WORCESTER COUNTY PLANNING COMMISSION AGENDA Thursday, October 2, 2025

Worcester County Government Center One West Market St., Room 1102 Snow Hill, Maryland 21863

The public is invited to view this meeting live: https://worcestercountymd.swagit.com/live

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

- **Call to Order** (1:00 p.m.)
- II. Administrative Matters
 - A. Planning Commission Meeting Minutes September 4, 2025
 - **B.** Planning Commission Work Session Meeting Minutes September 11, 2025
 - C. Board of Zoning Appeals Agenda October 9, 2025
 - D. Technical Review Committee Agenda October 8, 2025
- III. Site Plan Review
 - A. Ocean Pines Volunteer Fire Department South Station Major Site Plan Review
- IV. Adjournment

WORCESTER COUNTY PLANNING COMMISSION MEETING MINUTES – September 4, 2025

Meeting Date: September 4, 2025

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission Staff

Jerry Barbierri, Chair Jennifer Keener, Director, DRP

Phyllis Wimbrow Matt Laick, Zoning Administrator, DRP

Betty Smith Ben Zito, DRP Specialist, DRP Marlene Ott Gary Pusey, DRP Specialist, DRP

Kathy Drew Roscoe Leslie, County Attorney, Administration

Mary Knight Ken Church

I. Call to Order

II. Administrative Matters

A. Review and approval of minutes, August 7, 2025.

As the first item of business, the Planning Commission reviewed the minutes of the August 7, 2025, meeting.

Following the review, a motion was made by Ms. Ott to approve the minutes as written Ms. Drew seconded the motion, and the motion carried unanimously.

B. Board of Appeals Agenda, September 11, 2025.

As the next item of business, the Planning Commission reviewed the agenda for the Board of Zoning Appeals meeting scheduled for September 11, 2025. Mr. Pusey was present for the review to answer questions and address concerns of the Planning Commission.

Ms. Drew inquired about Case No. 25-39 regarding the two (2) variances to reduce the Atlantic Coastal Bays Critical Area buffer. Mr. Pusey provided an overview of the case and variance request. Hugh Cropper IV, in attendance, also provided details regarding the case.

After a discussion, no comments were forwarded to the Board.

C. Technical Review Committee Agenda, August 13, 2025.

As the next item of business, the Planning Commission reviewed the agenda for the Technical Review Committee meeting scheduled for September 10, 2025. Mr. Zito was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Committee.

III. Site Plan Review

WORCESTER COUNTY PLANNING COMMISSION MEETING MINUTES – September 4, 2025

A. Pocomoke Storage, LLC – Major Site Plan Review, Automatic Landscaping Irrigation Waiver Request, and Gravel Waiver Request

As the next item of business, the Planning Commission reviewed a Major Site Plan for the Pocomoke Storage, LLC project.

Mr. Nathan Noble approached the table. Mr. Noble provided an over of the project, and the need for an automatic landscaping irrigation waiver request per §ZS 1-322(b)(7). Mr. Zito clarified that an additional waiver for the proposed gravel driveway and parking area will be needed per §ZS 1-320(f)(1). Ms. Keener clarified that the site plan would need to receive a variance from the Board of Zoning Appeals from the 100' front yard setback from US Route 113.

Following a review, a motion was made by Ms. Knight to approve the site plan as submitted, contingent upon a variance from the Board of Zoning Appeals, as well as granting the waivers to the automatic landscaping irrigation and gravel driveway and parking areas.

Ms. Ott seconded the motion, and the motion carried unanimously.

IV. Miscellaneous

A. Approved Private Roads Request – The Elms Minor RPC

Mr. Hugh Cropper, IV and Mr. Steve Engel approached the table. Mr. Cropper provided an overview of the Elms RPC, as well as the request for the proposed private roads. Mr. Barbierri inquired about the proposed road names, and Mr. Engel provided insight into the selected road names.

Following a review, a motion was made by Ms. Knight for the Planning Commission to forward a favorable recommendation to the County Commissioners for the approval of the proposed private roads. Ms. Smith seconded the motion, and the motion carried unanimously.

V. Adjourn

On a motion made by Ms.	Knight and	d seconded	by Ms.	Ott, the	Planning	Commission
adjourned.						

Mary Knight, Secretary	
Ben Zito, DRP Specialist	

WORCESTER COUNTY PLANNING COMMISSION WORK SESSION MEETING MINUTES – September 11, 2025

Meeting Date: September 11, 2025

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission Staff

Jerry Barbierri, Chair Jennifer Keener, Director, DRP
Phyllis Wimbrow, Vice Chair Matt Laick, Deputy Director, DRP

Kathy Drew Bob Mitchell, Director, EP Marlene Ott Lily Wagner, Planner, EP

Betty Smith Mary Knight

I. Call to Order

II. Comprehensive Plan Work Session

Water Resource Element

As the first item of business, the Planning Commission met with Michael Bayer from Wallace Montgomery to discuss the revised draft Water Resources Element (WRE). The Planning Commission reviewed the various sections and made suggested edits. They had a discussion on wastewater treatment plant capacity, PFAs ("forever chemicals"), reporting of annual agricultural irrigation data, and reconciling the growth area numbers in the tables to a map.

Fisheries Element

The Planning Commission then reviewed the Fisheries Element, which is required for all jurisdictions that are located on tidal waters. Mr. Bayer stated that he provided the draft copy to Maryland Department of Natural Resources (DNR) for review and feedback and had additional data to be input. Staff and the Planning Commission recommended adding language about the impacts of the off-shore wind project, which includes the operations and maintenance facility in the commercial harbor, as well as updated numbers on the economic impact of various fishing tournaments like the White Marlin Open.

Land Use Element and Maps

Next, the Planning Commission reviewed the Land Use Element. Mr. Bayer explained that the starting point for this chapter was the existing land use chapter from the 2006 Comprehensive Plan. Staff and the Planning Commission discussed various topics including:

• Adding language regarding off-shore wind impacts.

WORCESTER COUNTY PLANNING COMMISSION WORK SESSION MEETING MINUTES – September 11, 2025

- How to appropriately balance solar development with agricultural and residential needs.
- The impacts of development in Sussex County, DE and Accomack County, VA on local infrastructure.
- Eliminating the Existing Developed Area (EDA) land use category and replacing it with a true residential classification. Currently, there is no independent residential land use category. The EDA encompasses residential, as well as commercial properties, which should be reclassified as Commercial Centers.
- Eliminating references to the Transfer of Development Rights program. The Planning Commission felt that Worcester County does not have sufficient sewer capacity at this time to truly designate receiving areas. Mr. Bayer stated that some of the Maryland counties that do have such programs have not been as successful in implementation.
- The Planning Commission wanted to keep the discussion on "commercial cinders", which are commercial properties that have been underutilized or abandoned, and could be utilized for other uses. There was also discussion on whether there was an appropriate supply of commercial zoning, as the current Comprehensive Plan states that there is an oversupply. An analysis needs to be completed on this topic.
- Further inquiry into the industrial land use category is needed. The current Comprehensive Plan states that a light industry location should be developed in the northern county, however it also states that there are sufficient industrial areas. Staff will inquire with the Department of Economic Development on this matter.
- How recommendations in the existing Comprehensive Plan were incorporated into
 various documents such as the Design Guidelines and Standards for Commercial
 Uses, the addition of consolidated development rights and rural cluster subdivisions
 into the Zoning and Subdivision Control Article, and amendments to the Residential
 Planned Community section of the Zoning Code to discuss the best practices and
 growth area considerations listed in the plan.
- The Planning Commission discussed the elimination of the E-1 Estate District, which had been proposed in the 2006 Comprehensive Plan, but was not implemented in the 2009 Zoning Code. It was suggested that language be added about its removal.

Staff and Mr. Bayer noted that the Future Land Use Map was not ready for distribution. Mrs. Keener reiterated how the municipalities were given the opportunity to weigh in on the Growth Areas surrounding their municipal boundaries, and the Planning Commission reviewed those areas for consensus in April 2025. That was the basis for the development capacity analysis ("build-out analysis") that informed the Water Resources Element and Land Use Element. Staff has not yet worked with the consultant to review the map and make suggested edits before presenting to the Planning Commission.

Copies of the April 2025 growth area maps were included in the packet, with the notations as to the action that the Planning Commission took on each area. Also included in the packet were two requests from the public; one that had been reviewed during that meeting, and one received in May 2025. Mr. Mark Cropper was present at the work session and provided

WORCESTER COUNTY PLANNING COMMISSION WORK SESSION MEETING MINUTES – September 11, 2025

comments on his request for a growth area on behalf of BLS Realty for property located outside of Ocean Pines, along the southwesterly side of Racetrack Road. He also provided the Planning Commission with a copy of a letter for another property located off Holly Grove Road, that is currently designated Green Infrastructure, and zoned Resource Protection District. His client would like a different zoning designation and didn't want to miss the opportunity for consideration. The Planning Commission discussed the purpose behind the prior designation of the Green Infrastructure category and associated zoning within what is known as the "Holly Grove Swamp".

Overall, no action was taken. The feedback received from staff and the Planning Commission will be incorporated into revised documents for further consideration.

The Planning Commission acknowledged that there will be a joint work session to be held with the Worcester County Commissioners on Tuesday, September 16, 2025, on the Introduction and County Profile chapters of the plan.

Mary Knight, Secretary	-	
, ,		
Jennifer Keener, Director	-	

III.

Adjourn

NOTICE OF PUBLIC HEARING WORCESTER COUNTY BOARD OF ZONING APPEALS AGENDA

THURSDAY OCTOBER 9, 2025

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland. Audio and video recording will take place during this public hearing.

The public is invited to view this meeting live online at - https://worcestercountymd.swagit.com/live

6:30 p.m.

Case No. 25-53, on the lands of the Donald W. Urbancic Living Trust, requesting a variance to the rear yard setback from 5 feet to 3.4 feet (to encroach 1.6 feet) for a proposed deck in the A-2 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-202(c)(18), ZS 1-305 and ZS 1-318, located at 8837 Bay Ridge Drive, Tax Map 33, Parcel 347, Lot 163, Tax District 10, Worcester County, Maryland.

6:35 p.m.

Case No. 25-54, on the lands of Holly and Daniel Bernabei, requesting a variance to the side yard setback from 10 feet to 4.8 feet (to encroach 5.2 feet) and a variance to the rear yard setback from 25 feet to 24.875 feet (to encroach 0.125 feet) for a proposed open deck enlargement in the R-1 Rural Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-205(b)(2) & ZS 1-305 located at 11406 Maid at Arms Lane, Tax Map 26, Parcel 1, Lot 74, Tax District 3, Worcester County, Maryland.

6:40 p.m.

Case No. 25-56, on the lands of Kristi and Brooks Brittingham, requesting five (5) variances associated with a proposed minor subdivision, including three (3) variances to the front and side yard setback for existing poultry houses from 200 feet to 100 feet (a reduction of 100 feet); one (1) variance to the front yard setback for an existing manure shed from 200 feet to 170 feet (a reduction of 30 feet); and one (1) variance to the minimum lot width requirement from 200 feet to 180.13 feet (a reduction of 19.87 feet) for a proposed new lot in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-201(b)(5), ZS 1-349(f) and ZS 1-305, located at 8723 Ninepin Branch Road, Tax Map 30, Parcel 16, Tax District 4, Worcester County, Maryland.

6:45 p.m.

Case No. 25-57, on the lands of Rhonda and Clayton Hathaway, on the application of Blair Carey/RBR Homes, requesting a variance to the rear yard setback from 30 feet to 20.8 feet (to encroach 9.2 feet) for a third floor open deck with stairs and a variance to the rear yard setback from 30 feet to 26 feet (to encroach 4 feet) for first, second and third floor porches associated with a proposed residence in the R-3 Multi-family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2) and ZS 1-305, located at 38 Teal Circle, Tax Map 16, Parcel 41, Section 4, Lot 61, Tax District 3, Worcester County, Maryland.

6:50 p.m.

Case No. 25-55, on the lands of the Friends of Bishopville Cemetery, Inc., on the application of Joseph E. Moore, requesting two (2) special exceptions for (1) the expansion of an existing cemetery and (2) the approval of a Columbarium on a separate parcel in the V-1 Village District, pursuant to Zoning Code §§

ZS 1-116(c)(3), ZS 1-204(c)(19) and ZS 1-305, located at 10636 Cemetery Road, Tax Map 3, Parcels 98 and 101, Tax District 5, Worcester County, Maryland.

6:55 p.m.

Case No. 25-58, on the lands of Cecelia and Joseph Letts, on the application of Hugh Cropper IV, requesting a special exception for the enlargement of a nonconforming structure (single-family residence) and three (3) variances including (1) a variance to the side yard setback from 20 feet to 11.2 feet (to encroach 8.8 feet) for the dwelling; (2) a variance to the side yard setback from 20 feet to 13.5 feet (to encroach 6.5 feet) for a proposed deck and steps; and (3) an after-the-fact variance to the side yard setback from 20 feet to 3.7 feet (to encroach 16.3 feet) for an existing shed in the A-2 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(5), ZS 1-122(d)(1), ZS 1-116(c)(3), ZS 1-116(c)(4), ZS 1-202(b)(5) and ZS 1-305, located at 8949 Clark Road, Tax Map 33, Parcel 7, Tax District 10, Worcester County, Maryland.

7:00 p.m.

Case No. 25-59, on the lands of John Skidmore, requesting a variance to the side yard setback from 6 feet to 0 feet (to encroach 6 feet) for a proposed pool, deck, covered deck and associated improvements in the R-3 Multi-family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2) and ZS 1-305, located at 26 West Mallard Drive, Tax Map 21, Parcel 273, Section 14C, Lot 122, Tax District 3, Worcester County, Maryland.

7:05 p.m.

Case No. 25-52, on the lands of Nicholas and Danielle Campanaro, on the application of Hugh Cropper IV, requesting a variance to reduce the Atlantic Coastal Bays Critical Area Buffer from 100 feet to 75.4 feet (to encroach 24.6 feet) for a proposed single-family residence in the R-1 Rural Residential District, pursuant to Zoning Code §§ ZS 1-116(m), ZS 1-205(b)(2) and ZS 1-305 and Natural Resources Code §§ 3-104(d)(4) and NR 3-111, located on the southwestern side of Trappe Creek Drive at its intersection with Hunting Hound Road, Tax Map 32, Parcel 349, Lot 15, Tax District 3, Worcester County, Maryland.

Administrative Matters

IMPORTANT NOTICE

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE AGENDA

Wednesday, October 8, 2025 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

- I. Call to Order
- II. Site Plan Review (§ ZS 1-325)
 - A. Bishopville Volunteer Fire Department Major Site Plan Review

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Bishopville, MD 21813. Tax Map 9, Parcel 214 & 216, Tax District 5, V-1 Village District, Bishopville Volunteer Fire Department, Inc., owner / Davis, Bowen, & Friedel, Inc., surveyor/engineer.

III. Adjourn

WORCESTER COUNTY PLANNING COMMISSION

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

MEETING DATE: October 2, 2025

PURPOSE: Ocean Pines Volunteer Fire Department South Gate Firehouse - Major Site Plan Review

DEVELOPMENT: Proposed site development for Ocean Pines Volunteer Fire Department South Gate Firehouse. Development includes proposed firehouse, bays, parking spaces, and stormwater management facilities.

LOCATION: Located at 911 Ocean Parkway, Berlin, MD 21811. Tax Map 16, Parcel 18, Tax District 3.

ZONING DESIGNATION: C-2 General Commercial District.

BACKGROUND: The Ocean Pines Volunteer Fire Department is proposing to construct a new firehouse and bays at the South Gate Firehouse. Portions of the existing firehouse and bays will be demolished, and new facilities will be built in the same general footprint. The new building will be a total of 14,875 square feet.

SIGNS: On-building signage reading "Ocean Pines Volunteer Fire Department" is proposed.

PARKING: Per §ZS 1-320, a minimum of 41 spaces are required on the subject parcel, while only 28 are provided. 13 spaces from the adjacent parcel, owned by Ocean Pines Association, Inc., are proposed to be shared with the subject parcel, allowable under the off-premises parking provisions per §ZS 1-320(h).

Prior to the issuance of any building or zoning permit for any use or structure utilizing off-premises parking, the owners shall execute a written contract, easement or agreement, acceptable to the County Attorney, providing for the continued use of any off-premises parking and all terms and conditions as originally approved by the Planning Commission which shall be recorded in the land records of Worcester County.

Parking spaces shall be demarcated with painted stripes and parking bumpers where shown. Handicap accessible parking spaces have been provided as required under the Maryland Accessibility Code.

LOADING SPACES: No loading spaces are proposed and none are required.

TRAFFIC CIRCULATION: The site will be accessed from Ocean Parkway and Firehouse Lane.

PEDESTRIAN AND BICYCLE CONNECTIVITY: §ZS 1-320 does not require a bicycle rack, and no bicycle racks are proposed.

REFUSE REMOVAL: No dumpsters are proposed. The applicants will need to provide more information regarding refuse removal.

LANDSCAPING: A landscape plan has been provided in accordance with §ZS 1-322. A complete and automated landscape irrigation system including rain sensors is proposed.

FOREST CONSERVATION LAW: This project is not required to comply with Forest Conservation Law. The property is located within the landward limits of the Atlantic Coastal Bays Critical Area is therefore exempt from the Forest Conservation Act.

STORMWATER MANAGEMENT/ SEDIMENT EROSION CONTROL: This project has obtained Stormwater Concept Plan approval.

CRITICAL AREA LAW: This property is located within the Atlantic Coastal Bays Critical Area (ACBCA) program boundary and is designated as Intensely Developed Area (IDA).

Staff will require written confirmation from the Natural Resources Division of Department of Environmental Programs that their requirements have been met prior to signature approval.

WATER SUPPLY AND WASTEWATER SERVICES: This property is served by public water and sewer. Staff will require written confirmation from the Department of Environmental Programs that their requirements have been met prior to signature approval.

ARCHITECTURAL JUSTIFICATION: This development is located within the Town Center tradition. The building elevations have been reviewed under the *Design Guidelines and Standards for Commercial Uses*.

The Planning Commission is empowered to grant waivers to the mandatory standards where it finds that the proposed alternative building or site design features generally achieve the overall objectives of the guidelines and standards that apply to the waiver being requested. In reviewing

waiver requests, the Planning Commission shall focus on the issues in a collective fashion as they apply to a particular facet of a project and not on each individual item in and of itself. The objective is to appreciate that in building or site design the total can truly be greater than the value of each component individually. Substantive building or site features which are provided beyond those required either by the terms of the *Zoning and Subdivision Control Article* or this document shall weigh heavily in evaluation of waiver requests.

The items requiring a waiver from the Planning Commission have been itemized below under "Planning Commission Considerations." The applicant is required to justify their waiver request based upon the criteria outlined in Section 2(b) of the *Design Guidelines and Standards*.

PROPERTY OWNER: Ocean Pines Volunteer Fire Department, Inc.

APPLICANT: Ocean Pines Public Works Department & Ocean Pines Volunteer Fire Department

LAND PLANNER: Vista Design, Inc.

PREPARED BY: Ben Zito, DRP Specialist

PLANNING COMMISSION CONSIDERATIONS – DESIGN GUIDELINES

Design Guidelines: Waivers Requested

Sec 16(b)(2), 16(b)(3), 16b(8)	Pedestrian and Bicycle Circulation
Sec 19b(1), 19b(2)	Community Features & Spaces

Section 16(b)(2): Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. Sidewalks shall be provided with human-scale lighting to create a safe and attractive pedestrian atmosphere.

Section 16(b)(3): Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site.

<u>Section 16(b)(8):</u> Seating areas for pedestrians shall be provided near the entry and under protective coverings. Seating should be provided at least every one hundred feet of sidewalk along building facades having customer entrances.

Section 19(b)(1): Each commercial structure shall contribute to the improvement of public spaces by providing a community space that is centrally located, connected to the pedestrian walkway and placed in areas with the highest pedestrian traffic. It should be constructed of materials that are similar to the principal materials of the building and landscaped compatibly. This community space shall provide seating and at least one of the following:

- A. Patio.
- B. Pedestrian plaza.
- C. Transportation center.
- D. Window shopping walkway.
- E. Outdoor playground area.
- F. Kiosk area.
- G. Water feature.
- H. Clock tower.
- I. Other such deliberately shaped area or focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces.

Section 19(b)(2): Required community spaces shall be at least eight hundred square feet in size with no side less than twelve feet long.



September 12, 2023

Mr. Benjamin M. Zito
DRP Specialist III
Worcester County – Development Review and Planning
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Ocean Pines Volunteer Fire Department South Station Waiver Request of Various Design Guidelines

Dear Mr. Zito,

On behalf of our client, Ocean Pines Association, Inc. please accept this letter as our request for waivers of various sections of the Worcester County Design Guidelines (as adopted January 17, 2017) and Worcester County Code. The Ocean Pines Association, Inc is proposing to construct a new 14,875 square foot Ocean Pines Volunteer Fire Department South Station and associated infrastructure including travel aisles, water distribution, sewer conveyance within the Worcester County's Ocean Pines Sanitary Service Area, and Stormwater management components on the 1.34 acre Parcel 'A' (TM: 18, G: 20, P: 18), C-2 (General Commercial District) zoned property located at 911 Ocean Parkway, Ocean Pines. The property is located adjacent to the OPA Dept. of Public Works facility, and along a section of Ocean Parkway that is not adjacent to any residential homes. As such, the facility is not anticipated to negatively impact any adjacent properties.

The specific waivers being requested to support the expansion of the South Fire Department facility include:

- 1. Section 16(b)(2) Sidewalks at least five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. Sidewalks shall be provided with human-scale lighting to create a safe and attractive pedestrian atmosphere:
 - a. There are currently no sidewalks or walking paths in the vicinity of the existing fire department structure that is proposed for expansion. All pedestrians are instead directed to an existing trail network on the opposite side of Ocean Parkway that surrounds Southgate Pond. In addition, due to the industrial nature of the emergency service vehicles arriving and departing from the fire station and neighboring Ocean Pines Department of Public Works site, which has large equipment and construction materials entering and leaving the area via Firehouse Lane, we hereby request a waiver to not install sidewalks on all sides of the lot to reduce potential pedestrian conflicts.
- 2. Section 16(b)(3) Continuous internal pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site
 - a. The site proposes to provide an internal five foot width sidewalk around the northern portion of the proposed firehouse to serve full and part-time employees, volunteers and visitors who will

Mr. Benjamin M. Zito – Development Review and Planning

RE: Ocean Pines Volunteer Fire Department South Station – Waiver Requests of Various Design Guidelines September 12, 2025

Page 2 of 3

utilize the site's off-street parking lot to access the building. To coincide with waiver request #1 above, we hereby request a waiver to not install internal sidewalks that would interconnect to a public sidewalk system along all sides of the property.

- 3. Section 16(b)(8) Seating areas for pedestrians shall be provided near the entry and under protective coverings. Seating should be provided at least every one hundred feet of sidewalk along building facades having customer entrances.
 - a. The proposed firehouse is not proposed to have a community meeting hall component to host events (weddings, public meetings, etc.) and will not have a 'customer' entrance. The new firehouse will have a visitor entrance along the northside of the building adjacent to the parking lot and have internal sidewalks leading to and from the main entrance to the firehouse from the adjacent onsite parking lot. Due to the industrial nature of the emergency services provided on the site we hereby request a waiver to not provide pedestrian seating areas at the visitor entrance and along the sidewalks to the building.
- 4. Section 19(b)(1) Each commercial structure shall contribute to the improvement of public spaces by providing a community space that is centrally located, connected to the pedestrian walkway and placed in areas with the highest pedestrian traffic. It should be constructed of materials that are similar to the principal materials of the building and landscaped compatibly. This community space shall provide seating and at least one of the following:
 - a. Patio.
 - b. Pedestrian plaza.
 - c. Transportation center.
 - d. Window shopping walkway.
 - e. Outdoor playground area.
 - f. Kiosk area.
 - g. Water feature.
 - h. Clock tower.
 - i. Other such deliberately shaped area or focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces.
 - a. This site currently does not have dedicated sidewalks or paved access paths providing public pedestrian access to the firehouse from off-site locations. The proposed firehouse also does not intend to provide space for the public to rent and or utilize the firehouse for events. Due to the industrial nature of the emergency services provided by the OPVFD, it is not appropriate to provide a space on the site for the public to actively congregate without specific permission granted by the fire department. Therefore, we hereby request a waiver to not provide a public space for pedestrians to gather on the firehouse property.
- 5. Section 19(b)(2): Required community spaces shall be at least eight hundred square feet in size with no side less than twelve feet long.
 - a. The proposed firehouse does not intend to provide space for the public to rent and or utilize the firehouse for events. The site is not safely accessible by off-site pedestrian foot traffic and does not have adequate parking to serve the public with event space. Also, due to the industrial nature of the emergency services provided by the OPVFD, it is not appropriate to provide a



Mr. Benjamin M. Zito – Development Review and Planning

RE: Ocean Pines Volunteer Fire Department South Station – Waiver Requests of Various Design Guidelines September 12, 2025

Page 3 of 3

community space on the site. We hereby request a waiver to not provide a public community space for pedestrians to gather on the firehouse property.

Thank you in advance for your consideration of these waiver requests. Should you have any questions or require additional information regarding this letter or the overall project, please do not hesitate to contact me.

Sincerely,

Vista Design Inc.

Tric J. Jones

Eric Jones, P.E.



OWNERS ENGINEER/SURVEYOR

OCEAN PINES VOLUNTEER FIRE DEPARTMENT

SOUTH GATE FIREHOUSE

PROJECT PROPOSED BY

SITE LOCATION/RECORDING INFORMATION

OCEAN PINES SOUTH GATE FIRE STATION OCEAN PINES DEPARTMENT OF PUBLIC WORKS 911 OCEAN PARKWAY 1 FIREHOUSE LANE BFRLIN MD 21811 BFRLIN MD 21811 TAX MAP: 16 GRID: 20 PARCEL: 18 PARCEL 'A' +/-1.34 ACRES LIBER: 1715 FOLIO: 221

TAX MAP: 16 GRID: 20 PARCEL: 60 PARCEL 'B' +/-6.87 ACRES LIBER: 1715 FOLIO: 217

PB: FWH 62 PG: 39

C-2 - GENERAL COMMERCIAL DISTRICT BUILDING SETBACKS: FRONT YARD: 25 F SIDE YARD: 6 FT REAR YARD: 20 FT

THE PROJECT IS LOCATED WITHIN THE WORCESTER COUNTY WATER DISTRICT.

THE PROJECT IS LOCATED WITHIN THE OCEAN PINES SANITARY SERVICE AREA. AN EXISTING COLLECTION POINT IS LOCATED AT THE NORTHEAST CORNER OF THE PROPERTY AND ALL PROPOSED WASTEWATER EFFLUENT WILL BE CONNECTED TO THIS EXISTING LOCATION THE EXISTING FIREHOUSE ON PARCEL 'A' (TM: 21 G: 21 P: 18) HAS ONE (1) ALLOCATED EDU. THIS PROJECT REQUIRES AN ADDITIONAL TWO (2) EDU'S TOTALING THREE (3) EDU'S FOR THE FIREHOUSE. PLEASE REFER TO THE EDU SUMMARY TABLE ON SHEET C-200 FOR ADDITIONAL INFORMATION.

THE PROJECT'S LIMIT OF DISTURBANCE IS LOCATED WITHIN FLOOD ZONE AREA X PER FEMA MAP #24047C0045H DATED JULY 16, 2015.

THIS PROJECT IS LOCATED WITHIN THE CRITICAL AREA BUFFER AND DOES NOT DISTURB AN EXISTING FOREST BLOCK AND THEREFORE IS EXEMPT FROM FOREST CONSERVATION

THIS PROJECT IS LOCATED WITHIN THE 1000' CRITICAL AREA BUFFER ASSOCIATED WITH THE TIDAL WATERS OF MANKLIN CREEK, PARCELS 'A' AND 'B' ARE BOTH DESIGNATED AS BEING WITHIN THE IDA (INTENSELY DEVELOPED AREA).

TIDAL & NON-TIDAL WETLANDS & ASSOCIATED BUFFERS NO WETLANDS OR ASSOCIATED BUFFERS WERE FOUND TO BE LOCATED WITHIN THIS PROJECT'S LIMIT OF DISTURBANCE AS PER A SITE INSPECTION ON MARCH 27, 2025.

TOPOGRAPHY/EXISTING CONDITIONS

AREAS OF THE SITE PROPOSED FOR DISTURBANCE WERE SURVEYED BY VISTA DESIGN, INC IN SPRING 2025. ALL OTHER EXISTING CONDITIONS SHOWN ARE FROM WORCESTER COUNTY G.I.S. DATA

HORIZONTAL & VERTICAL CONTROL

HORIZONTAL: NAD 83 MARYLAND STATE PLANE, US FEET VERTICAL:

- ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED IT IS CONSIDERED TO BE INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK.
- THE CONTRACTOR SHALL EXAMINE PLAN(S) AND VISIT THE SITE IN ORDER TO DETERMINE. TO HIS/HER SATISFACTION THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED.
- 3 ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS AND TO ALL APPLICABLE OCEAN PINES, FEDERAL, STATE OF
- MARYLAND, AND WORCESTER COUNTY REQUIREMENTS. ANY DISCREPANCIES BETWEEN THE INFORMATION PROVIDED ON THESE PLANS AND THE EXISTING SITE CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OCEAN PINES ASSOCIATION AND ENGINEER
- 5. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY DEVIATIONS FROM THE DRAWINGS
- 6. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AND PIPE INVERTS PRIOR TO CONSTRUCTION. 7. THE CONTRACTOR SHALL PROVIDE NECESSARY STAKEOUT OF THE LINE AND GRADE FOR
- THE CONSTRUCTION. 8. NO INFORMATION REGARDING DEPTH TO ANY SEASONAL OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS. THE CONTRACTOR SHALL INVESTIGATE TO THEIR SATISFACTION THE SITE CONDITIONS REGARDING DEPTH TO GROUND WATER. GENERALLY, PIPING, TRENCH AND STRUCTURE CONSTRUCTION SHALL BE EXECUTED IN A
- EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DE-WATERED UNTIL THE BACK-FILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING PARTIES, FIVE (5) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS:

DE-WATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICE. ALL

- EDDIE WELLS OPA DPW
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS FOR ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF FARTH OR OTHER MATERIALS ON SITE 10. THERE ARE NO STEEP SLOPES OR ERODIBLE SLOPES WITHIN THE LIMITS OF DISTURBANCE
- 11. NO TEST PITS HAVE BEEN PERFORMED ON EXISTING UTILITIES. MISS UTILITY MARKED UTILITIES ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR TO PERFORM ADDITIONAL UTILITY LOCATION SERVICES AS NEEDED TO ENSURE EXISTING UTILITIES ARE NOT DAMAGED DURING CONSTRUCTION.
- 12. THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN THE STATE OF

13. ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN, AND

- CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS
- 14. ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS 15. ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY
- PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREA HAVE PASSED FINAL INSPECTION. 16. UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY NOTICE OF
- CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, OCCUPANCY CAN BE ISSUED. 17. PRIVATE UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS TO BE RELOCATED BY

The Ocean Pines Volunteer Fire Department Inc. and Ocean Pines Association shall be responsible for the operation and maintenance of all Stormwater Management features within the site, including the M-6 Bioretention Areas, as shown on the construction drawings. They shall be operated and maintained per the requirements of the Maryland Environmental Site Design Manual, as noted on the drawings.

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1 Worcester County Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

PROPOSED PARKING ALLOTMENT SUMMARY (SEE SHEET C-202 FOR MORE DETAILS)

(====:===;							
DECRIPTION	REQUIRED	PROVIDED					
PARCEL 'A' - OPVFD	41	28					
PARCEL 'B' - OPA DPW	26	39					
TOTAL ('A' & 'B')	67	67					
REQUIRED NUMBER OF EASEMEN	NTED PARKING SPACE	S ON PARCEL 'B'					

ALLOCATED FOR PARCEL 'A' (1)

I. PARKING SPACES SHOWN ON THIS PLAN ARE INTENDED TO BE A QUANTITATIVE GRAPHICAL REPRESENTATION OF THE TOTAL PARKING SPACES. A SHARED PARKING AGREEMENT BETWEEN THE OCEAN PINES ASSOCIATION AND THE OCEAN PINES VOLUNTEER FIRE DEPARTMENT INC. IS TO BE RECORDED, BUT INDIVIDUAL SPACES WILL NOT BE MARKED IN THE FIELD WITH PAINT AND/OR SIGNAGE.

- THE INTENT OF THIS PROJECT IS TO REPLACE THE EXISTING SOUTH GATE FIREHOUSE AND ASSOCIATED IMPROVEMENTS (SIDEWALKS, PARKING, UTILITIES, STORMDRAINS, STORMWATER
- 2. THE PROPOSED PROJECT LIMITS, AND BALANCE OF PARCEL 'A', ARE LOCATED OUTSIDE THE 100' CRITICAL BUFFER ASSOCIATED WITH MANKLIN CREEK. PORTIONS OF PARCEL 'B' ARE LOCATED WITHIN THE 100' CRITICAL BUFFER ASSOCIATED WITH MANKLIN CREEK. THE PROJECT'S LIMIT OF DISTURBANCE IS WITHIN THE 1,000' CRITICAL AREA BUFFER OF TIDAL WATERS ASSOCIATED WITH MANKLIN CREEK.
- THE PROJECT IS LOCATED WITHIN THE ISLE OF WIGHT BAY WATERSHED (MD 8 DIGIT 02130103) THE TOTAL LIMIT OF DISTLIRBANCE IS 83 770 SE (1.92 ACRES). THEREFORE, THIS PROJECT IS
- FOLLOWING CONSTRUCTION ALL AREAS ARE TO BE PROPERLY STABILIZED WITH
- DESIGN. NO TEST PITS WERE PERFORMED TO VERIFY MISS UTILITY MARKED LOCATIONS, OR TO ASCERTAIN VERTICAL UTILITY LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM ANY TEST PITS IT FEELS WARRANTED TO AVOID DAMAGING EXISTING UTILITIES. SHOULD A CONFLICT ARISE, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY OPA & ENGINEER
- THIS PROJECT IS ANTICIPATED TO IMPACT LESS THAN 20,000 S.F. OF FOREST AND IS ONLY WITHIN THE CRITICAL AREA BUFFER. THEREFORE. THIS PROJECT IS EXEMPT FROM FOREST

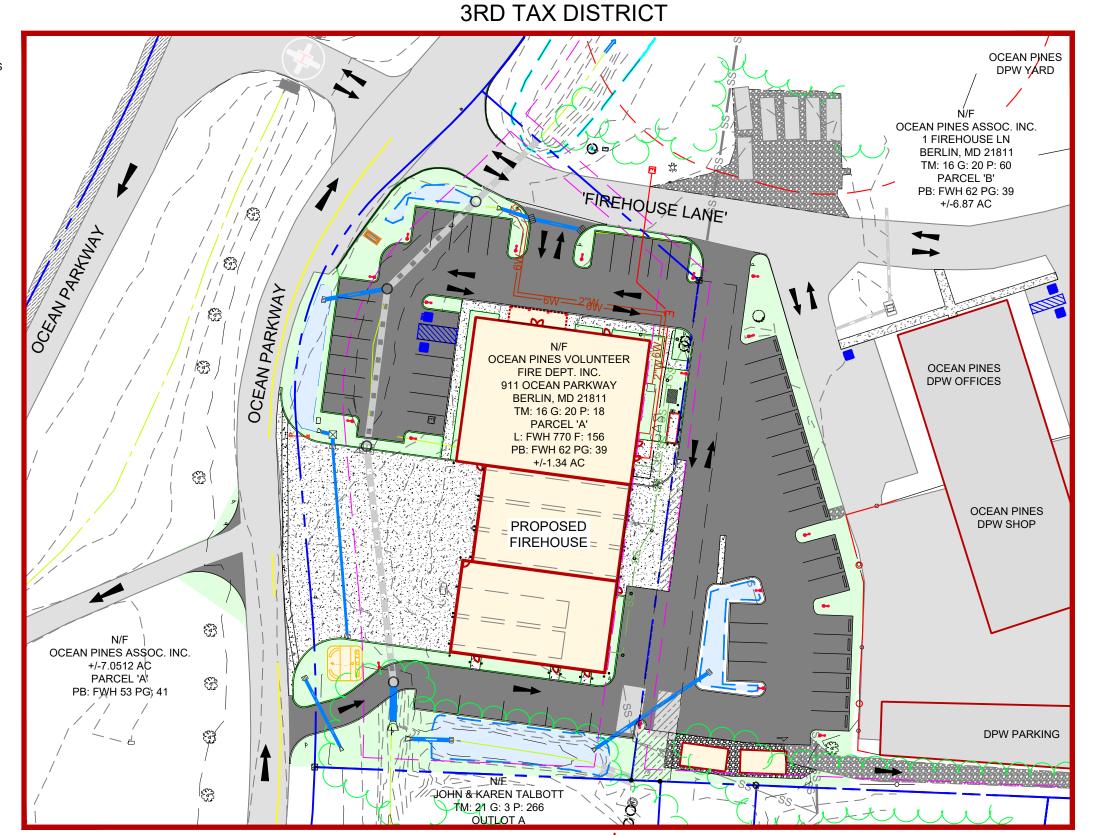
EXISTING SITE CONDITIONS QUANTITY/PARAMETER **DECRIPTION** PARCEL 'A' OCEAN PINES VOLUNTEER FIRE DEPARTMENT INC. C-2 (GENERAL COMMERCIAL DISTRICT) (9) - FIREHOUSES PERMITTED USE SETBACK - FRONT YARD (FT) SETBACK - SIDE YARD (FT) SETBACK - REAR YARD (FT) MAXIMUM BUILDING HEIGHT FOUR STORIES OR 45 FT 6.87 AC OCEAN PINES ASSOCIATION, INC. C-2 (GENERAL COMMERCIAL DISTRICT) (9) - PUBLIC-SERVICE PERMITTED USE SETBACK - FRONT YARD (FT) SETBACK - SIDE YARD (FT)

SETBACK - REAR YARD (FT)

MAXIMUM BUILDING HEIGHT

911 OCEAN PARKWAY **OCEAN PINES, MARYLAND 21811**

DEVELOPMENT REVIEW & PERMITTING/ENVIRONMENTAL PROGRAMS WORCESTER COUNTY, MARYLAND **5TH ELECTION DISTRICT**



STORMWATER MANAGEMENT DATA TABLE								
SWM#	TYPE	DRAINAGE AREA (AC)	TOTAL IMPERVIOUS AREA IN WS (AC)	RCN#	LOD (AC)	WATERSHED	LAND USE CODE	
А	M-6 MICRO-BIORETENTION	1.05	0.59	84	0.80	02130103	18	
В	M-6 MICRO-BIORETENTION	0.25	0.17	82	0.22	02130103	18	
С	M-6 MICRO-BIORETENTION	0.53	0.45	95	0.40	02130103	18	
D	M-6 MICRO-BIORETENTION	0.39	0.33	95	0.30	02130103	18	

CONSULTANTS CERTIFICATION

FOUR STORIES OR 45 FT.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2011 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR CURRENT REVISIONS THEREOF, AND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT REGULATIONS.

MD P.E. LICENSE #		36310	.millilline.
MD LAND SURVEYOR I	LICENSE #	N/A_	Trustillian OF MAR
MD LANDSCAPE ARCH	ITECT#	N/A	
NAME	RICHARD F. F	POLK	
FIRM NAME	VISTA DESIG	N, INC	Not #363 and All All All All All All All All All Al
STREET ADDRESS	11634 WORCE SHOWELL, M		ONAL ENTITION

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN MEETS OR EXCEEDS THE REQUIREMENTS OF THE 2000 MARYLAND STORMWATER DESIGN MANUAL. VOLUMES I & II. ALL STATE AND FEDERAL CODES, THE WORCESTER COUNTY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION MANUAL, THE APPROVED SITE PLAN OR PRELIMINARY PLAN, OTHER ORDINANCES AND REGULATIONS AND ANY CONDITIONS IMPOSED BY WORCESTER COUNTY.



STORMWATER SITE DATA SITE AREA (LIMIT OF DISTURBANCE) EXISTING IMPERVIOUS WITHIN LOD, AC (%) 1.19 (62%) PROPOSED IMPERVIOUS WITHIN LOD, AC (%) 1.53 (79.5%) SITE ESD RAINFALL TARGET, Pe (INCH) 2.25 **ESD REQUIRED TREATMENT RUNOFF** 2,637 VOLUME, ESDv (CF) WATER QUALITY REQUIRED TREATMENT, 2,052 TOTAL TREATMENT REQUIRED VOLUME, 4,689 ESDv + WQv (CF) ESDv PROVIDED, ESDv (CF) SITE ESD RAINFALL PROVIDED, Pe (INCH)

LOCATION MAP

SCALE: 1" = 50'

MD STATE PLANE

DATUM (NAD83)

SEE SHEET C-206 FOR ADDITIONAL STORMWATER INFORMATION AND CALCULATIONS.

STORMWATER CERTIFICATION STATEMENTS

- ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.
- ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE
- ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.
- UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE COUNTY, EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE
- THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN





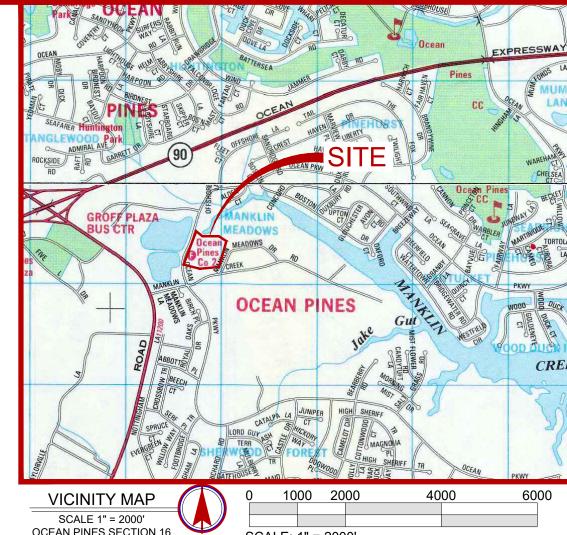
EDGAR WELLS, SENIOR DIRECTOR OF DPW - OCEAN PINES ASSOCIATION, INC. - PARCEL B OWNER

OR FEWER RESIDENTIAL UNITS AND AS APPLICABLE PER COUNTY.)

OR THEIR AUTHORIZED AGENTS.

REQUIRING A STATE POND PERMIT.

PURSUANT TO THIS PLAN.



ADC MAP 8 GRID C1 & D1 NORTH **COVER SHEET** PROPERTY OWNER MOSAIC PLAN EXISTING CONDITIONS AND DEMOLITION PLAN EXISTING CONDITIONS REAR BUILDING UTILITY PLAN PROPOSED SITE PLAN SHEET PROPOSED SITE PLAN DETAILS PROPOSED SITE PARKING PLAN PROPOSED GRADING PLAN PROPOSED UTILITY PLAN PROPOSED UTILITY DETAILS PROPOSED STORMWATER PLAI PROPOSED DRAINAGE PLAN PROPOSED STORMWATER PROFILES PROPOSED STORMWATER AND DRAINAGE DETAILS CRITICAL AREA COVERAGE PLAN PROPOSED SITE LIGHTING PLAN

EROSION & SEDIMENT CONTROL PLAN EROSION & SEDIMENT CONTROL DETAILS PROPOSED I ANDSCAPE PLAN PROPOSED LANDSCAPE DETAILS AND SPECIFICATIONS

Ď Ď Œ

— ТОВ — ТОВ —

PROPERTY LINE EXISTING ACCESS EASEMENT **EXISTING PROPERTY MARKERS EXISTING 1X CONTOUR EXISTING 5X CONTOUR** EXISTING BUILDING EXISTING SOIL BOUNDARIES EXISTING STREAM/WATER BODY

EXISTING FEMA FLOOD ZONE EXISTING EDGE OF PAVEMENT EXISTING EDGE OF GRAVEL EXISTING WATER MAIN/LATERAL

EXISTING WATER METER/VALVE/HYDRANT EXISTING SEWER CLEANOUT/PUMP/ACCESS °CO () EXISTING ELECTRIC LINE (UG/OH) EXISTING GAS LINE

EXISTING COMMUNICATION LINES EXISTING UTILITY STRUCTURES EXISTING STORM PIPE EXISTING ASPHALT PARKING/ROAD

EXISTING CONCRETE WALK EXISTING GRAVEL AREA EXISTING PARKING STOP/HANDICAP EXISTING BOLLARD/FLAG POLE/SIGN EXISTING TREE LINE

EXISTING LANDSCAPE TREES/SHRUBS EXISTING 100' CRITICAL AREA BUFFER EXISTING 1000' CRITICAL AREA BUFFER EXISTING TOP OF BANK

EXISTING MEMORIAL AREA

OWNER/DEVELOPER CERTIFICATION

- ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND FURTHER AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE WORCESTER SOIL CONSERVATION DISTRICT BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS. ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE
- THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE DEPARTMENT APPROVED TRAINING PROGRAM (GREEN-CARD CERTIFICATION) FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. (CERTIFICATION MAY BE WAIVED BY THE APPROVAL AUTHORITY ON ANY PROJECT INVOLVING FOUR OR FEWER RESIDENTIAL UNITS AND AS APPLICABLE PER COUNTY.)
- THE DEVELOPER WILL PROVIDE ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.

OF ENSTE, PRESIDENT OCEAN PINES VOLUNTEER FIRE DEPARTMENT, INC.- PARCEL A OWNER DATE

OWNER/DEVELOPER CERTIFICATION

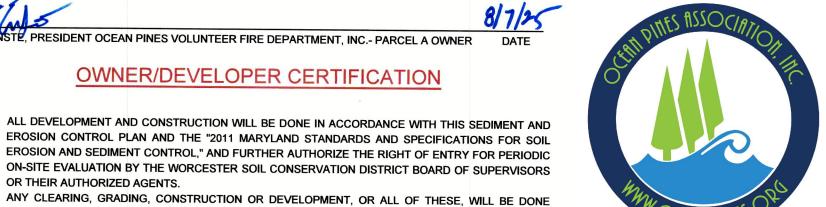
THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE

CERTIFICATION OF TRAINING AT THE DEPARTMENT APPROVED TRAINING PROGRAM (GREEN-CARD

CERTIFICATION) FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

(CERTIFICATION MAY BE WAIVED BY THE APPROVAL AUTHORITY ON ANY PROJECT INVOLVING FOUR

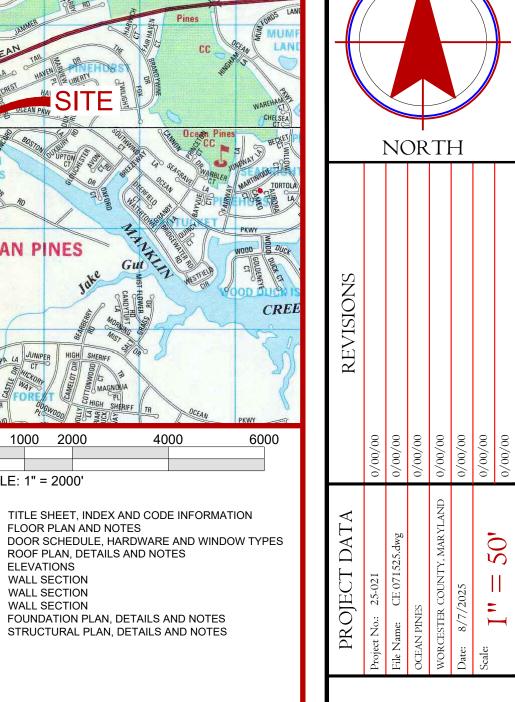
THE DEVELOPER WILL PROVIDE ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY





This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remains the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assignees without the written permission of VDI will be at the Clients risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.



----2"W ------6W---

PROPOSED WATER METER/VALVE/HYDRANT PROPOSED SEWER CLEANOUT/OIL&GRIT PROPOSED ELECTRIC LINE (UG/OH) ____E ____ PROPOSED TRANSFORMER/LIGHTING —— GAS —— PROPOSED COMMUNICATION SERVICE LINES —— CATV——

TITLE SHEET, INDEX AND CODE INFORMATION

FLOOR PLAN AND NOTES

WALL SECTION

WALL SECTION

WALL SECTION

PROPOSED BUILDING

PROPOSED 1X CONTOUR

PROPOSED GRAVEL AREA

PROPOSED STORM STRUCTURE

PROPOSED WATER LATERAL

PROPOSED GAS SERVICE LINE

PROPOSED BOLLARD/SITE SIGNAGE

PROPOSED TOP OF BANK

PROPOSED OPEN SPACE

PROPOSED ASPHALT PARKING/ROAD

PROPOSED CONCRETE CURB/CURB CUT

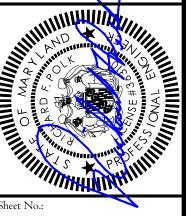
ROOF PLAN, DETAILS AND NOTES

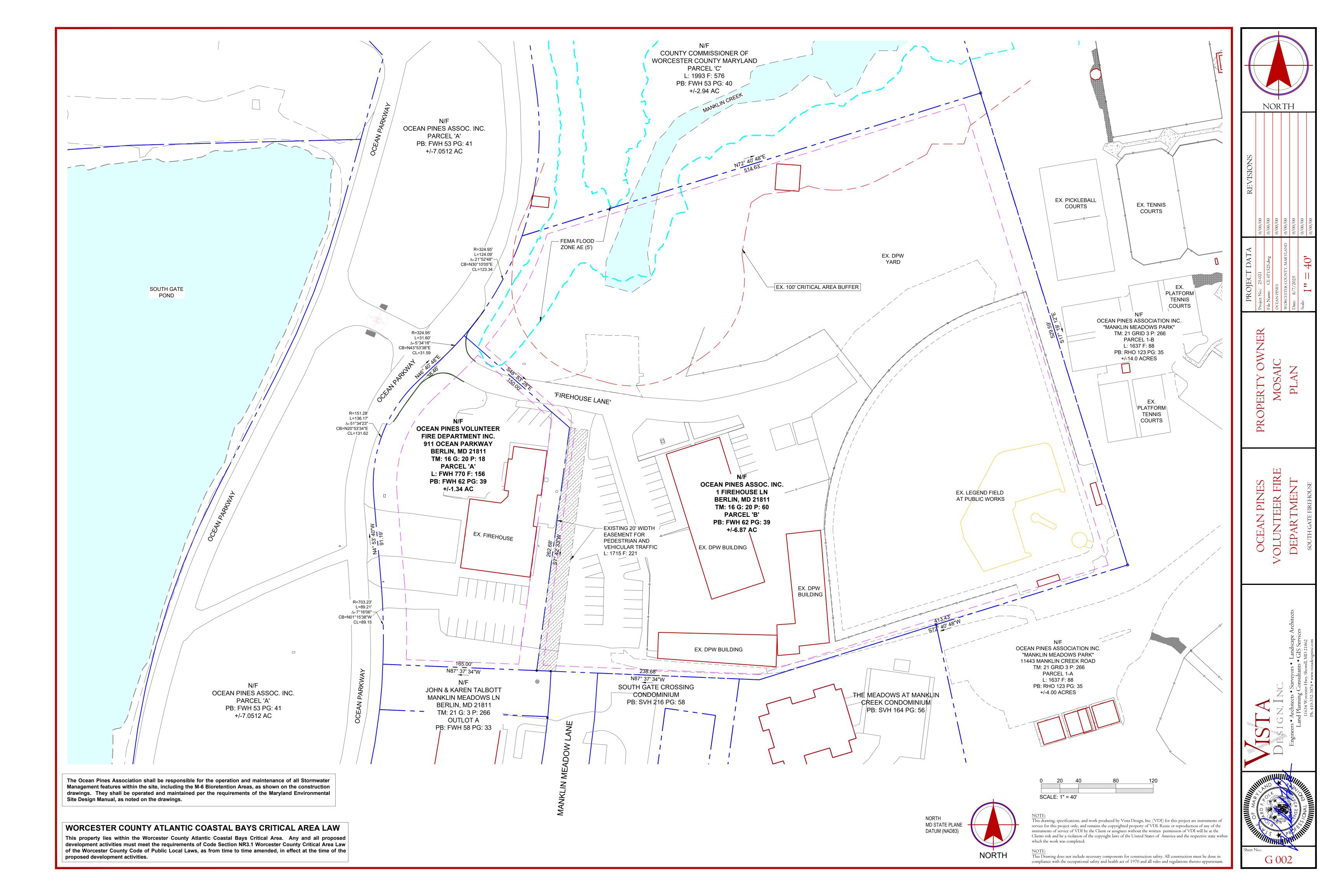
FOUNDATION PLAN, DETAILS AND NOTES

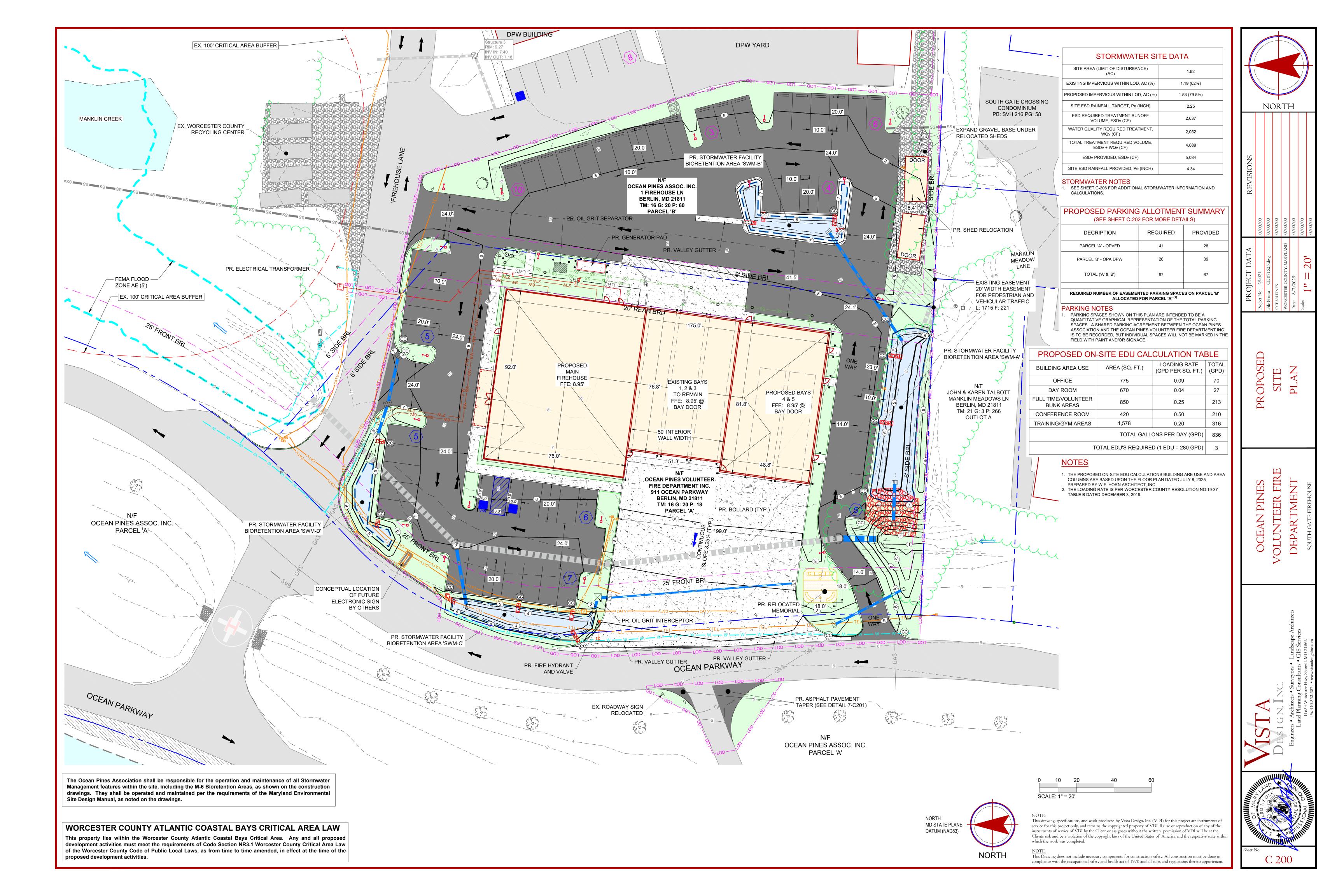
STRUCTURAL PLAN, DETAILS AND NOTES

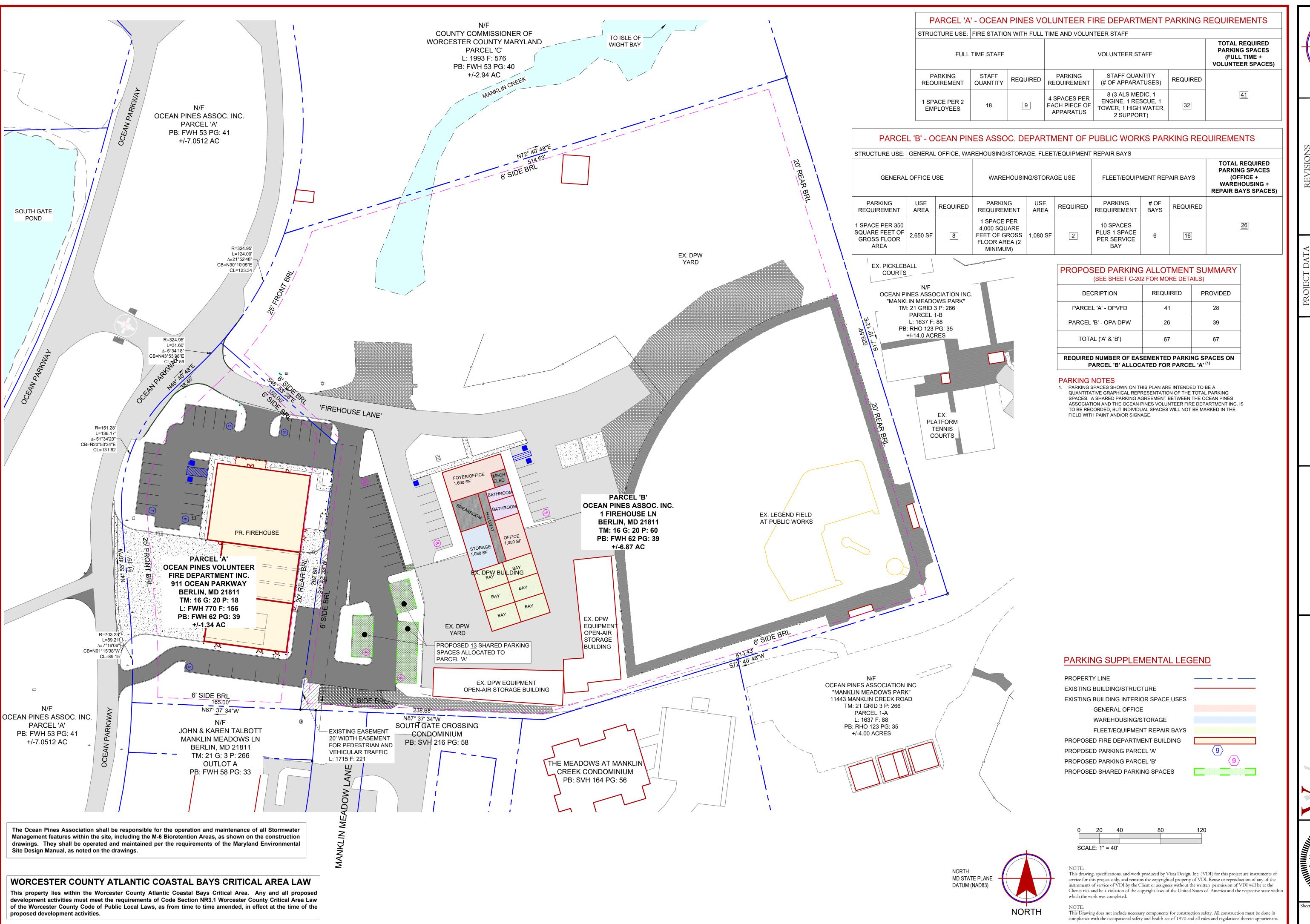
PROPOSED LIMITS OF DISTURBANCE (LOD) PROPOSED SILT FENCE PROPOSED RIP-RAP CHECK DAM PROPOSED SCE PROPOSED ELEVATION SPOT SHOT PROPOSED DRAINAGE FLOW ARROW PROPOSED MEMORIAL

• 📜 🕝 — тов — тов –









NODTH

PROPOSED SITE
PARKING

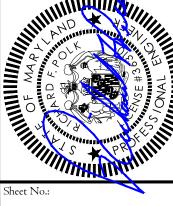
OCEAN PINES
DLUNTEER FIRE

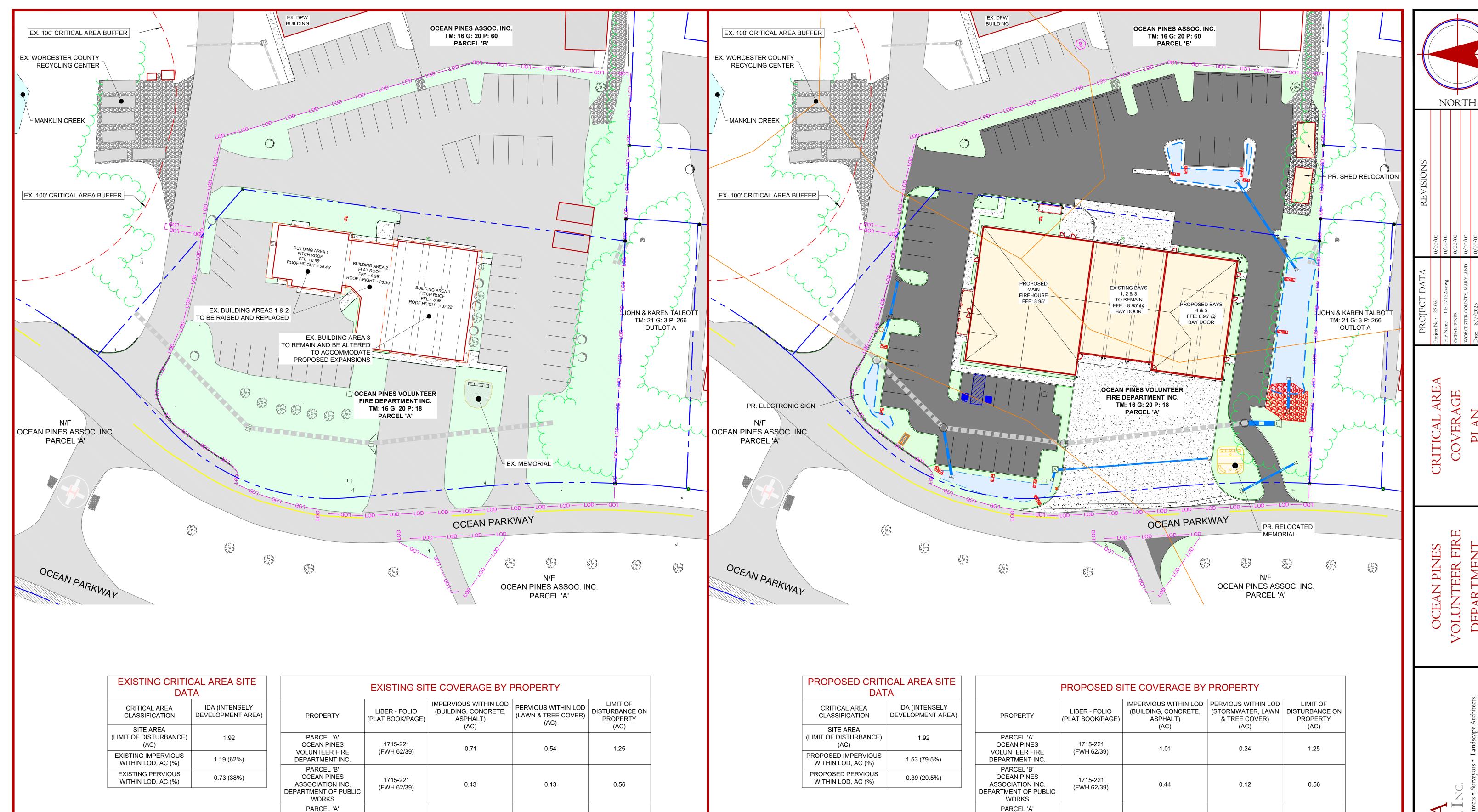
V V

N, INC.

Architects • Surveyors • Landscape I Planning Consultants • GIS Servi I1634 Worcester Hwy, Showell, MD 21862

DESIGN, INC.
Engineers • Architects • Sur
Land Planning Con





The Ocean Pines Association shall be responsible for the operation and maintenance of all Stormwater Management features within the site, including the M-6 Bioretention Areas, as shown on the construction drawings. They shall be operated and maintained per the requirements of the Maryland Environmental Site Design Manual, as noted on the drawings.

OCEAN PINES ASSOCIATION INC. OCEAN PARKWAY ROW

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1 Worcester County Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

	(AC)	, ,	(AC)
715-221 VH 62/39)	0.71	0.54	1.25
715-221 VH 62/39)	0.43	0.13	0.56
VH 53/41)	0.05	0.06	0.11
TOTALS	1.19	0.73	1.92

<u>LEGEND</u>

Existing Manklin Creek

Existing 100' Critical Area Buffer

Existing Edge of Pavement

Existing Building Roofline

Property Line

Existing Building

Existing Asphalt

Existing Concrete

Existing Tree Line

Existing Tree

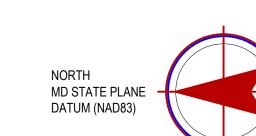
Existing Pervious Area

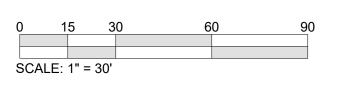
Existing Parking Paint

PROPOSED SITE COVERAGE BY PROPERTY								
PROPERTY	LIBER - FOLIO (PLAT BOOK/PAGE)	IMPERVIOUS WITHIN LOD (BUILDING, CONCRETE, ASPHALT) (AC)	PERVIOUS WITHIN LOD (STORMWATER, LAWN & TREE COVER) (AC)	LIMIT OF DISTURBANCE ON PROPERTY (AC)				
PARCEL 'A' OCEAN PINES VOLUNTEER FIRE DEPARTMENT INC.	1715-221 (FWH 62/39)	1.01	0.24	1.25				
PARCEL 'B' OCEAN PINES ASSOCIATION INC. DEPARTMENT OF PUBLIC WORKS	1715-221 (FWH 62/39)	0.44	0.12	0.56				
PARCEL 'A' OCEAN PINES ASSOCIATION INC. OCEAN PARKWAY ROW	(FWH 53/41)	0.08	0.03	0.11				
	TOTALS	1.53	0.39	1.92				

Proposed Stormwater Facility

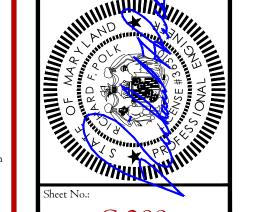
Proposed Pervious Area

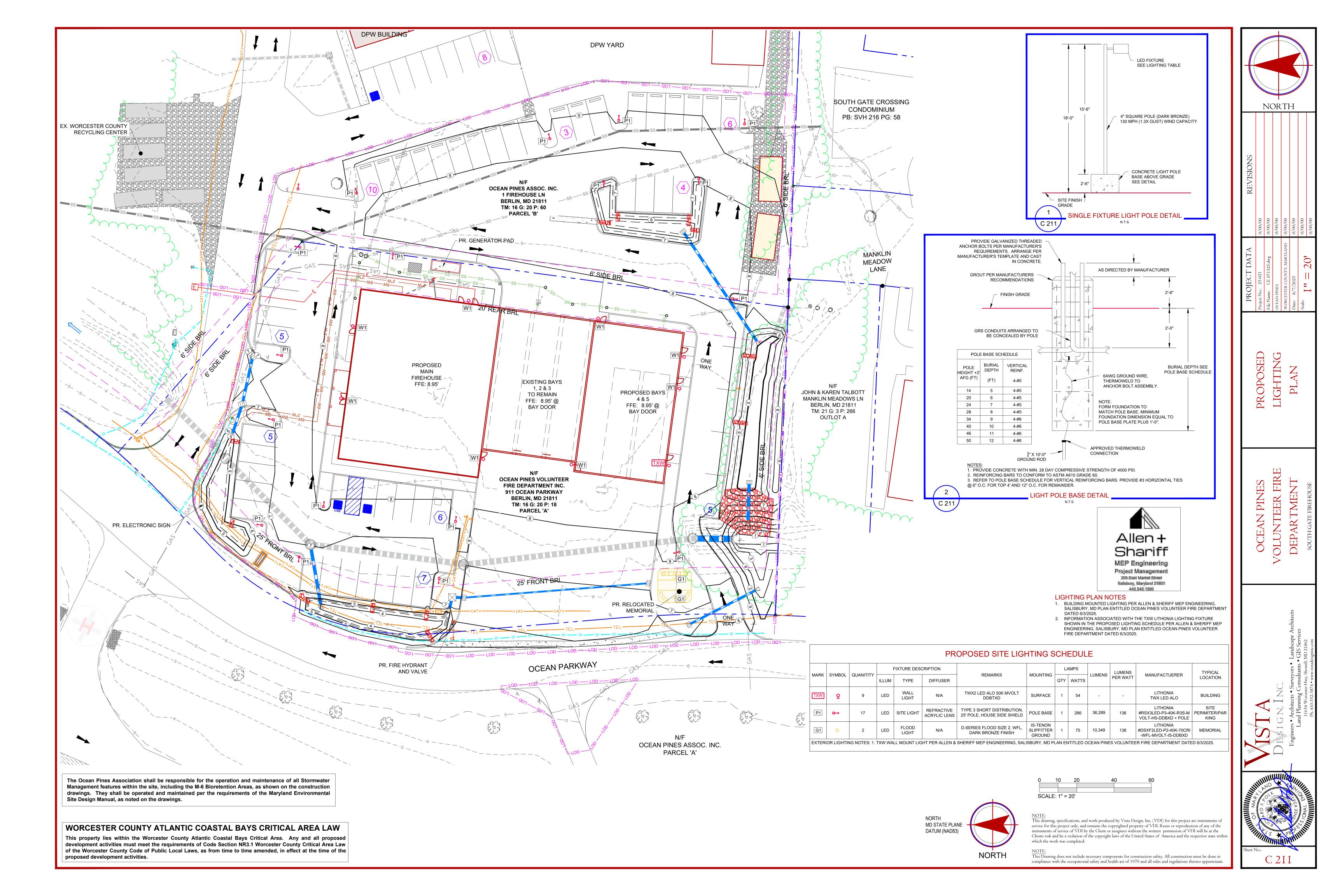


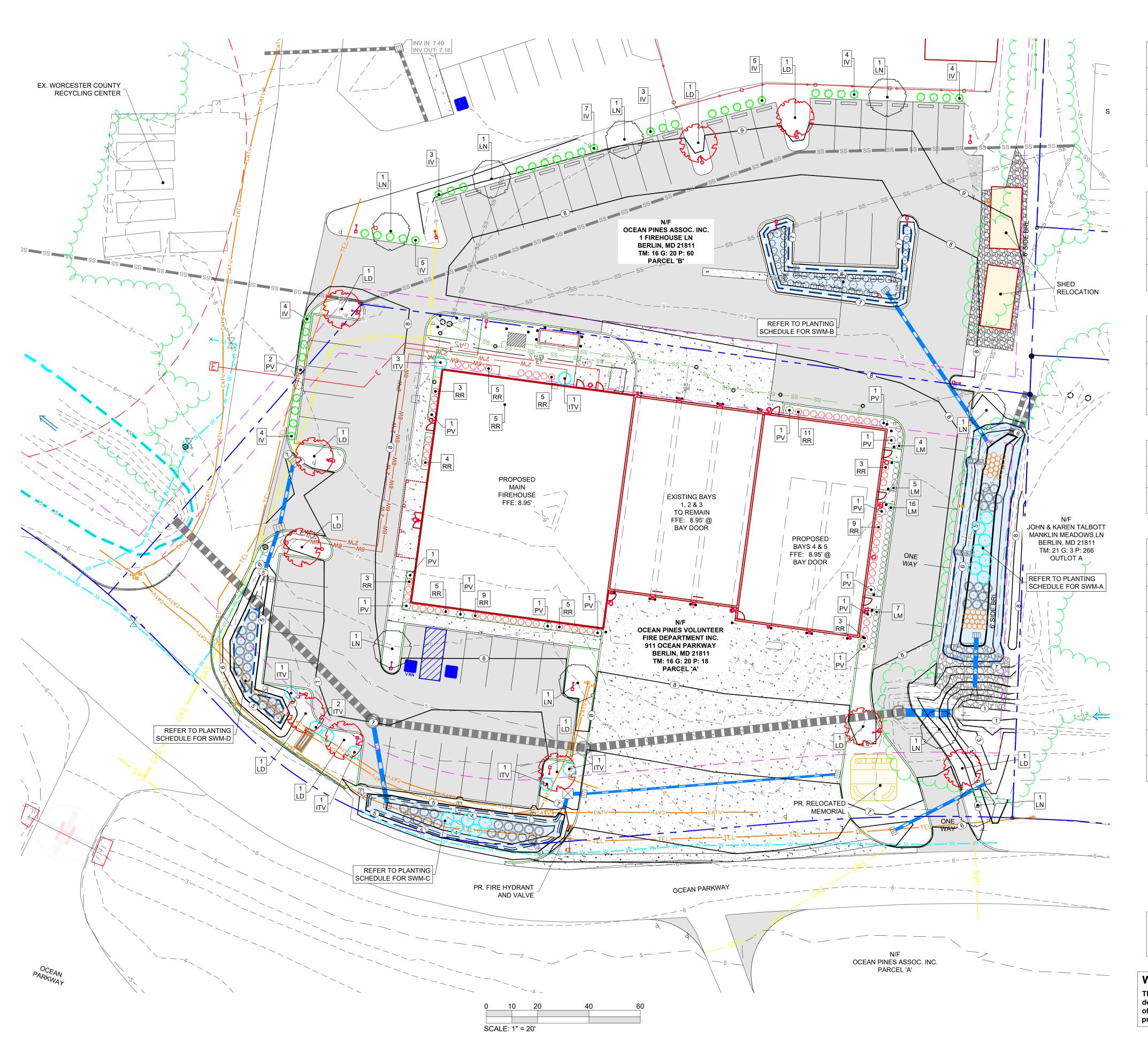


This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remains the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assignees without the written permission of VDI will be at the Clients risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.







PLANT LIST - SWM-A MICRO-BIORETENTION									
SYMBOL ABBREV. QUANTITY BOTANICAL NAME COMMON NAME MINIMUM SIZE REQUIRED MATURE SIZE SPACIN							SPACING		
0	ITV	7	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	18" - 24"	H: 3'-5' S: 3'-5'	4' O.C.		
	AT	36	ASCLEPIAL TUBEROSA	BUTTERFLY WEED	CONT.	H: 2'-3' S: 1'-2'	2' O.C.		
	EP	15	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	H: 3'-4' S: 4'	2' O.C.		

PLANT LIST - SWM-B MICRO-BIORETENTION							
SYMBOL ABBREV. QUANTITY BOTANICAL NAME COMMON NAME REQUIRED MATURE SIZE SPACING							SPACING
\odot	IRV	40	IRIS VERSICOLOR	BLUE FLAG IRIS	CONT.	H: 2'-2.5' S: 2'-2.5'	2' O.C.
	PV	10	PANICUM VIRGATUM	SWITCHGRASS	CONT.	H: 3'-6' S: 2'-3'	AS SHOWN

			PLANT LIST MICRO-BIOR	_			
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACING
0	ITV	5	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	18" - 24"	H: 3'-5' S: 3'-5'	4' O.C.
	EP	18	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	H: 3'-4' S: 4'	2' O.C.

			PLANT LIST MICRO-BIOR				
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	SPACING	
	EP	19	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	H: 3'-4' S: 4'	2' O.C.

	PLA	NT LIST -	SUBMERGE	D GRAVEL	WETLAN	D #3		
SYMBOL	ABBREV.	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE REQUIRED	MATURE SIZE	SPACIN	
0	IG	39	ILEX GLABRA	INKBERRY	18" - 24"	H: 4'-5' S: 4'-5'	4' O.C	
0	ITV	8	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	18" - 24"	H: 3'-5' S: 3'-5'	4' O.C.	
Service Services	LD	10	LAGERSTROMIA INDICA "WHIT II"	DYNAMITE CRAPE MYRTLE	6' - 7'	H: 15'-20' S: 10'-15'		
	LN	9	LAGERSTREMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	6' - 7'	H: 15'-20' S: 15'-20'	AS SHO\	
\bigcirc	LM	32	LIRIOPE MUSCARI 'VARIEGATA'	LILY TURF	1 GAL	H: 9"-18" S: 1'-2'	AS SHO\	
	PV 15		PANICUM VIRGATUM	SWITCHGRASS	3 GAL	H: 3'-6' S: 2'-3'	AS SHOW	
Market of Same	RR	65	ROSA RED DRIFT	RED DRIFT ROSE	3 GAL	H: 18" S: 30"	3' O.C	

NOTES:

1. THE PLANTING SCHEDULES REFERENCES PLANT MATERIAL FOR BOTH THE SITE AND STORMWATER MANAGEMENT AREAS.

- IRRIGATION WILL NEED TO BE PROVIDED FOR THE PLANTINGS ALONG THE OUTER PERIMITER OF THE BUILDING.
- 3. A MINIMUM 36" STRIP OF 2"-3" CLEAN WASH RIVER STONE WITH ALUMINUM EDGING WILL BE INSTALLED AROUND THE PERIMETER OF THE PROPOSED BUILDING AS SHOWN.
- 4. AN AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED TO SUPPORT THE LANDSCAPED AREAS OUTSIDE OF THE PROPOSED STORMWATER FACILITIES.

The Ocean Pines Association shall be responsible for the operation and maintenance of all Stormwater Management features within the site, including the M-6 Bioretention Areas, as shown on the construction drawings. They shall be operated and maintained per the requirements of the Maryland Environmental Site Design Manual, as noted on the drawings.

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1 Worcester County Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

NOTE:
This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remains the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assignees without the written permission of VDI will be at the Clients risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.

NORTH

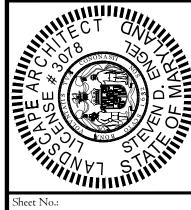
PROJECT DATA	REVISIONS	
Project No.: 25-021]
File Name: LS 080625.dwg		NO
OCEAN PINES		F OR
WORCESTER COUNTY, MARYLAND		TI
Date: 08/11/25		H
Scale: 111 — 201		

LANDSCAPE PLAN

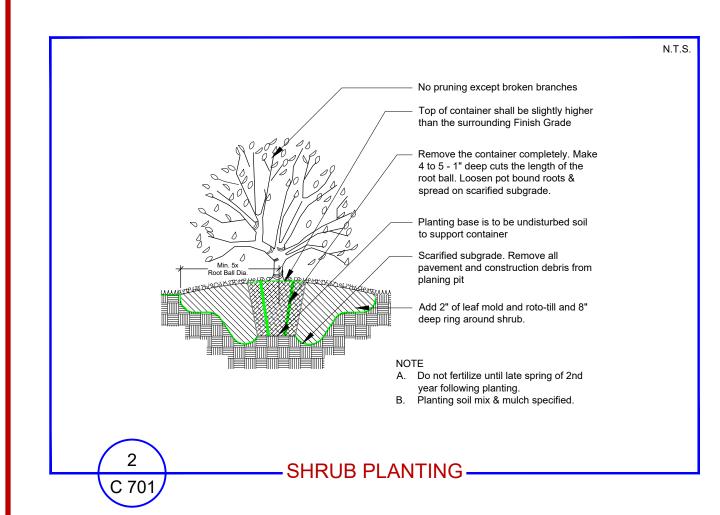
CEAIN FILNES
UNTEER FIRE

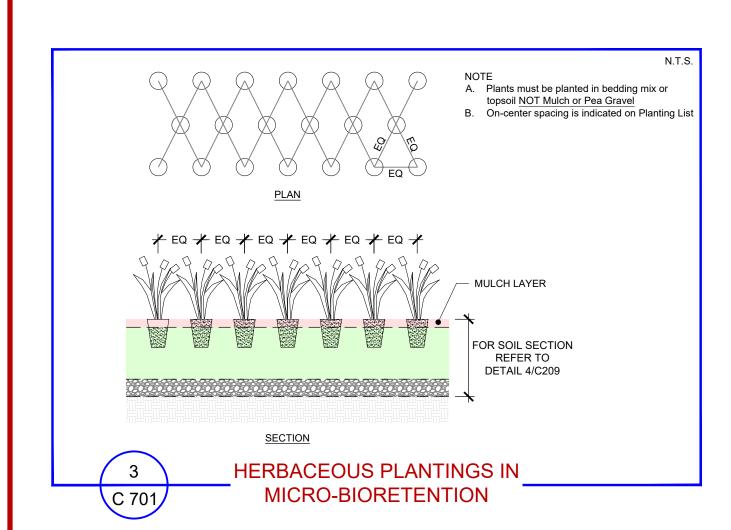
Architects • Surveyors • Landscape Architects and Planning Consultants • GIS Services

11634 Worcester Hwy, Showell, MD 21862



L 700





PLANTING SPECIFICATIONS

REFERENCES AND QUALITY CONTROL

- A. All planting material shall conform to the latest edition of the American Standard for Nursery Stock as published by the American Association of Nurserymen. All trees shall be balled and burlapped, nursery-grown, not
- 'collected stock". B. All plants shall be nursery grown within a U.S.D.A. plant hardiness zone which is the same as, or colder than, the zone in which the project is
- C. Do not make substitutions: If specified material is unavailable, the landscape architect requires proof of non-availability and specifications for proposed equivalent materials. Landscape architect will make final selection of substitutions and present to Worcester County for review and approval prior to ordering the specie substitutions.
- D. Size: Provide trees and shrubs of sizes shown or specified. Trees and shrubs of larger size may be used if acceptable to the landscape architect. Inspection: Landscape architect reserves the right to inspect trees and shrubs before planting, either at place of growth or at site, compliance with requirements of name, variety, size and quality. Landscape architect has

right to reject any plant material for any reason, including, but not limited to

those listed above. All rejected plant material shall be immediately removed from the site. F. All planting to be completed by November 15th; or as directed by the PRO**landspa**pe architect.

- Material shall be well aged, finely shredded hardwood bark, dark brown in color, or approved equal. Material shall be mulching grade: uniform in size and free of foreign matter and weed seeds.
- Composted for one year. Composed of leaves from mixed hardwoods. Sewerage Sludge: Composted wood mulch containing organic matter. Obtained from Sewer
- Treatment Plant. A thorough mixture of 1 part Leaf Mold to 3 parts topsoil & mycorrhizal fungi at specified rate by manufacturer.
- Anti-desiccant "Wilt-Pruf" NCF as manufactured by Nursery Specialty Products of New York or approved equal.
- Pre-emergence Weed Killer: shall be Treflan or approved equivalent.
- Transit Trunk Guard: waxed corrugated cardboard or approved equal.
- Guying Materials: Double reinforced rubber hose and 10 gauge metal wire. Mycorrhizal Fungi:
- Broadcast type product, use as an inoculant for trees, shrubs, ground covers, perennials, and turf. MYCORTREE
 - Plant Health Care Inc. 440 William Pitt Way Pittsburgh, PA 15233 1-800-421-9051

Or equivalent

FERTILIZER

- For new plant material provide packet, tablet or pellet forms of slow release fertilizers conforming to Fed. Spec. O-F-241, bearing the manufacturer's quaranteed statement of analysis. Slow release fertilizers shall contain a minimum percentage by weight of five nitrogen (of which 50% will be organic), 10 available phosphoric acid and five potash.
- For bed preparation and existing trees, provide granular fertilizer conforming to Fed. Spec. O-F-241, Type 1, Class 2 which shall bear the manufacturer's guaranteed statement of analysis. Granular fertilizer shall contain a minimum percentage by weight of 10 nitrogen (of which 50% shall be organic), six available phosphoric acid and four potash

SOIL EXCAVATIONS

- A. The excavation must not be less than 12 inches wider or deeper than
- necessary to accommodate the ball of the plant. B. When conditions detrimental to plant growth are encountered; such as rubble fill or adverse drainage conditions, notify landscape architect before
- proceeding with planting operations. C. Upon completion of planting of trees, cultivate a ring five times the diameter of the ball or 48", which ever is greater, 15" deep around tree; or as directed

PREPARATION OF PLANTING AREAS

- A. All planting areas shall be brought to proposed grade using topsoil mix as
- B. The planting bed shall be loosened prior to planting by one of the following methods: roto-tilling or with pick and shovel. Soil shall be loosened to a
- depth of 8" to 10". C. Organic matter shall be spread over the bed to a depth of 2" for leaf mold and other organics, or 1" deep for sludge, (2 cubic yards of composed sludge/1000 square feet), after the soil has been loosened. The organic matter shall then be worked into the bed with a roto-tiller or other approved
- D. Fertilizer shall be incorporated into the top 4-6" of bed at manufacturer's
- E. The entire bed shall be mulched to minimum depth of 4" with mulch as
- F. Soil shall be tested for Ph and amended as required to maintain an optimum Ph of 6.5 to 7.0 or as directed.

PLANTING PROCEDURES FOR TREES AND SHRUBS

- A. Trees and shrubs shall bear same relationship to grade as they did in the B. Before placing shrubs in pits, place a 6" layer of soil mix material into bottom
- All trees shall be placed directly on the scarified subgrade. D. The plant pit shall be filled with soil mix material as specified and placed in 6" layers around the ball. Each layer shall be carefully tamped in place in a manner to avoid injury to the roots or ball, or disturbing the position of the plant. When approximately two-thirds (2/3) of the plant has been back-filled, the pit shall be filled with water and the soil allowed to settle around the roots. B&B plants shall have all the twine , wire and burlap cut away or folded back from the top 1/3 of the ball and trunks before applying water. After the water has been absorbed, the plant hole shall be filled with soil mix and tamped lightly to grade.
- All containerized stock shall be removed from containers and the root mass should either be physically loosened or sliced to prevent strangulation. F. Failure to comply with planting procedures outlined above is basis for
- rejection of plant material by landscape architect. G. Transit trunk guard shall be removed only after inspection at site by

PRUNING

of pit and tamp.

- A. Trees and shrubs shall be pruned to remove broken branches only and/ or to preserve their natural character and shape. Pruning shall be restricted in general to the secondary branches and soft, sucker growth. Never cut a leader. Honor branch collar, do not leave stubs & do not use wound
- dressing paint. B. ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES WILL BE REJECTED BY THE LANDSCAPE ARCHITECTS.

MULCHING

- A. All planting beds shown on the plans shall be mulched with 4" of mulch over entire area. B. Before mulch is installed, apply pre-emergence weed killer and incorporate
- into soil according to manufacturer's directions. C. All surfaces to receive mulch shall be raked smooth and be free of all rocks, debris and large bark pieces. Mulch shall not be mounded up around base
- D. Mulch shall be replenished within one year to eighteen months of initial

STAKING AND GUYING

- A. All trees to be staked and guyed within 48 hours of planting.
- B. Methods and materials for staking and guying are illustrated in individual
- C. Neatly flag all guy wires with rot resistant yellow tree marking ribbon. D. Staking may not be required dependent on plant location as directed by
- landscape architect. E. Brace plants upright in position by guy wires and rubber hose protection and

Tree Caliper Tree Support Method 1 - 3 inches 2 guy wires (2 strand wire) 3 guy wires (2 strand wire) over 6 inches 4 guy wires (4 strand wire)

PLANTING PROCEDURE FOR GROUNDCOVERS, PERENNIALS AND

- A. All planting holes shall be excavated through the mulch with hand trowel or
- B. Before planting, biodegradable pots and non-biodegradable pots shall be C. The perennials shall be planted as follows:
- 1. Roots of the plant shall be surrounded by soil below the mulch. The plants shall be set so that the top of the root system is even with
- 2. At and equal distance apart (plans and specifications specify the distance on center. (O.C.) for the perennials The entire bed shall be edged per detail.
- Treat the mulched and planted perennial bed with soil applied, pre-emergent herbicide appropriate for use with the plant material specified. The entire perennial bed shall be thoroughly watered to a depth of 6-8".

REMOVAL AND CLEANUP

- A. Removal of debris is required. The property must be left in a neat and orderly condition in accordance with good and accepted plating practices.
- B. Protect all Finished surfaces during planting operations. C. Repair and restore all damaged or disturbed surfaces related to planting

SUBSTANTIAL COMPLETION

The point when plant materials have been installed and the Landscape Architect completes a punch list.

FINAL ACCEPTANCE After all items on the punch list have been completed to the Landscape Architect's satisfaction.

GUARANTEE & GUARANTEE PERIOD

- A. Guarantee Period commences after final acceptance. B. Plant materials shall be guaranteed for two growing seasons from date of acceptance by the owner or his representative. The trees are to be alive
- and in satisfactory growing condition as determined by the owner or his representative during final inspection at the end of the guarantee period Replacement will be made according to these same specifications and during the normal planting period. Replacements shall be subject to the same guarantee and replacement as the original material. The
- eplacements shall be made within 60 days following written notification from the owner or his representative. D. In the event of questions regarding the condition and satisfactory establishment of a rejected plant, the contractor may, if approved by the owner, allow such a plant to remain through another growing season a which time the rejected plant, if found to be dead or in an unhealthy or badly
- impaired condition, shall be replaced. E. The contractor is not responsible for theft or damage to plants by non-contractor vehicles or vandalism once plants are installed and
- Remove all guys and stakes from trees after one year.

LAWN AND GRASS PLANTING SPECIFICATIONS

WORK INCLUDED

- A. Preparation of subgrade to receive topsoil.
- B. Spreading topsoil, raking and leveling C. Sod Placement

D. Maintaining seeded and sodded areas until acceptance

REFERENCES

A. FS-0-F-241 - Fertilizers, Mixed, commercial B. ASPA (American Sod Producers Association) - Guideline Specifications to

QUALITY ASSURANCE

- A. Testing of topsoil when required, will be performed by an independent testing laboratory appointed and paid for by the owner. Testing will be performed to ascertain N, P, K, Mg, soluble salt contents, organic matter
- content and pH value. B. Submit minimum 10 oz sample of topsoil proposed to be used. Forward sample to appointed testing laboratory in sealed containers to prevent

DELIVERY, STORAGE AND HANDLING

A. Deliver fertilizer in waterproof bags showing weight, chemical analysis and name of manufacturer.

EXISTING CONDITIONS

A. Beginning work means acceptance of existing conditions.

GROWING MEDIA

- A. Imported Topsoil: natural, fertile, agricultural soil typical of locality, capable of sustaining vigorous plant growth, from well drained site, free of flooding, not in frozen or muddy condition, not less than 6% organic matter and pH value of 5.9 to 7.0. Soil shall be free from subsoil, slag, clay, stones, lumps, live plants, roots, sticks, crabgrass, couch grass, noxious weeds and foreign
- B. Existing Topsoil: Natural, fertile agricultural soil capable of sustaining vigorous plant growth, not frozen or muddy condition, containing not less than 6% organic matter, and corrected to pH value of 5.9 to 7.0. Free from subsoil, slag, clay, stones, lumps, live plants, roots, sticks, crabgrass, couch grass, noxious weeds and foreign matter.
- C. Sand: Hard, granular natural beach sand, washed, free of impurities, chemical or organic matter. D. Limestone: Dolomitic limestone with minimum 85% carbonates and 50%
- calcium oxides. Bags shall show weights and analysis. E. Fertilizer: Commercial type conforming to FS 0-F-241, Type 1, Grade A recommended for grass, with 50% of the elements derived from organic sources; of proportion necessary to eliminate and deficiencies of topsoil as indicated in analysis to the following proportions: nitrogen 10%, phosphoric acid 6%, soluble potash 4%.

A. Certified field cultivated grass sod; of type indicated on Plant List or on Drawings; with strong fibrous root system; free from stones and burned or bare spots

ACCESSORIES

- A. Mulching Material: Oat or wheat straw, reasonably free from weeds, foreign matter detrimental to plant life, and in dry condition. Hay or chopped cornstalks is not acceptable. B. Mulching Material / Tack Coat: Wood or wood cellulose fiber, free of growth
- or germination inhibiting ingredients. Weed Killer: "Weed B Gone" or equal . Establishment Blanket: Uniform, open weave jute matting.
- Wooden Pegs: Of sufficient size and length to ensure satisfactory anchorage of sod on slope in excess of 2:1. F. Water: Clean, fresh and free of substances or matter which would inhibit

PREPARATION

vigorous growth of grass.

- A. Protect existing underground improvements from damage.
- B. Remove foreign materials, plants, roots, stones and debris from site. DO NOT BURY FOREIGN MATERIAL.
- C. Remove contaminated subsoil in adherence to State and Federal D. Cultivate area to receive subsoil to depth of 3 inches. Repeat cultivation in

areas where equipment has compacted subgrade. SPREADING TOPSOIL

- A. Spread topsoil to minimum depth of 6 inches over area to be sodded or seeded. Place during dry weather, and on dry, unfrozen subgrade. B. Cultivate topsoil to a minimum depth of 6 inches with mechanical tiller.
- Cultivate inaccessible areas by hand. C. Remove from site ANY FOREIGN MATERIALS collected during cultivation
- in adherence to State and Federal Regulations D. Amend soil with Limestone, Fertilizer, or Sand according to results of soil
- E. Grade to eliminate rough spots and low areas where ponding may occur. Maintain smooth, uniform grade. Assure positive drainage away from buildings. G. Finish grade after placement of topsoil shall be even and sufficiently firm to

CUTTING SOD

A. Cut sod using an approved method, in accordance with local governing American Sod Producers Association. Cut sod in pieces not exceeding 1 square yard, with minimum 12" width and maximum 1 inch thick soil portion.

prevent irregular settling when irrigations is applied.

APPLY FERTILIZER AND LIMESTONE IN QUANTITIES REQUIRED BY SOIL

A. Apply ground limestone at rate of 50 lbs. per 1,000 sq.ft. unless soil tests or Landscape Architect indicates otherwise. B. Apply after fine grading and mix thoroughly into upper 4 inches of topsoil.

LAYING SOD

- A. Lay sod as soon as possible after delivery to prevent deterioration. B. Lay sod closely knit together with no open joints visible and pieces not overlapped. Lay smooth and flush with adjoining grass areas paving and top
- surfaces of curbs C. On slopes, staple outside edges at 36 inch intervals D. Lightly dress slopes with topsoil to ensure close contact between sod and
- E. Immediately after sodding, the area shall be rolled with a roller not to exceed 120 lbs. to remove minor irregularities.

SODDED AREAS

- A. Mow grass at regular intervals as required to maintain at a maximum height of $2\frac{1}{2}$ inches. Do not cut more than $\frac{1}{3}$ of the grass blades at any one mowing. Neatly trim edges and hand clip where necessary. Immediately remove clippings after mowing and
- B. Water when required and in sufficient quantities to prevent any
- underlying soil from drying out. C. Control growth of weeds. When using herbicides, apply in
- accordance with manufacturer's recommendations. Remedy damage resulting from negligent or improper use of herbicides. D. Immediately repair or replace any areas which show deterioration
- E. Protect sodded areas with warning signs during maintenance
- RESTORATION
- A. Restore all surfaces, pavement, concrete, grassed areas, planted areas and structures damaged during execution or work related to

WARRANTY

A. After final acceptance, provide warranty, in writing from Subcontractor that lawn areas will be good, vigorous and thriving condition for a 1 year period. Replace seeding and sod not in good, vigorous growth after 1 year at no additional cost to Owner. Subcontractor shall be responsible to inform and instruct Owner on means by which lawn should be maintained after MAINTENANCE PERIOD; Subcontractor shall have free access to site during WARRANTY PERIOD to assure himself that the

INSPECTION AND ACCEPTANCE

Owner is providing proper lawn care.

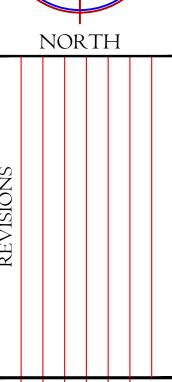
- A. Inspection: Inspection of work will be made by Landscape Architect at conclusion of maintenance period to determine if proper completion and maintenance has been effected Sub-contractor shall give written notice to Architect requesting such inspection at least ten days prior to anticipated date. Condition of work will be noted and determination made by
- Landscape Architect whether maintenance shall continue. B. Acceptance: After inspection, Subcontractor will be notified in writing by Landscape Architect of acceptance of work, or if there are any deficiencies or requirement s for completion of work. Maintenance or other work remaining to be done shall be subject to re-inspection prior to final acceptance

This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remains the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assignees without the written permission of VDI will be at the Clients risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1 Worcester County Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.



PROPOSED APE AII

OCEAN PINES



NEW BUILDING FOR

OCEAN PINES VOLUNTER FIRE DEPARTMENT OCEAN PARKWAY

OCEAN PINES, MARYLAND

W. F. HORN ARCHITECT, INC. LEWES, DELAWARE

CODE INFORMATION

CODE INFORMATION

BUILDING AREA - 14875 SQUARE FEET FULLY SPRINKLERED

I. INTERNATIONAL BUILDING CODE - 2021

A. OCCUPANCY CLASSIFICATION -BUSINESS GROUP B STORAGE GROUP S-1

B. INCIDENTAL USE AREAS

- 1. BOILER AND FURNACE ROOMS NOT APPLICABLE 2. STORAGE ROOMS OVER 100 SQ. FT. - NOT APPLICABLE 3. LAUNDRY ROOMS OVER 100 SQUARE FEET - 1 HOUR RATED
- C. GENERAL BUILDING HEIGHTS AND AREAS

1. HEIGHT -GROUP B AND S-1 - 3 STORY, 60' PERMITTED HEIGHT MODIFICATIONS NOT REQUIRED

- 2. AREA -GROUP B AND S-1 - 36,000 SQUARE FEET PER STORY PERMIT AREA MODIFICATIONS NOT REQUIRED
- D. TYPE OF CONSTRUCTION CONSTRUCTION TYPE VB
- 1. STRUCTURAL FRAME 0 HOUR
- 2. BEARING WALLS, EXTERIOR 0 HOUR 3. BEARING WALLS, INTERIOR - 0 HOUR
- 4. NONBEARING WALLS, EXTERIOR O HOUR 5. NONBEARING WALLS, INTERIOR - 0 HOUR
- 6. FLOOR CONSTRUCTION 0 HOUR
- 7. ROOF CONSTRUCTION 0 HOUR
- 8. FIRE SEPARATION DISTANCE, GREATER THAN 30 FT. - 0 HOUR
- 9. UNPROTECTED WALL OPENING,
- GREATER THAN 30 FT. UNLIMITED AREA E. INTERIOR FINISHES -
- 1. WALLS AND CEILINGS -EXIT ACCESS CORRIDORS - CLASS C ROOMS AND ENCLOSED SPACES - CLASS C

3. DECORATIONS AND TRIM - FLAME RESISTANT

- F. MEANS OF EGRESS
- 1. OCCUPANT LOAD -

2. FLOOR FINISH - CLASS II

- BUSINESS -100 SQUARE FEET PER OCCUPANT = 70 PEOPLE
- STORAGE -300 SQUARE FEET PER OCCUPANT = 27 PEOPLE
- 2. EGRESS WIDTH -STAIRWAYS - .3" PER OCCUPANT
- OTHER EGRESS COMPONENTS ,2" PER OCCUPANT 3. ACCESSIBLE MEANS OF EGRESS -
- FOUR REQUIRED
- SEVEN PROVIDED
- 4. SPACES WITH ONE MEANS OF EGRESS -MAXIMUM OCCUPANT LOAD - 50
- MAXIMUM TRAVEL DISTANT 75'
- 5. LENGTH OF EXIT ACCESS TRAVEL -200 FEET MAXIMUM ALLOWED 75 FEET MAXIMUM PROVIDED

- 6. SIZE OF DOORS 32 " MINIMUM EGRESS WIDTH PER OCCUPANT = .2"/PERSON, 34 X .2" =
- 170 PEOPLE PER DOOR 7. PANIC HARDWARE - NOT REQUIRED 8. LIGHTED EXIT SIGNS REQUIRED
- <u>II. NFPA 101 2021</u> A. CLASSIFICATION OF OCCUPANCY -NEW BUSINESS
- STORAGE B. CLASSIFICATION OF HAZARD OF CONTENTS - ORDINARY HAZARD
- C. MINIMUM CONSTRUCTION REQUIREMENTS NO REQUIREMENT
- D. OCCUPANT LOAD 97 PEOPLE
- E. MEANS OF EGRESS -
- 1. ALL EXITS LOCATED AT LEVEL OF EXIT DISCHARGE
- 2. FOUR EXITS REQUIRED
- 3. DOORS a. 32" MINIMUM CLEAR WIDTH
- b. MAXIMUM FLOOR VARIATION BOTH SIDES OF DOOR 1/2"
- c. SWING IN DIRECTION OF EGRESS TRAVEL
- 4. PANIC HARDWARE AT EXIT DOORS FROM BUILDING NOT REQUIRED 5. TRAVEL DISTANCE TO EXITS - 150 FEET MAXIMUM
- 6. EMERGENCY LIGHTS AND LIGHTED EXIT SIGNS
- F. PROTECTION -
 - 1. INTERIOR WALL AND CEILING CLASS A, CLASS B OR CLASS C 2. SMOKE DETECTORS AND FIRE ALARM SYSTEM REQUIRED

III MARYLAND ACCESSIBILITY CODE

- IV INTERNATIONAL STANDARD PLUMBING CODE 2021
- V NATIONAL ELECTRICAL CODE NFPA 70 2021
- <u>VI</u> <u>INTERNATIONAL ENERGY CONSERVATION CODE 2021</u>
- VII COMAR 05.02.02 MARYLAND ACCESSIBILITY CODE

<u>VIII. ADA</u>

- A. ACCESSIBLE SITES -
- 1. AT LEAST ONE ACCESSIBLE ROUTE PROVIDED 2. ACCESSIBLE PARKING SPACES - SEE SITE PLAN
- B. ACCESSIBLE BUILDING -
- 1. ONE ACCESSIBLE ROUTE TO ACCESSIBLE SPACES PROVIDED
- 2. FLOOR SURFACES TO BE SLIP RESISTANT a. CARPET IF PROVIDED — LEVEL LOOP, GLUED INSTALLATION
- 3. STAIRS 7" MAX. RISER, 11" MIN TREAD
- a. CLEAR WIDTH 32" MINIMUM PROVIDED
- b. MANEUVERING CLEARANCES PROVIDED
- c. THRESHOLDS 1\2" MAXIMUM HEIGHT PROVIDED
- d. HARDWARE LEVER TYPE HARDWARE TO BE PROVIDED e. 50% OF ENTRANCES MUST BE ACCESSIBLE - 100% PROVIDED
- 5. DRINKING FOUNTAINS PROVIDED
- 6. TOILET FACILITIES PROVIDED

NOTES:

1. ALL DOORS TO BE EQUIPPED WITH LEVER TYPE LOCK AND LATCHSETS. UNLESS NOTED OTHERWISE

INDEX OF DRAWINGS

- T1.1 TITLE SHEET, INDEX AND CODE INFORMATION
- A1.1 FLOOR PLAN AND NOTES
- A1.2 DOOR SCHEDULE, HARDWARE AND WINDOW TYPES
- ROOF PLAN, DETAILS AND NOTES
- ELEVATIONS
- WALL SECTION
- A3.2 WALL SECTION
- WALL SECTION
- F1.1 FOUNDATION PLAN, DETAILS AND NOTES
- STRUCTURAL PLAN, DETAILS AND NOTES



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

ZŌ யி ய

DESIGNED WFH

DRAWN WFH CHECKED WFH PROJ. NO.OPFD125 SCALE AS NOTED SHEET NUMBER

VOLUNTEEF

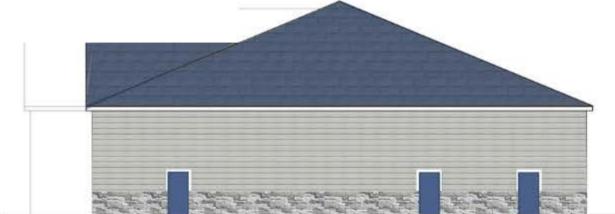
PINES 'SERWAY'S MES, MARYLA

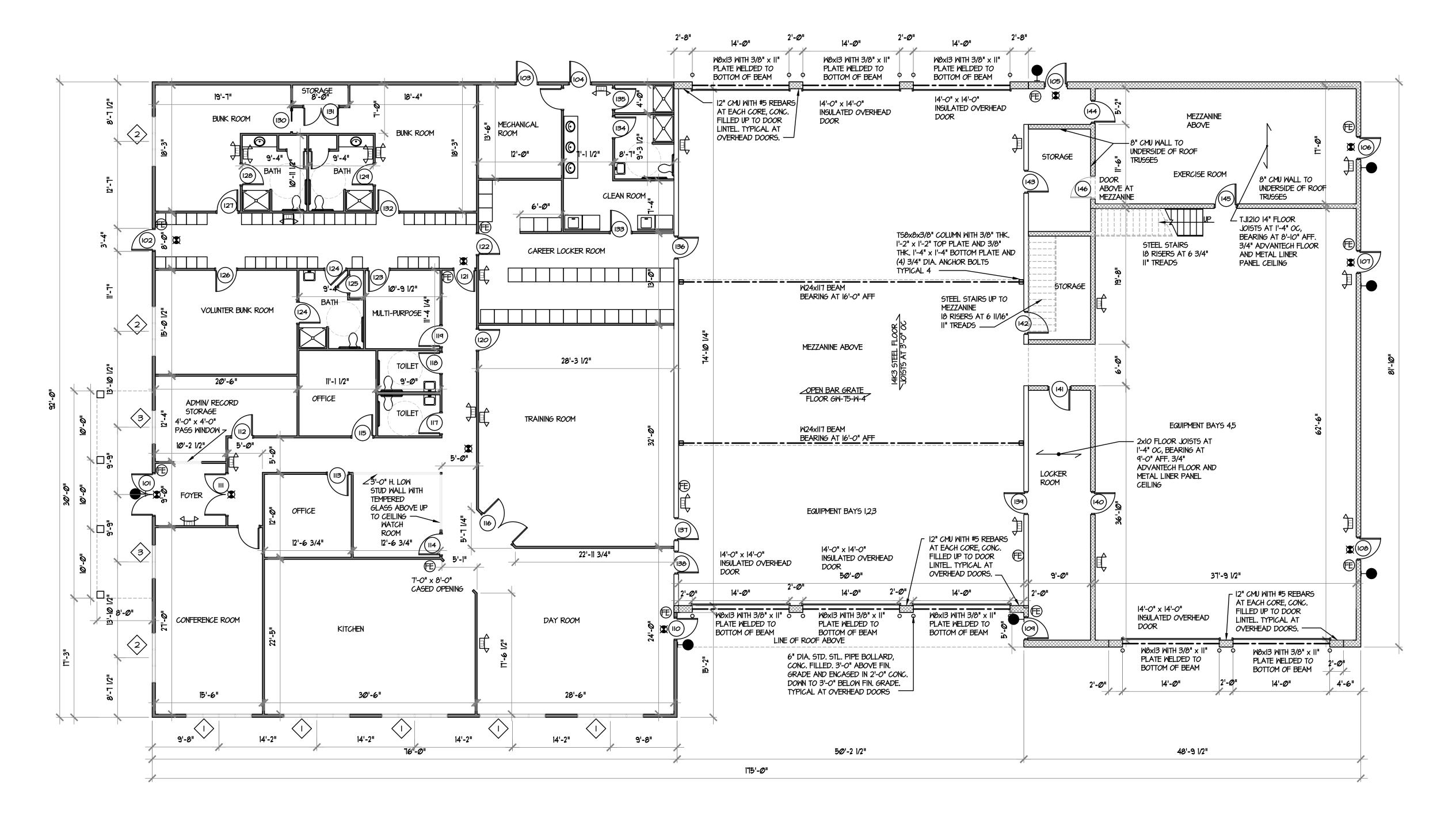
AN TANAN

OCEAI PIRE OCEANI

 \square







FLOOR PLAN

SYMBOLS

- DENOTES FIRE EXTINGUISHER LOCATION. FIRE EXTINGUISHER SHALL BE 2A:10B:C MOUNTED AT 48" TO TOP.
- DENOTES EMERGENCY LIGHT WITH BATTERY BACK
- DENOTES LIGHTED EXIT SIGNS
- DENOTES REMOTE HEAD EXTERIOR EMERGENCY LIGHT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

PROFESSIONAL CERTIFICATION

CHECKED WFH PROJ. NO.OPFD125 SCALE AS NOTED SHEET NUMBER

DESIGNED WFH

DRAWN WFH

OR

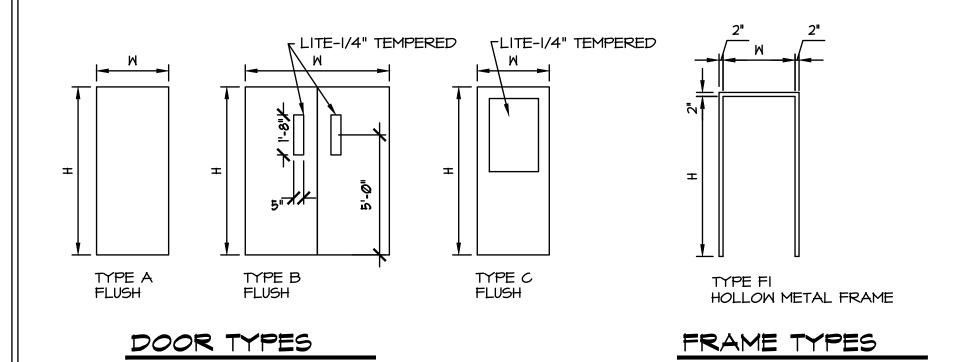
0

SOUTH GATE FIREHOUSE FOR:

AN PINES VOLUNTEER

DEPARTMENT

					DC		AN			ME	SCI	HED	ULE					
DOOR NUMBER	DOOR TYPE	DOOR MATL	SIZE WxH	THK	FINISH	UNDER CUT	LOUVER	GLASS TYPE	HARD WARE	FRAME TYPE			FRAME FINISH	HEAD TYPE	JAMB TYPE	THRESH HOLD	FIRE RATING	REMARKS
101	_	ALUM	6'-0"x7'-0"	1-3/4"	ANOD	_	_	_	_	_	_	_	_	_	_	_	_	
102	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-3	F1	НМ	6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
103	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	-	-	HW-3	F1	НМ	6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
104	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	-	-	-	HW-3	F1	НМ	6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
105	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	1	1	HW-3	F1	НМ	6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
106	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	-	-	HW-3	F1		6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
107	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	_	-	HW-3	F1		6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
108	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	-	_	-	HW-3	F1		6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
109	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-3	F1		6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
110	Α	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-3	F1		6-1/2"	PAINT	H1	J1	ALUM	_	INSUL. GALV. HM
111	В	WD	(2)3'-0"x6'-8"	1-3/4"	PAINT				HW-1	F1	HM	5 7/8"	PAINT	H-1	J-1			
112	С	WD	3'-0"x6'-8"	1-3/4"	PAINT				HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1			
113	С	WD	3'-0"x6'-8"	1-3/4"	PAINT				HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1			
114	С	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	_	_	_
115	С	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-6	F1	HM	5 7/8"	PAINT	H-1	J-1	_	_	_
116	В	WD	(2)3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-1	F1	HM	5 7/8"	PAINT	H-1	J-1	_	-	
117	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-7	F1	HM HM	5 7/8"	PAINT	H-1	J-1	_	_	
118	A C	WD	3'-0"x6'-8" 3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-7	F1 F1	HM	5 7/8" 5 7/8"	PAINT	H-1	J-1	_	_	
119 120	C	WD WD	3'-0"x6'-8"	1-3/4" 1-3/4"	PAINT PAINT	_	_		HW-6 HW-6	F1	HM	5 7/8"	PAINT PAINT	H-1 H-1	J-1 J-1	_	_	
121	A	WD WD	3'-0"x6'-8"	1-3/4"	PAINT	_			HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1 J-1	_	_	<u>_</u>
122	A	WD WD	3'-0"x6'-8"	1-3/4"	PAINT	_			HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	_	_	
123	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-3	F1	HM	5 7/8"	PAINT	H-1	J-1	_	_	
124	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-7	F1	HM	5 7/8"	PAINT	H-1	J-1	_	_	_
125	A	WD	2'-6"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	_		_
126	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F1	HM	5 7/8"	PAINT	H-1	J-1	_	_	_
127	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-2	F1	НМ	5 7/8"	PAINT	H-1	J-1	_		_
128	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-7	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
129	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-7	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
130	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	_	F1	НМ	5 7/8"	PAINT	H-1	J-1	_	_	POCKET DOOR
131	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	-	-	HW-10	F1	НМ	5 7/8"	PAINT	H-1	J-1	_	_	_
132	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F2	НМ	5 7/8"	PAINT	H-1	J-1	_	_	_
133	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
134	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	-	1	HW-7	F1		5 7/8"	PAINT	H-1	J-1	_	_	-
135	Α	WD	3'-0"x6'-8"	1-3/4"	PAINT	-	_	-	HW-7	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
136	A	НМ	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-3	F1		5 7/8"	PAINT	H-1	J-1	_	90 MIN	_
137	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-3	F1		5 7/8"	PAINT	H-1	J-1	_	90 MIN	
138	A	HM	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-3	F1		5 7/8"	PAINT	H-1	J-1	_	90 MIN	
139	С	HM	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	-	_
140	С	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
141	С	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
142	С	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	_	_
143	С	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	_	
144	C	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_		HW-2	F1		5 7/8"	PAINT	H-1	J-1	_	_	
145		WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-2	F1	<u> </u>	5 7/8"	PAINT	H-1	J-1	_	_	
										-								
201	A	WD	3'-0"x6'-8"	1-3/4"	PAINT	_	_	_	HW-3	F1	НМ	5 7/8"	PAINT	H-1	J-1	_	45 MIN.	
201		110	J J XU -U		1 (111)				1144 - 5	 ''	1 1141	3 //0	1 (111)	11-1	J - 1		TO WILLA	_



DOOR AND HARDWARE SCHEDULE

<u>NOTE:</u> I. ALL EXIT DOORS INDICATED WITH DEADBOLTS SHALL BE NON-KEYED (THUMBLATCH) FROM THE EGRESS SIDE.

2. ALL LOCKSETS TO BE MASTER KEYED.

3. HARDWARE FINISH TO BE US26D, SATIN CHROMIUM PLATED.

4. HARDWARE INDICATED FOR FUNCTION, EQUAL PRODUCTS OF OTHER MANUFACTURERS ARE ACCEPTABLE.

<u>HARDWARE SET |</u> DOOR SIZE - | 3/4" X 6'-0" X 6'-8"

3 PAIR HINGES, STANLEY FBBI79,NRP PUSH PLATE

PULL BAR KICK PLATE CLOSER, YALE PA4400

DOORSTOP, IVES 436

<u>HARDWARE SET 2</u> DOOR SIZE - | 3/4" X 3'-0" X 6'-8"

I I/2 PAIR HINGES, STANLEY FBB179,NRP LATCHSET, YALE PB540ILN DOORSTOP, IVES 436

<u>HARDWARE SET 3</u> DOOR SIZE - | 3/4" x 3'-0" x 6'-8"

I I/2 PAIR HINGES, STANLEY FBB179,NRP I PANIC EXIT DEVICE, YALE 2100F CLOSER, YALE PA4400 DOORSTOP, IVES 436

<u>HARDWARE SET 4</u> DOOR SIZE - | 3/4" X 3'-0" X 6'-8"

I I/2 PAIR HINGES, STANLEY FBBIT9,NRP LOCKSET, YALE PB5405LN DOORSTOP, IVES 436

<u>HARDWARE SET 5</u> DOOR SIZE - | 3/4" X 3'-0" X 6'-8"

I I/2 PAIR HINGES, STANLEY FBB179,NRP PUSH PLATE PULL BAR KICK PLATE CLOSER, YALE PA4400 DOORSTOP, IVES 436

<u>HARDWARE SET 6</u> DOOR SIZE - I 3/4" X 3'-0" X 6'-8"

I I/2 PAIR HINGES, STANLEY FBB179,NRP LOCKSET, YALE PB5408LN DOORSTOP, IVES 436

HARDWARE SET 7 DOOR SIZE - | 3/4" X 3'-0" X 6'-8"

I I/2 PAIR HINGES, STANLEY FBB179,NRP LOCKSET, YALE PB5402LN DOORSTOP, IVES 436

<u>HARDWARE SET 8</u> DOOR SIZE - I 3/4" x 3'-0" x 6'-8"

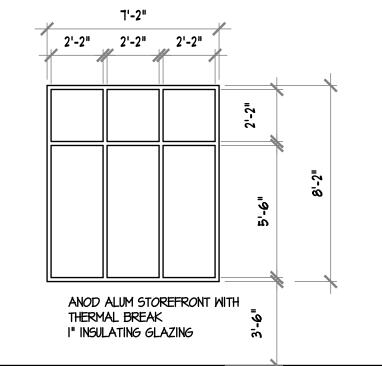
I I/2 PAIR HINGES, STANLEY FBB179,NRP LOCKSET, YALE PB5404LN DOORSTOP, IVES 436

HARDWARE SET 9 DOOR SIZE - 1 3/4" X 3'-0" X 6'-8"

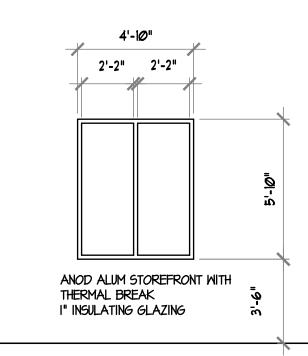
I I/2 PAIR HINGES, STANLEY FBB179,NRP LOCKSET, YALE PB5405LN CLOSER, YALE PA4400 DOORSTOP, IVES 436

ANOD ALUM STOREFRONT WITH THERMAL BREAK I" INSULATING GLAZING

MINDOMI



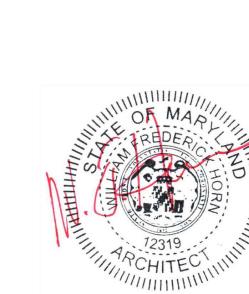
WINDOW 2



MINDOM 3

6'-4" ANOD ALUM STOREFRONT WITH THERMAL BREAK 2'-11" I" INSULATING GLAZING 3'-Ø" 3'-Ø"

STOREFRONT ENTRANCE



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

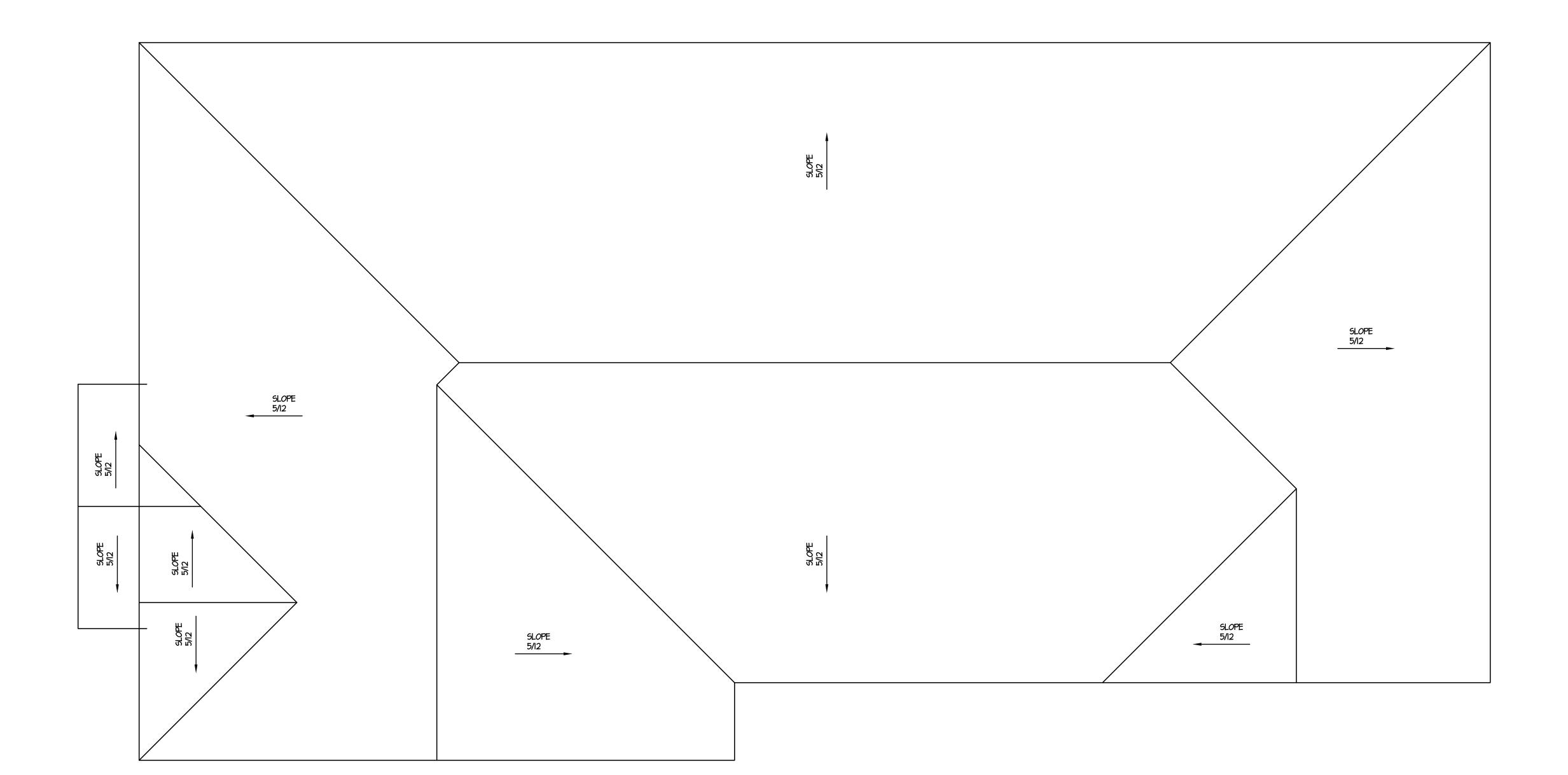
THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

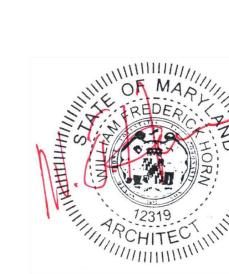
DESIGNED WFH DRAWN WFH CHECKED WFH PROJ. NO.OPFD125 SCALE AS NOTED SHEET NUMBER

SCHEDULI

DOOR SC HARDWAF AND WIN

SOUTH GATE FIREHOUSE FOR:
AN PINES VOLUNTEER
DEPARTMENT





PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

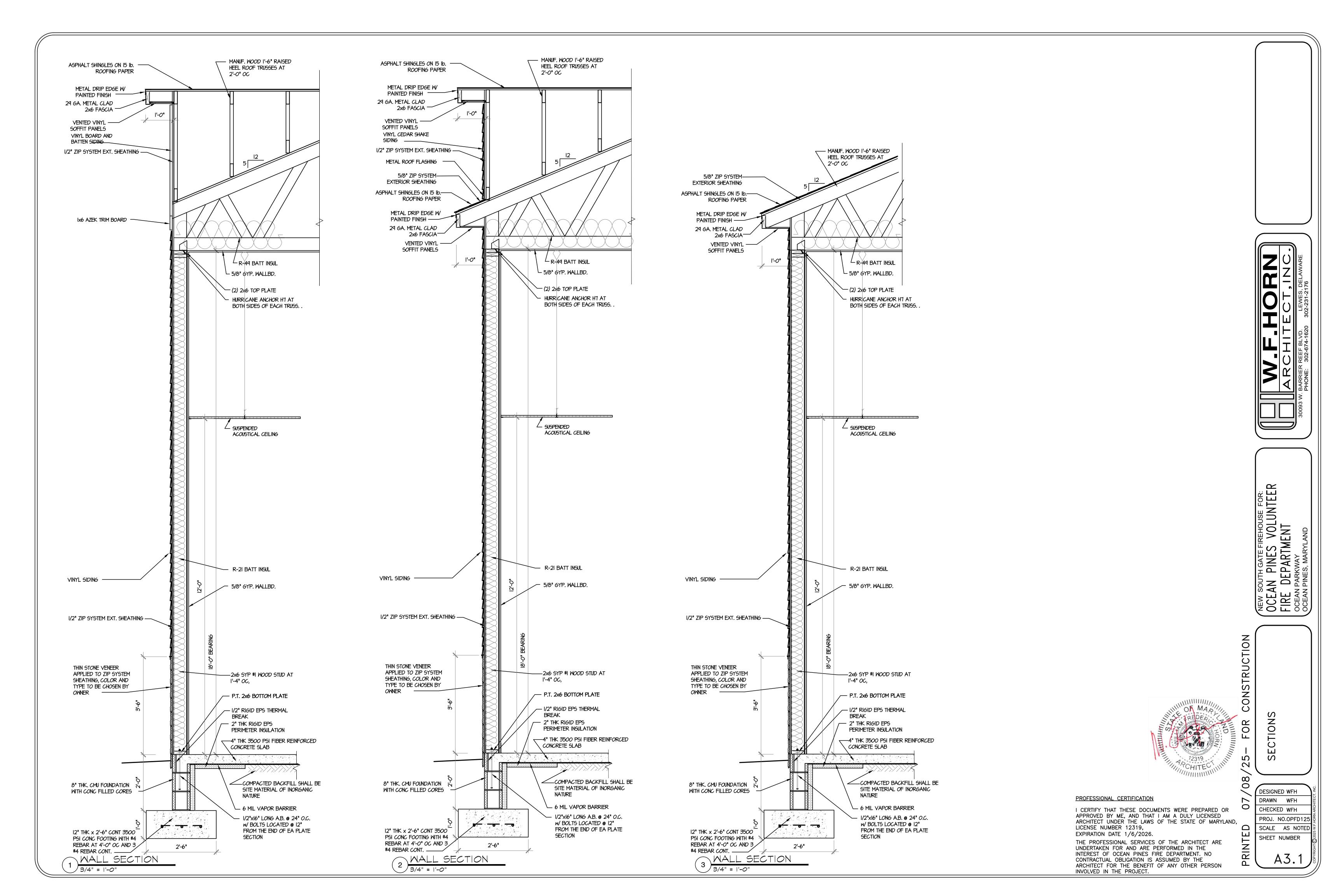
THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

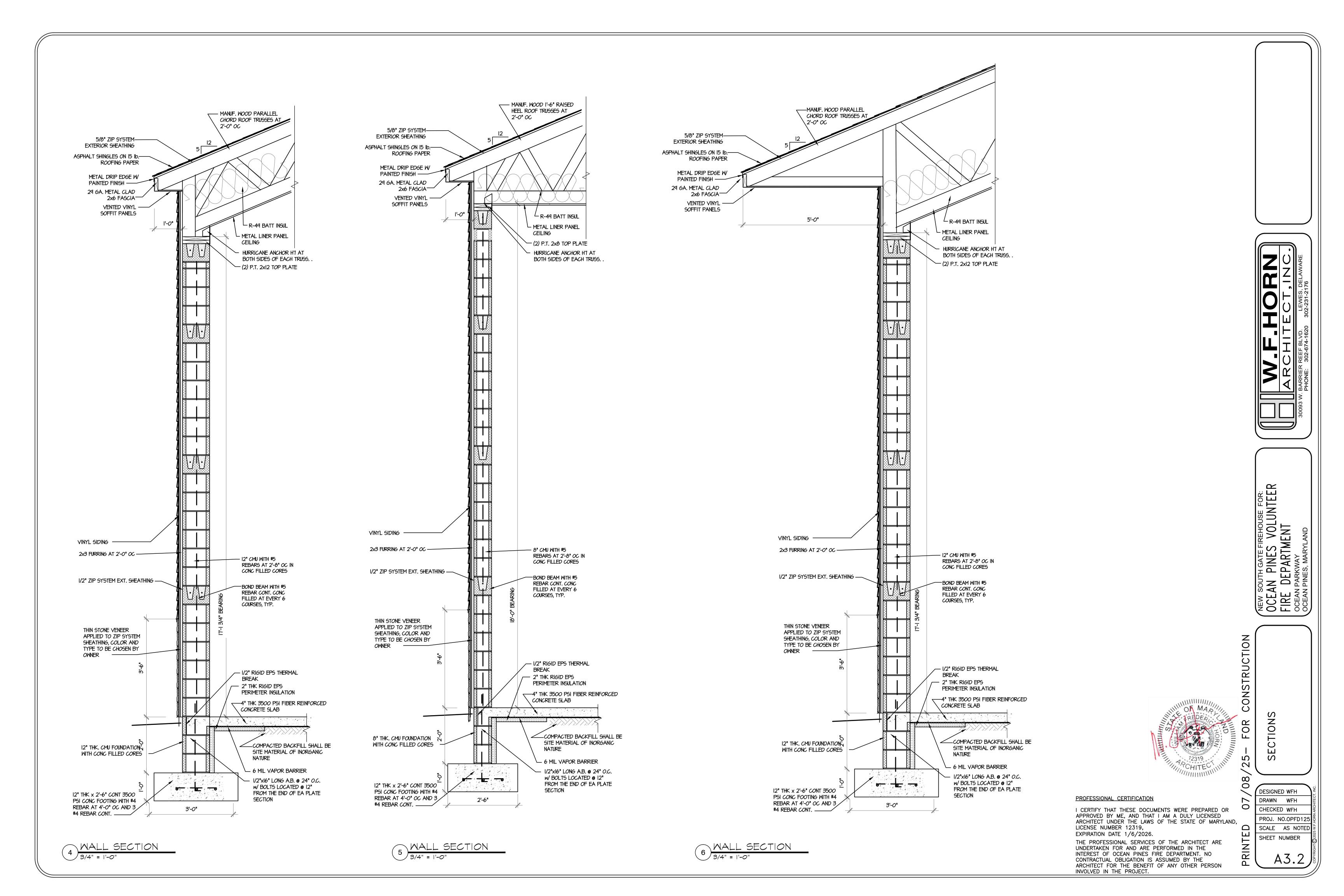
ROOF DETAILS

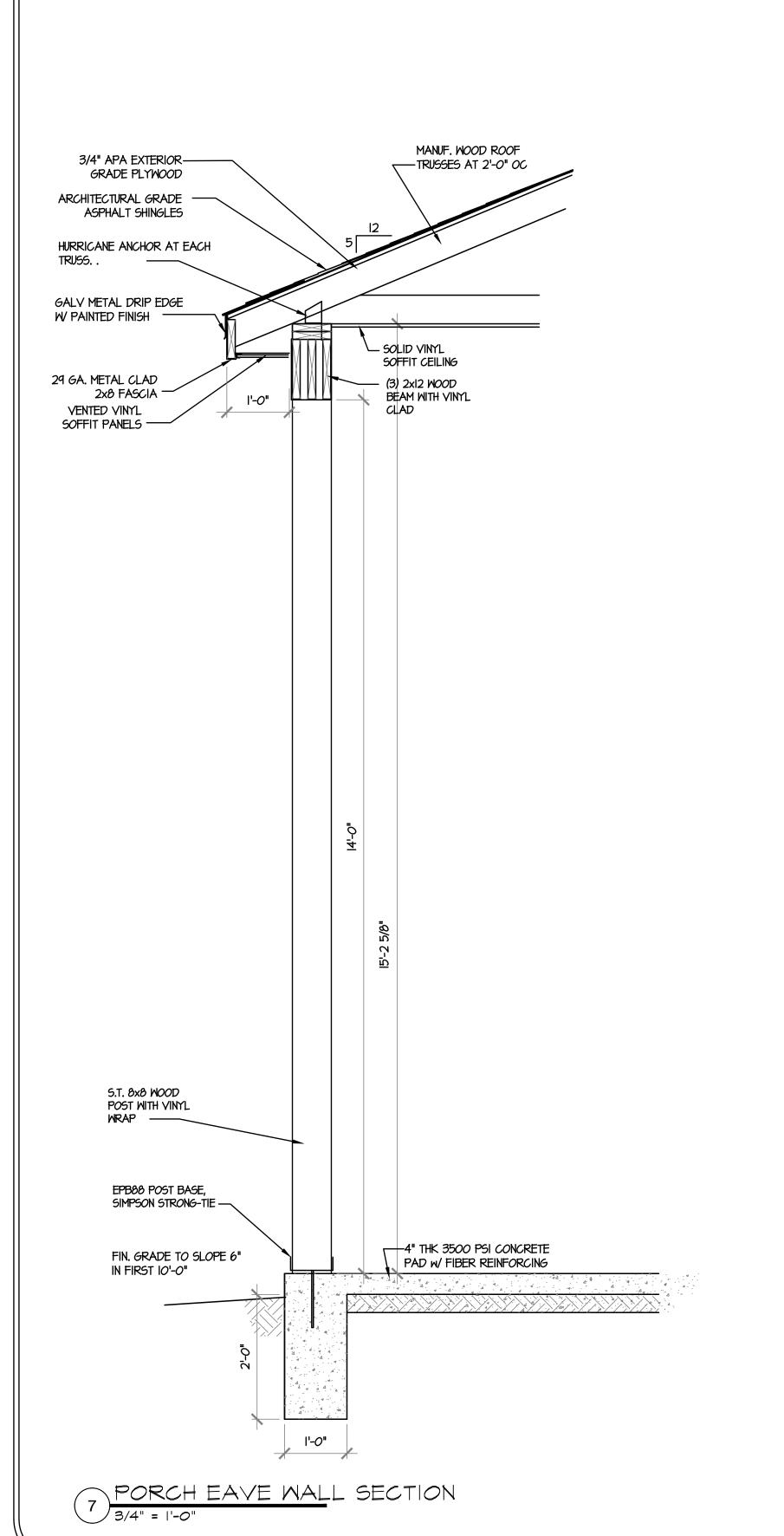
DESIGNED WFH DRAWN WFH CHECKED WFH PROJ. NO.OPFD125 SCALE AS NOTED SHEET NUMBER

NEW SOUTH GATE FIREHOUSE FOR:

OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND







NEW SOUTH GATE FIREHOUSE FOR:

OCEAN PINES VOLUNTEER
FIRE DEPARTMENT
OCEAN PARKWAY
OCEAN PINES, MARYLAND

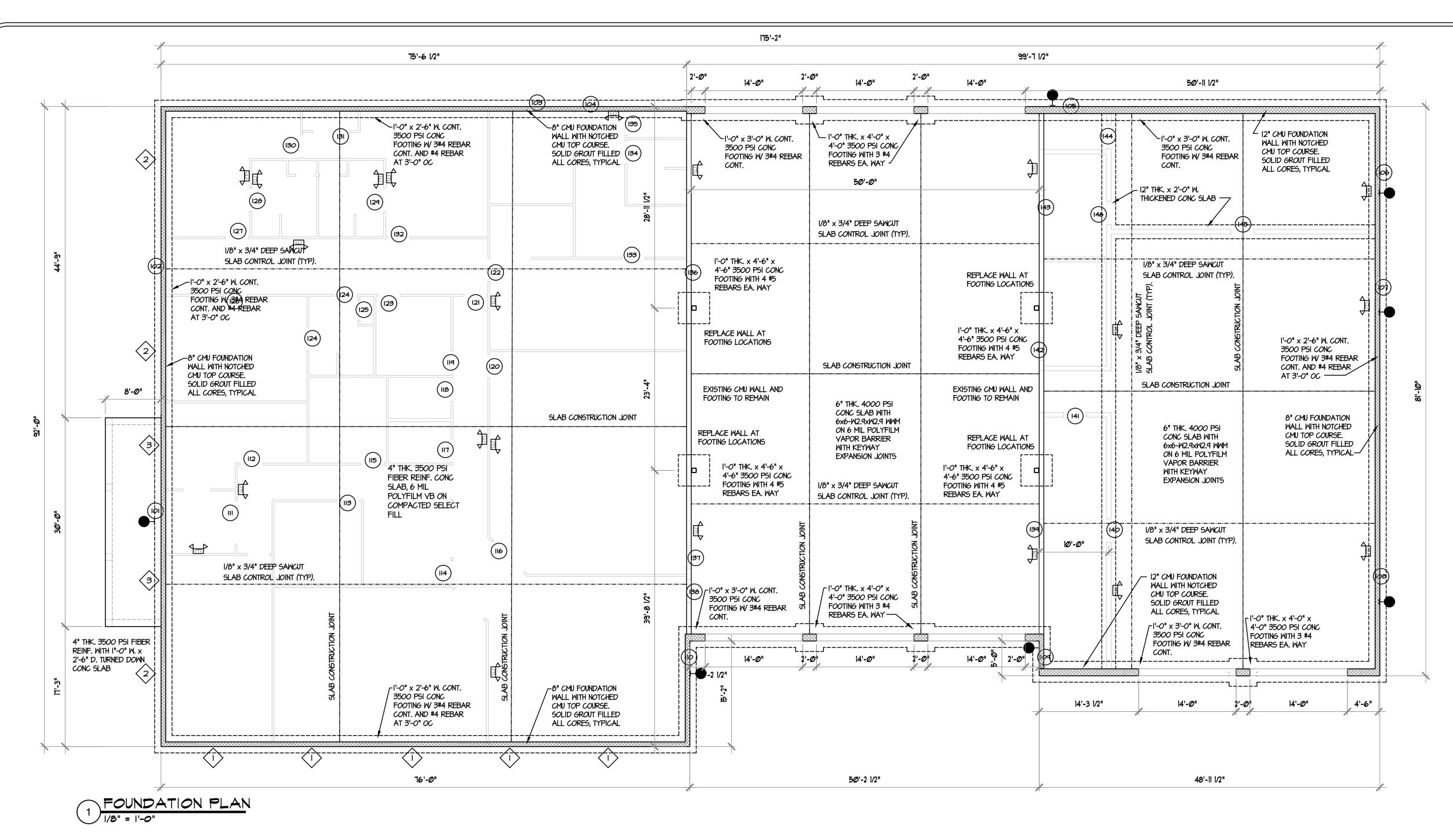
PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

SECTIONS S DESIGNED WFH

DRAWN WFH CHECKED WFH PROJ. NO.OPFD125 ☐ SCALE AS NOTED SHEET NUMBER



FOUNDATIONS

I. PRESUMPTIVE BEARING CAPACITY: 2000 PSF

2. FOUNDATION DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE NATURAL SOILS AND/OR NEW COMPACTED STRUCTURAL FILL.

3. ALL ORGANIC MATERIALS EXCESSIVELY SOFT OR LOOSE SOILS, TREES, ASPHALT, CONCRETE, DEBRIS AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED. UNSUITABLE AREAS SHALL BE REMOVED AND REPLACED.

4. AREAS REQUIRING UNDERCUT AND FILL MATERIAL DUE TO THE PRESENCE OF UNSUITABLE MATERIAL SHALL BE BACKFILLED TO THE DESIGN FOOTING SUBGRADE WITH NEW COMPACTED STRUCTURAL FILL.

5. COMPACTED STRUCTURAL FILL FOR BUILDING SUPPORT UTILIZING MATERIAL APPROVED FOR USE INCLUDE:

ON-SITE GRANULAR SOILS INCLUDING GW , GP, GM, SW, SP, ND. SM, CLASSIFIED IN ACCORDANCE WITH

THE UNIFIED SOLID CLASSIFICATION SYSTEM (USCS). FURTHERMORE, THE MATERIAL TO BE UTILIZED AS STRUCTURAL FILL SHOULD HAVE A PLASTICITY INDEX (PI) LESS THAN 20.

6. COMPACTED STRUCTURAL FILL BENEATH ALL FOUNDATIONS, SLABS ON GRADE AND ADJACENT TO

FOUNDATION WALLS SHALL BE PLACED IN LIFTS NOT EXCEEDING & INCHES IN LOOSE THICKNESS AND BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557 MODIFIED PROCTOR TEST.

7. SOILS EXPOSED AT THE BASES OF ALL FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION. SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND. FOUNDATION EXCAVATIONS SHOULD BE PROTECTED FROM RAINFALL OR FREEZING CONDITIONS. SLOPE FOOTINGS EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFTY OR PROVIDED SHEETING OR SHORING IN ACCORDANCE WITH OSHA REQUIREMENTS IN THE EVENT THAT THE CONTRACTOR DETERMINES THAT SHEETING OR SHORING IS REQUIRED FOR ESCALATION. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER FOR DESIGN AND DOCUMENTATION OF ALL SHEETING AND SHORING REQUIRED FOR THE WORK.

8. UTILITY LINES SHALL NOT PASS UNDER FOOTINGS, STEP FOOTINGS BELOW UTILITY LINES AND SLEEVE

9. TRENCHES WHICH RUN ADJACENT TO FOOTINGS AND ARE LOWER THAN THE FOOTING BOTTOM AND ARE WITHIN A HORIZONTAL DISTANCE OF 1.5 TIMES THE ELEVATION DIFFERENCE SHALL BE BACKFILLED WITH 1500 PSI CONCRETE TO THE FOOTING BOTTOM.

CONCRETE

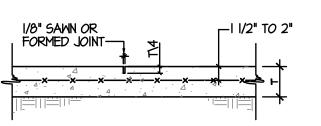
I. ALL CONCRETE WORK SHALL CONFORM TO ACI 318 (LATEST EDITION).

2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE:

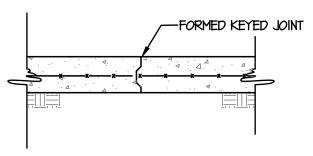
FOUNDATION: 3500 PSI
GARAGE FLOOR SLABS: 3500 PSI
EXTERIOR WALKS, STEPS, PADS,
RAMPS AND CURBS: 3500 PSI
ALL CONCRETE SHALL BE AIR-ENTRAINED (6+/-1)%.

3. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.

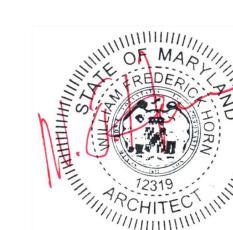
4. CALCIUM CHLORIDE ADMIXTURES ARE PROHIBITED, USE OF ADMIXTURES SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT.



SAWN CONTROL JOINT



SLAB CONSTRUCTION JOINT



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

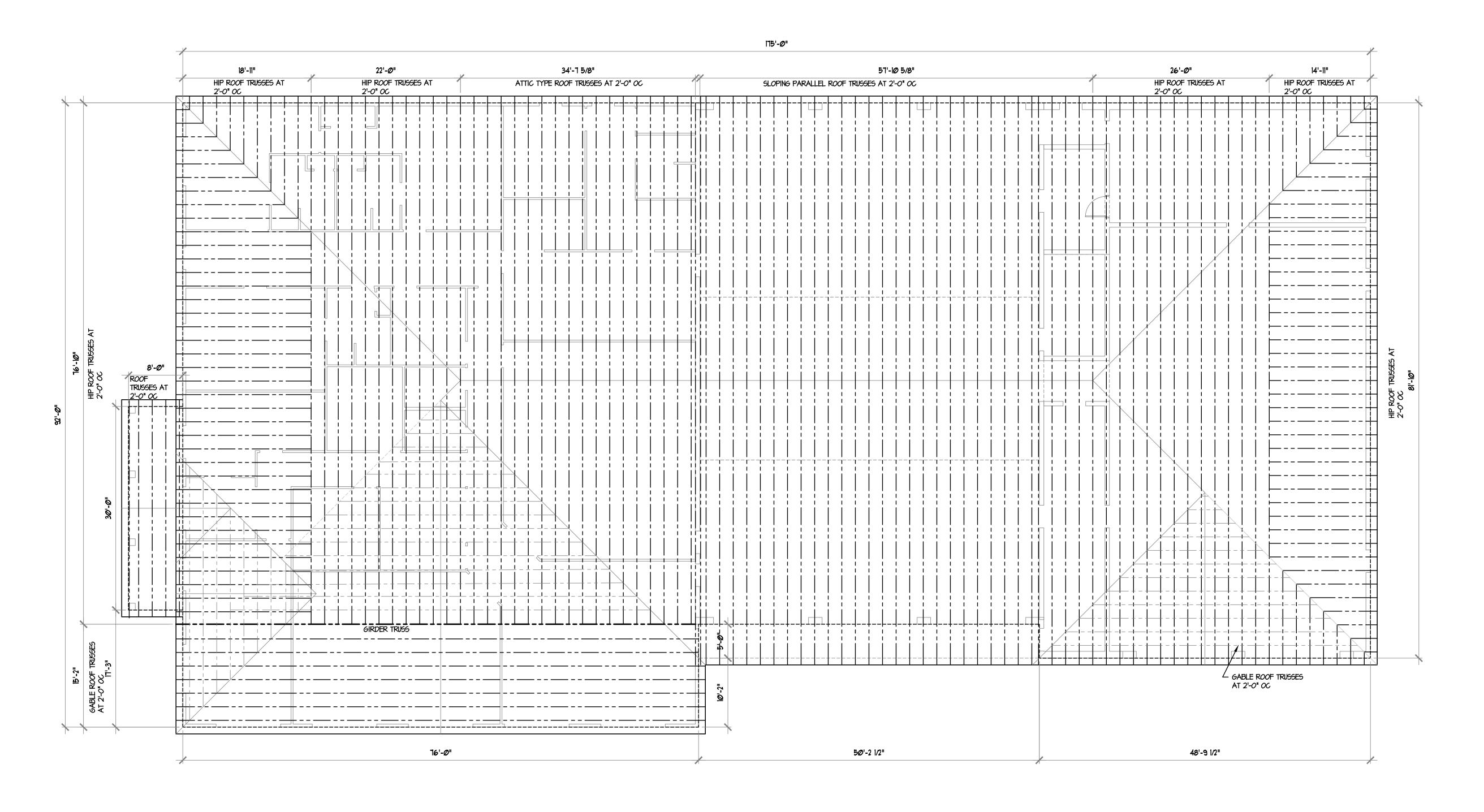
25- FOR CONSTENDED IN DETAILS
AND NOTES

DESIGNED WFH
DRAWN WFH
CHECKED WFH
PROJ. NO.OPFD1
SCALE AS NOT

AN PINES VOLUNTEE
DEPARTMENT

OCE, FIRE

CHECKED WFH
PROJ. NO.OPFD125
SCALE AS NOTED
SHEET NUMBER





PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2026.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF OCEAN PINES FIRE DEPARTMENT. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

STRUCT DETAILS AND NO

 $\overline{\mathbb{Z}}$

TURAL

0

DESIGNED WFH DRAWN WFH CHECKED WFH PROJ. NO.OPFD125 SCALE AS NOTED SHEET NUMBER

SOUTH GATE FIREHOUSE FOR:

AN PINES VOLUNTEER

DEPARTMENT