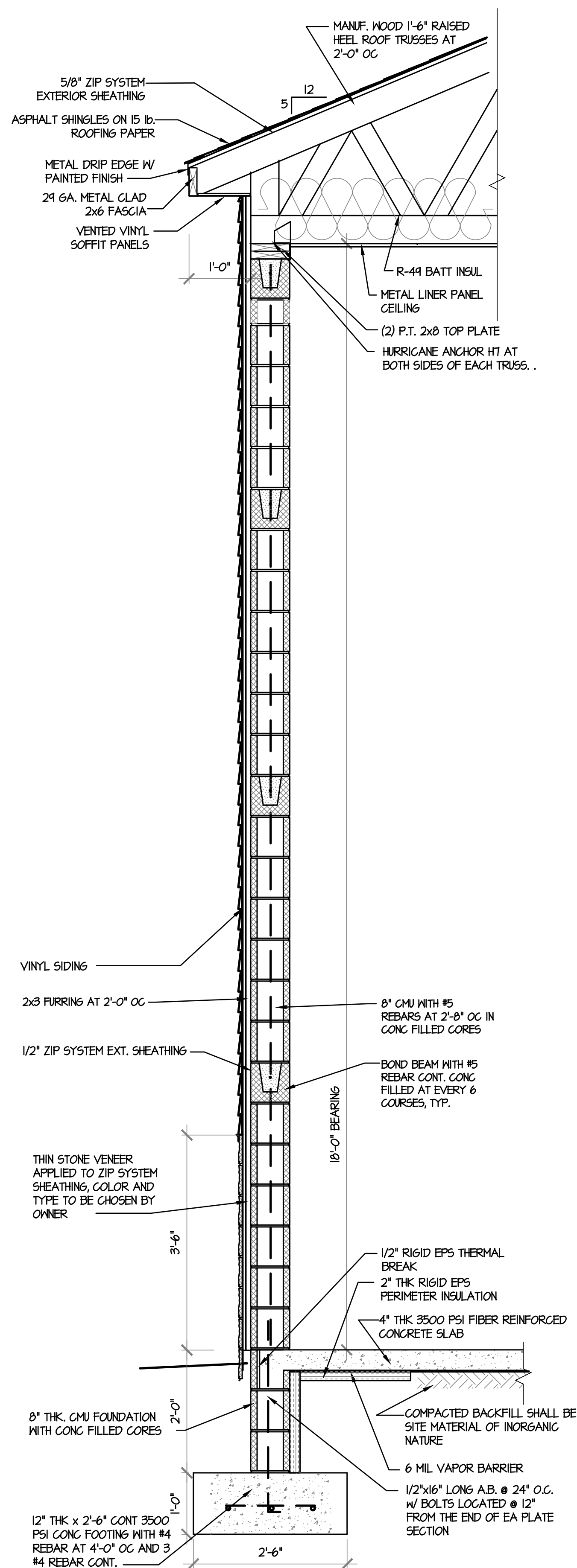
A3.1

NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

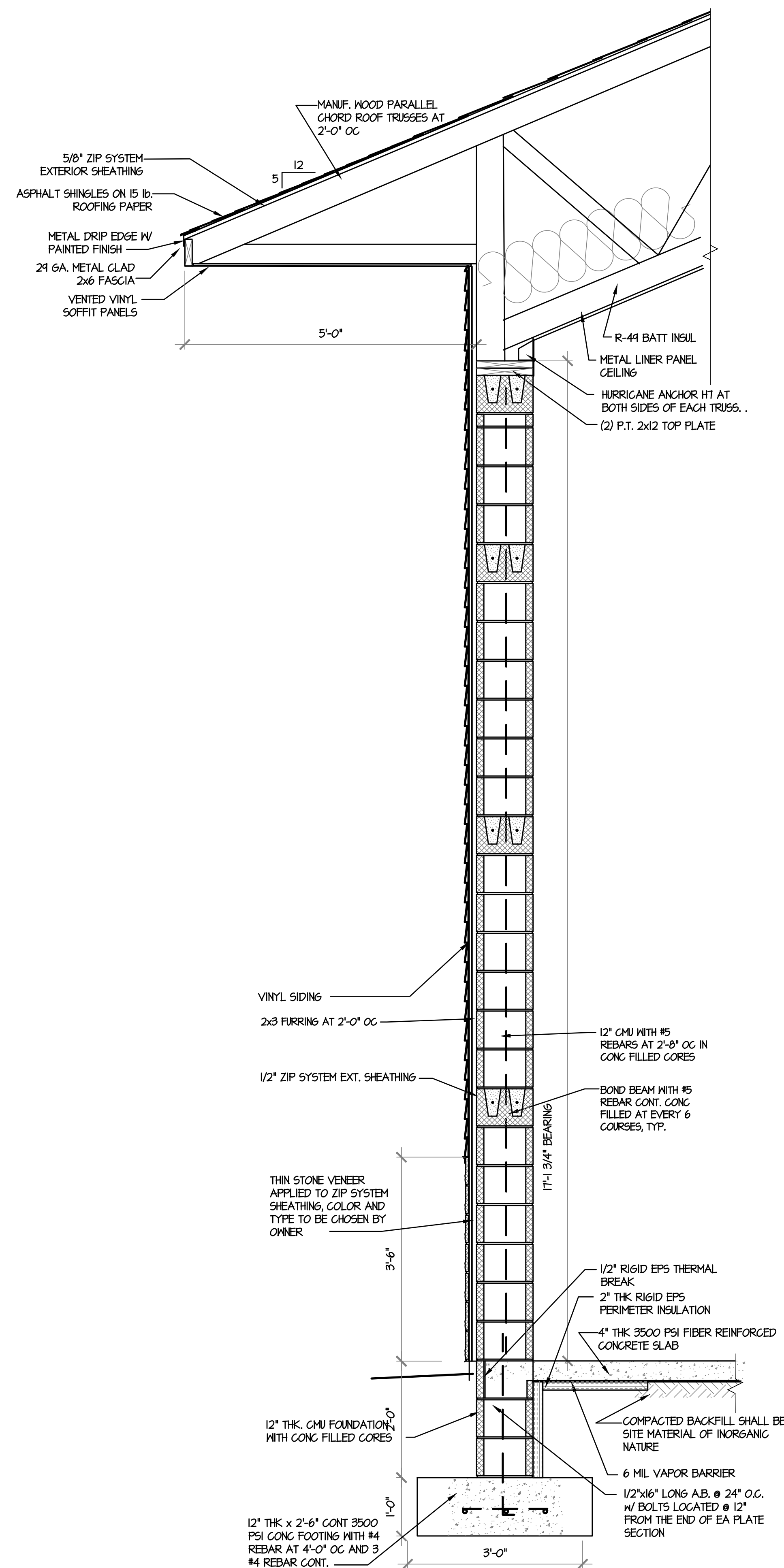
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PHONE: 302-674-1620 302-231-2176



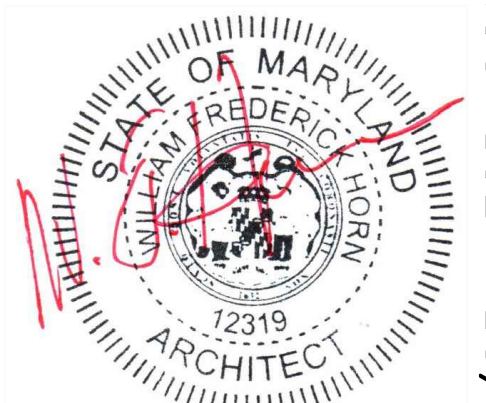
4 WALL SECTION
3/4" = 1'-0"



5 WALL SECTION
3/4" = 1'-0"



6 WALL SECTION
3/4" = 1'-0"



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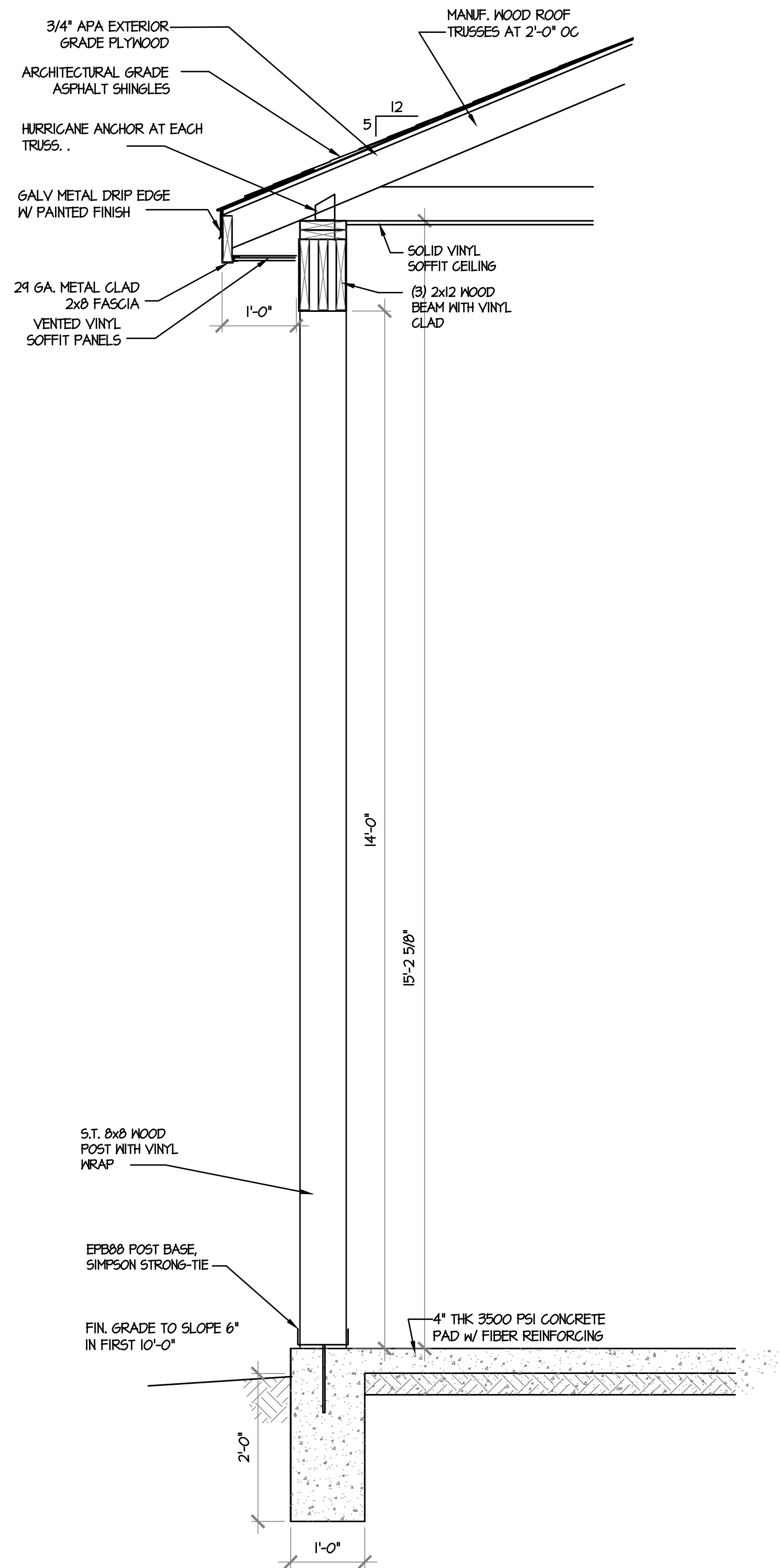
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SECTIONS

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CHECKED WFH
PROJ. NO. OPFD125
SCALE AS NOTED
SHEET NUMBER
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LEWES, DELAWARE
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NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND



7 PORCH EAVE WALL SECTION
3/4" = 1'-0"



PROFESSIONAL CERTIFICATION

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SECTIONS

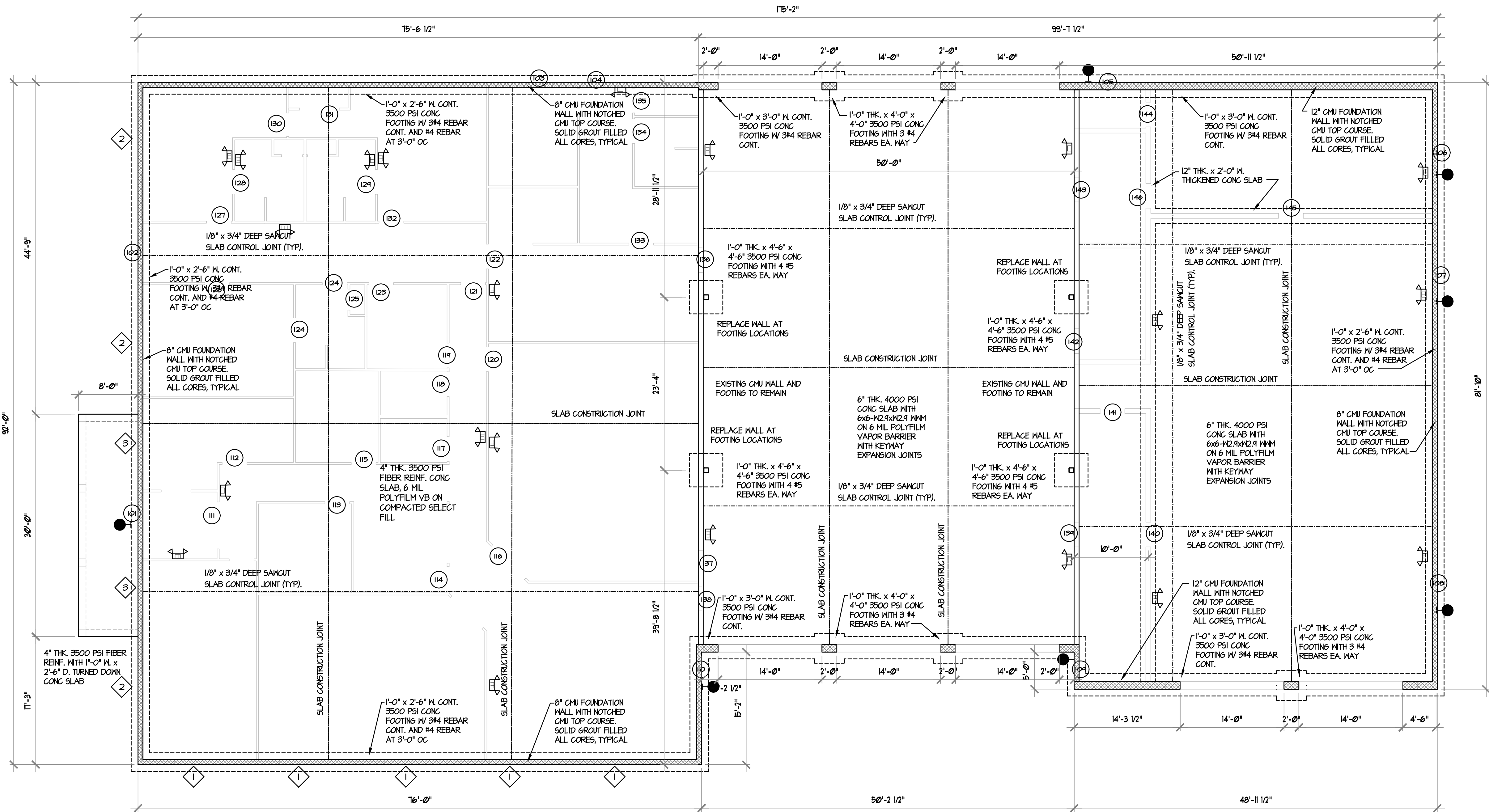
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CHECKED WFH	
PROJ. NO.OPFD125	
SCALE AS NOTED	
SHEET NUMBER	

A3.3

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NEW SOUTH GATE FIREHOUSE FOR:
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FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

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PHONE: 302-674-1620 302-231-2176



1 FOUNDATION PLAN
1/8" = 1'-0"

FOUNDATIONS

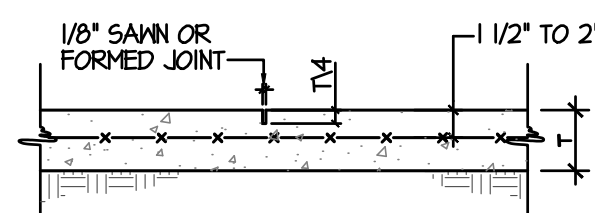
1. PRESUMPTIVE BEARING CAPACITY: 2000 PSF
2. FOUNDATION DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE NATURAL SOILS AND/OR NEW COMPACTED STRUCTURAL FILL.
3. ALL ORGANIC MATERIALS EXCESSIVELY SOFT OR LOOSE SOILS, TREES, ASPHALT, CONCRETE, DEBRIS AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED. UNSUITABLE AREAS SHALL BE REMOVED AND REPLACED.
4. AREAS REQUIRING UNDERCUT AND FILL MATERIAL DUE TO THE PRESENCE OF UNSUITABLE MATERIAL SHALL BE BACKFILLED TO THE DESIGN FOOTING SUBGRADE WITH NEW COMPACTED STRUCTURAL FILL.
5. COMPACTED STRUCTURAL FILL FOR BUILDING SUPPORT UTILIZING MATERIAL APPROVED FOR USE INCLUDE:

ON-SITE GRANULAR SOILS INCLUDING GM, GP, GM, SM, SP, ND, SM, CLASSIFIED IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). FURTHERMORE, THE MATERIAL TO BE UTILIZED AS STRUCTURAL FILL SHOULD HAVE A PLASTICITY INDEX (PI) LESS THAN 20.
6. COMPACTED STRUCTURAL FILL BENEATH ALL FOUNDATIONS, SLABS ON GRADE AND ADJACENT TO FOUNDATION WALLS SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS AND BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557 MODIFIED PROCTOR TEST.
7. SOILS EXPOSED AT THE BASES OF ALL FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND. FOUNDATION EXCAVATIONS SHOULD BE PROTECTED FROM RAINFALL OR FREEZING CONDITIONS. SLOPE FOOTINGS EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY OR PROVIDED SHEETING OR SHORING IN ACCORDANCE WITH OSHA REQUIREMENTS IN THE EVENT THAT THE CONTRACTOR DETERMINES THAT SHEETING OR SHORING IS REQUIRED FOR ESCALATION. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER FOR DESIGN AND DOCUMENTATION OF ALL SHEETING AND SHORING REQUIRED FOR THE WORK.
8. UTILITY LINES SHALL NOT PASS UNDER FOOTINGS, STEP FOOTINGS BELOW UTILITY LINES AND SLEEVE WALL.
9. TRENCHES WHICH RUN ADJACENT TO FOOTINGS AND ARE LOWER THAN THE FOOTING BOTTOM AND ARE WITHIN A HORIZONTAL DISTANCE OF 15 TIMES THE ELEVATION DIFFERENCE SHALL BE BACKFILLED WITH 1500 PSI CONCRETE TO THE FOOTING BOTTOM.

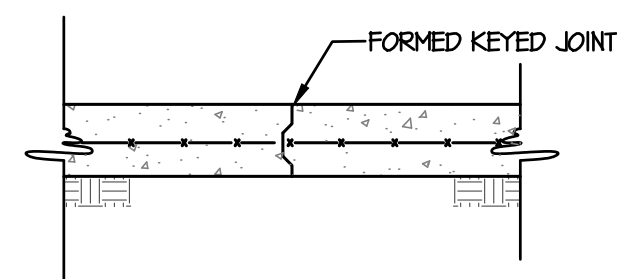
CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318 (LATEST EDITION).
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE:

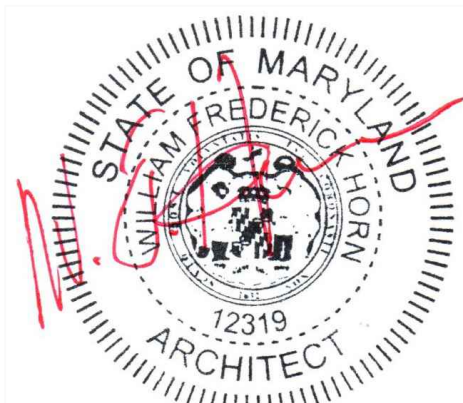
FOUNDATION: 3500 PSI
GARAGE FLOOR SLABS: 3500 PSI
EXTERIOR WALKS, STEPS, PADS, RAMPS AND CURBS: 3500 PSI
ALL CONCRETE SHALL BE AIR-ENTRAINED (6+/-)1%.
3. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
4. CALCIUM CHLORIDE ADMIXTURES ARE PROHIBITED, USE OF ADMIXTURES SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT.



SAWN CONTROL JOINT
N.T.A.



SLAB CONSTRUCTION JOINT
N.T.A.



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

NEW SOUTH GATE FIREHOUSE FOR:
OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

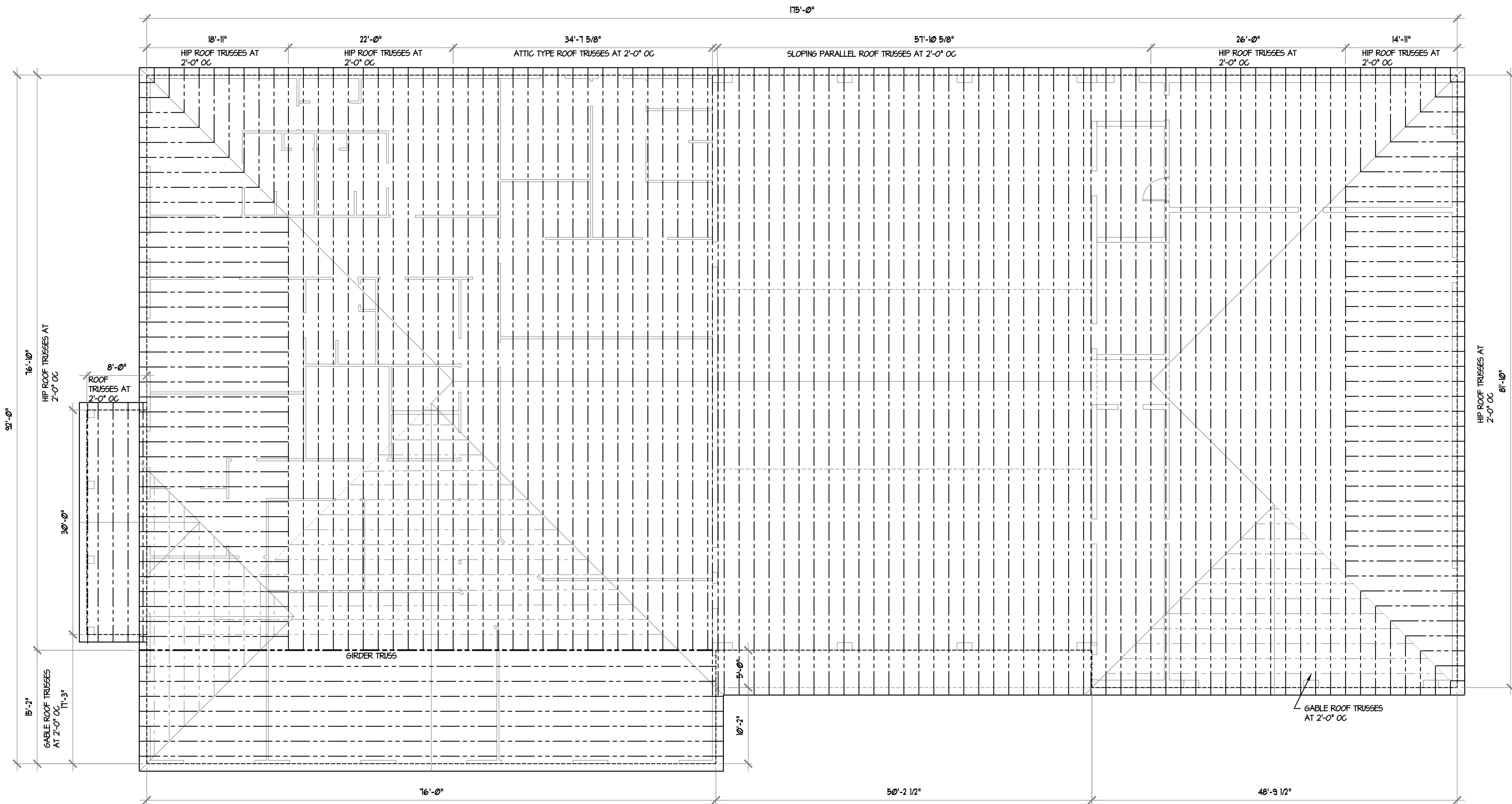
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FOUNDATION PLAN
DETAILS
AND NOTES

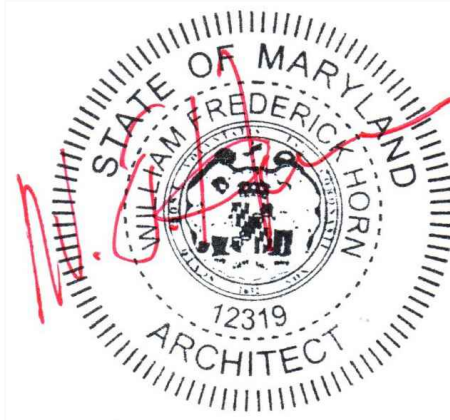
DESIGNED WFH
DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER

F1.1

W.F.HORN
ARCHITECT, INC.
30053 W. BARRIER REEF BLVD. LEWES, DELAWARE
PHONE: 302-674-1620 302-231-2176



1 ROOF FRAMING PLAN
1/8" = 1'-0"



PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.
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PRINTED 07/08/25- FOR CONSTRUCTION
STRUCTURAL PLAN
DETAILS
AND NOTES
S1.1

DESIGNED WFH
DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER

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