

WORCESTER COUNTY PLANNING COMMISSION AGENDA

Thursday, September 4, 2025

Worcester County Government Center

One West Market St., Room 1102

Snow Hill, Maryland 21863

The public is invited to view this meeting live: <https://worcestercountymd.swagit.com/live>

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order (1:00 p.m.)

II. Administrative Matters

- A. Planning Commission Meeting Minutes – August 7, 2025
- B. Board of Zoning Appeals Agenda – September 11, 2025
- C. Technical Review Committee Agenda – September 10, 2025

III. Site Plan Review

- A. Pocomoke Storage, LLC – Major Site Plan Review and Landscaping Irrigation Waiver Request

IV. Miscellaneous

- A. Approved Private Roads Request – The Elms Minor RPC

V. Adjournment

**WORCESTER COUNTY PLANNING COMMISSION
MEETING MINUTES – August 7, 2025**

Meeting Date: August 7, 2025

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission

Jerry Barbierri, Chair

Phyllis Wimbrow

Betty Smith

Marlene Ott

Kathy Drew

Mary Knight

Ken Church

Staff

Jennifer Keener, Director, DRP

Kristen Tremblay, Zoning Administrator, DRP

Ben Zito, DRP Specialist, DRP

Robert Mitchell, Director, Environmental Programs

I. Call to Order

II. Administrative Matters

A. Review and approval of minutes, July 3, 2025.

As the first item of business, the Planning Commission reviewed the minutes of the July 3, 2025, meeting.

Following the review, a motion was made by Ms. Drew to approve the minutes as written with an amendment, Ms. Knight seconded the motion, and the motion carried unanimously.

B. Review and Approval of minutes, July 10, 2025.

As the first item of business, the Planning Commission reviewed the minutes of the July 10, 2025, meeting.

Following the review, a motion was made by Mrs. Knight to approve the minutes as written, Ms. Drew seconded the motion, and the motion carried unanimously.

C. Board of Appeals Agenda, August 14, 2025.

As the next item of business, the Planning Commission reviewed the agenda for the Board of Zoning Appeals meeting scheduled for August 14, 2025. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission.

Following the review, the following comments were provided to the Board:

- Case No. 25-43: Mr. Barbierri believed the 45' variance was excessive.
- Case No. 25-46: Ms. Drew believed the 132' variance was excessive.

D. Technical Review Committee Agenda, August 13, 2025.

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As the next item of business, the Planning Commission reviewed the agenda for the Technical Review Committee meeting scheduled for August 14, 2025. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission.

No comments were forwarded to the Committee.

III. Site Plan Review

A. Crepe Myrtle Court – RPC Step II Master Plan Approval

As the next item of business, the Planning Commission reviewed a Step II Master Plan for the Crepe Myrtle Court RPC.

Hugh Cropper, IV, Kathy Clark, and Keith Iott approached the table. Mr. Cropper provided an overview of the project and its history. Mr. Iott provided an overview of the site plan, parking layout, and entrance from Old Bridge Road. Mr. Cropper clarified that the proposed 4' wide do not meet the 5' standard that is required in the Design Guidelines, and this would need a waiver from the Planning Commission.

Following a review, a motion was made by Ms. Knight to grant the waiver from the Design Guidelines to allow for 4' sidewalks. Ms. Ott seconded the motion, and the motion carried unanimously.

Following a review, a motion was made by Ms. Knight to approve the Step II Master Plan as submitted. Ms. Smith seconded the motion, and the motion carried unanimously.

B. WO27 Solar – Major Site Plan Review and Landscaping Irrigation Waiver Request

As the next item of business, the Planning Commission reviewed a site plan and landscaping irrigation waiver request for WO27 Solar.

Nick Leffner of Kimley-Horn and Franny Yuhas of Turning Point Energy approached the table. Ms. Yuhas presented an overview of the project and the need for a landscaping irrigation waiver, and Mr. Leffner provided an overview of the site plan and future construction phasing.

Following a review, a motion was made by Ms. Knight to grant the landscaping waiver. Ms. Ott seconded the motion, and the motion carried unanimously.

Following a review, a motion was made by Ms. Wimbrow to approved the site plan as submitted. Ms. Ott seconded the motion, and the motion carried unanimously.

C. WO60 Solar – Major Site Plan Review and Landscaping Irrigation Waiver Request

As the next item of business, the Planning Commission reviewed a site plan and landscaping irrigation waiver request for WO60 Solar.

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Nick Leffner of Kimley-Horn and Franny Yuhas of Turning Point Energy remained at the table. Ms. Yuhas presented an overview of the project and the need for a landscaping irrigation waiver, and Mr. Leffner provided an overview of the site plan.

Following a review, a motion was made by Ms. Wimbrow to grant the landscaping waiver. Ms. Smith seconded the motion, and the motion carried unanimously.

Following a review, a motion was made by Ms. Ott to approved the site plan as submitted. Ms. Wimbrow seconded the motion, and the motion carried unanimously.

IV. Rezoning

A. Rezoning Case No. 451 - Request to rezone approximately 150 acres out of a 232.12-acre parcel from E-1 Estate District to A-1 Agricultural District, Tax Map 65, Parcel 48, Tax District 2, Richard and Elizabeth Smithson, property owners; Hugh Cropper, IV, attorney for the applicant.

Applicants: Hugh Cropper, IV, attorney; Doug Smithson, property owner; and Chris McCabe, environmental consultant.

Mr. Cropper provided an overview of the property, which is a working farm consisting of 231 acres. They are seeking a rezoning of the approximately 150 acres that is zoned E-1 Estate District. The remaining lands would remain in the RP Resource Protection District. Submitted as Applicant's Exhibit No. 1 was a copy of the E-1 District regulations from the Zoning Code. Submitted as Applicant's Exhibit No. 2 was a Google Earth aerial photograph taken from the south. Mr. Cropper identified the property as the farm below Scarboro Creek. Mr. Cropper's argument for the rezoning is based on a mistake, albeit a good faith mistake, and that the property should have been zoned A-1 Agricultural District during the comprehensive rezoning process in 2009. At the time that the new maps went into effect on November 3, 2009, the property had already been subjected to a conservation easement, dated June 22, 2009. Page 1 of the recorded Deed of Conservation Easement was submitted as Applicant's Exhibit No. 3. Mr. Cropper stated that the easement precludes any subdivision activity for the property. Therefore, he said that it was a good faith mistake made during the time of the comprehensive rezoning process.

Mr. Chris McCabe testified that he was employed as the Natural Resources Administrator for Worcester County in 2009, and he is familiar with the terms of the easement. He concurred that the property was in an easement as of June 22, 2009, and subdivision activity is precluded. He said that Worcester County did not adopt the septic tier maps, therefore the petitioned area would not be eligible for a major subdivision (which is allowed in the E-1 District) on private septic. Mr. McCabe concurred that as the former Natural Resources Administrator, and now environmental consultant, it was and is a mistake for the property to be zoned E-1 District. The

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land is and has historically been used agriculturally, is designated as Agriculture on the Comprehensive Plan's Land Use Map and should be similarly zoned.

Mr. Cropper noted that his argument was based on a mistake, and therefore they have not defined the neighborhood. The zoning would be more conforming with its current use. The property has great soils and was originally approved for on-site septic systems as part of the former subdivision application. He stated that the A-1 Agricultural District allows many more agricultural uses than the E-1 Estate District.

Mrs. Drew asked what the goal was for the overall property. Mr. Smithson purchased the farm five years ago. They treat it as a family compound as they live full-time in Cape May, New Jersey. Mr. Cropper noted that Mr. Smithson purchased Grandview Farms, which is the property on the southerly side of Public Landing Road in late 2024. It is similarly zoned E-1 Estate District, with 100 tillable acres. The long-term plan is to rezone Grandview Farms based on a change in the character of the neighborhood, using this rezoning case as the justification for the change. Mrs. Wimbrow mentioned waiting until the next comprehensive rezoning, but that will be several years in the future. She also noted that it wouldn't be feasible to argue mistake on the Grandview Farms parcel, because the lots were platted and the roads installed at the time of the comprehensive rezoning in 2009 before its own conservation easement was recorded.

Circling back to the specific petitioned area, Mr. Cropper stated that they were not intending to buy out the easement. He then went through the findings of fact that the Planning Commission must make as outlined in his application.

The Planning Commission reviewed and commented upon each of the findings. **Following the discussion, a motion was made by Mr. Church, seconded by Mrs. Knight, and carried unanimously, to find the proposed amendment to rezone the petitioned area from E-1 Estate District to A-1 Agricultural District consistent with the Comprehensive Plan based on a mistake, and forward a favorable recommendation to the Worcester County Commissioners.**

V. Text Amendment
A. Solar Energy Systems

Mrs. Keener presented a proposed text amendment that was prepared at the request of the Worcester County Commissioners. While the request from the County Commissioners was specific to decommissioning, many of the definitions and review procedures are outdated and need to be amended. Broadly, the bill proposed to do the following:

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- Align the definitions.
- District regulations have been updated to reflect the new definition/title.
- Modifying the lot requirements for major and utility systems to be consistent with state law.
- Modifying the utility review process to be consistent with current practices and state law.
- Create local decommissioning and restoration plan requirements and local bonding.
- Adding a nuisance provision to the Public Health Article for abandoned projects.

In addition, the Planning Commission made the following amendments to the original draft bill:

- Enhanced the landscape buffer provisions for major systems between 200 kW and one MW.
- Require all major systems to provide for decommissioning plans and bonds (200 kW and greater) whether for on-site consumption or sale to the grid.
- Revise the district regulations for major and utility systems that are listed as special exceptions to be permitted uses. Currently, systems over one MW would not be subject to special exception provisions due to state law.

Following the discussion, a motion was made by Mrs. Wimbrow, seconded by Ms. Smith and carried unanimously to provide a favorable recommendation to the bill with amendments.

VI. Adjourn

On a motion made by Ms. Ott and seconded by Ms. Smith, the Planning Commission adjourned.

Mary Knight, Secretary

Ben Zito, DRP Specialist

**NOTICE OF PUBLIC HEARING
WORCESTER COUNTY
BOARD OF ZONING APPEALS
AGENDA**

THURSDAY SEPTEMBER 11, 2025

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland. Audio and video recording will take place during this public hearing.

The public is invited to view this meeting live online at - <https://worcestercountymd.swagit.com/live>

6:30 p.m.

Case No. 25-51, on the lands of Christina and Jeffrey Lank, on the application of Kristina Watkowski, requesting an after-the-fact variance to the side yard setback from 20 feet to 18.5 feet (to encroach 1.5 feet) for a detached garage and an after-the-fact variance to the side yard setback from 20 feet to 7.7 feet (to encroach 12.3 feet) for a shed in the A-1 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-201(b)(5) and ZS 1-305, located at 7109 Ayres Lane Road, Tax Map 72, Parcel 101, Tax District 2, Worcester County, Maryland.

6:35 p.m.

Case No. 25-50, on the lands of Build Pines, LLC, on the application of Hugh Cropper, IV, requesting a special exception to allow contractor shops in the A-2 Agricultural District, pursuant to Zoning Code Sections §§ ZS 1-116(c)(3), ZS 1-116(c)(4) and ZS 1-202(c)(13), located at 10529 Flower Street, Tax Map 25, Parcel 275, Tax District 3, Worcester County, Maryland.

6:40 p.m.

Case No. 25-39, on the lands of Donald D'Aquila, on the application of Hugh Cropper IV, requesting two (2) variances to reduce the Atlantic Coastal Bays Critical Area Buffer (1) from 100 feet to 51.76 feet (to encroach 48.24 feet) for a proposed dwelling; and (2) from 100 feet to 12.83 feet (to encroach 87.17 feet) for a proposed driveway in the A-2 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(m), ZS 1-202(b)(5) and ZS 1-305 and Natural Resources Code §§ 3-104(d)(4) and NR 3-111, located at 8718 Grey Fox Lane, Tax Map 33, Parcel 206, Tax District 3, Worcester County, Maryland.

6:45 p.m.

Case No. 24-71, on the application of Maryland Coastal Bays Program, on the lands of the State of Maryland, Ruark Family LP, and Assateague Island National Seashore, requesting a modification to extend four (4) waterfront structures in excess of 125 feet by 18 feet, 25 feet, 29 feet and 150 feet for construction of a proposed living shoreline project extending to a maximum of 275 feet channelward, pursuant to Natural Resources Code §§ NR 2-102(e)(1) and Zoning Code §§ ZS 1-116(n)(3), located at 7000 Rum Pointe Road, Tax Map 42, Parcels 8, 36, and 40, Tax District 10, Worcester County, Maryland.

Administrative Matters

IMPORTANT NOTICE

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

**Wednesday, September 10, 2025 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

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I. Call to Order

II. Site Plan Review (§ ZS 1-325)

A. Ocean Pines Volunteer Fire Department South Station– Major Site Plan Review

Proposed site development for the Ocean Pines Volunteer Fire Department. Development includes proposed firehouse, indoor bays, and parking. Located at 911 Ocean Parkway, Berlin, MD 21811. Tax Map 16, Parcel 18, Tax District 3, C-2 General Commercial District, Ocean Pines Volunteer Fire Department & Ocean Pines Association, Inc, owner / Vista Design, Inc., surveyor/engineer.

III. Adjourn

WORCESTER COUNTY PLANNING COMMISSION

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MEETING DATE: September 4, 2025

PURPOSE: Major Site Plan Review

DEVELOPMENT: Pocomoke Storage, LLC

PROJECT: Development of a parking lot for RV and boat storage – 70 spaces.

LOCATION: Located at 1757 Worcester Highway, Pocomoke City, MD 21851. Tax Map 84, Parcel 59, Tax District 1.

ZONING DESIGNATION: C-2 General Commercial District.

BACKGROUND: The property is located on the corner of Groton Road and Worcester Highway (US Route 113) with an existing home on the parcel.

The project proposes to construct a gravel parking lot that will be used to store RVs and boats for patrons.

TRAFFIC CIRCULATION: The site will be accessed from Groton Road via a 30' wide gravel access drive.

§ZS 1-320(f)(1) requires all parking areas and vehicular travelways to be constructed of materials that provide a hard and durable surface that precludes or limits particulate air pollution.

A waiver to this code requirement is being requested.

LANDSCAPING: A landscape plan has been prepared in accordance with §ZS 1-322. A landscaped buffer has been proposed along the entire perimeter of the project area, including on Groton Road and Worcester Highway. The project will also retain existing Forest Conservation area abutting the westerly parcels.

An automatic drip irrigation system has proposed for landscaping as required by §ZS 1-322(b)(7).

FENCING: A six (6) foot-tall aluminum picket fence is proposed along the perimeter of the driveway and parking lot. A six (6) foot-tall aluminum automated gate will also be installed for security.

FOREST CONSERVATION LAW: An acceptable Forest Conservation Plan has been provided for the project.

STORMWATER MANAGEMENT/ SEDIMENT EROSION CONTROL: The project has received Stormwater Development Plan approval.

PROPERTY OWNER: Pocomoke Storage, LLC

APPLICANT/DEVELOPER: Pocomoke Storage, LLC

ENGINEER: Wilkins-Noble, LLC

PREPARED BY: Ben Zito, DRP Specialist

WAIVERS REQUESTED

According to §ZS 1-320(f)(1), all parking areas and vehicular travelways shall be constructed of materials that provide a hard and durable surface that precludes or limits particulate air pollution.

A waiver to this code requirement is being requested.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

August 28, 2025

Re: Pocomoke Storage, LLC, Tax Map 84, Parcel 59.

To Whom it May Concern:

This is to advise you that the Department has completed a review of the site plan dated August 12, 2025 associated with the above referenced project. The plan has been reviewed in accordance with the pertinent sections of the Worcester County *Zoning and Subdivision Control Article*. The following code requirements have yet to be addressed:

GENERAL:

1. Sheet #1: Under general notes #11, guarantee is spelled incorrectly. Please correct.
2. Sheet #2: Under general notes #9, guarantee is spelled incorrectly. Please correct.
3. Sheet #2: Please demarcate which structures will be removed.
4. Sheet #5: Under general notes #11, guarantee is spelled incorrectly. Please Correct.
5. Sheet #5: There is a small landscaping gap between the existing dwelling on the parcel and the proposed parking lot (the area located directly south of the existing dwelling). Please add additional landscaping to ensure the house does not have to view the boat storage.
6. Please add a typical for the proposed 6' tall black aluminum decorative picket fence.
7. Please add a typical for the proposed 6' tall black aluminum automated gate.

A copy of the Staff Report associated with this project is attached for your reference. Please do not hesitate to contact me at 410-632-1200 ext. 1134 with any questions or comments you may have concerning this matter.

Sincerely,

Ben Zito

DRP Specialist III

SEQUENCE OF CONSTRUCTION:

- 1) NOTIFY M.D.E. 410-901-4020 AND WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220, AND WORCESTER SOIL CONSERVATION DISTRICT 410-632-5439 EXT. 125 TO REQUEST A PRECONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER."
- 2) INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PLANS.
- 3) INSTALL EXTENDED DETENTION POND OUTFALL STRUCTURE AND MODIFY THE OUTFALL STRUCTURE AS SHOWN ON DETAIL SHEET 3 WITH DRAWDOWN DEVICE.
- 4) EXCAVATE STORMWATER PONDS (TO BE USED AS SEDIMENT BASIN- NOTE: THE EXTENDED DETENTION PORTION OF THE POND IS TO BE EXCAVATED TO ELEVATION 8.4'). EXCAVATE THE SUBMERGED GRAVEL WETLAND TO ELEVATION 9.0') AND WETSWALES AND CHECK DAMS. STABILIZE THE EMBANKMENT AND INTERIOR SLOPES WITH SEED AND MULCH.
- 5) REMOVE EXISTING STRUCTURES WITHIN THE LIMITS OF DISTURBANCE
- 6) PLACE SELECT FILL AS REQUIRED.
- 7) STABILIZE DRIVEWAY AREAS
- 8) FINE GRADE DRIVEWAY AREAS.
- 9) PLACE TOP SOIL IN LAWN AREAS AS NECESSARY.
- 10) GRADE AND SEED.
- 11) EXCAVATE AND CONSTRUCT SUBMERGED GRAVEL WETLANDS WITH UNDERDRAINS, MONITORING WELLS, CLEANOUTS, AND OUTFALL.
- 12) PLANT SUBMERGED GRAVEL WETLANDS.
- 13) AFTER THE APPROVAL OF INSPECTION AUTHORITY, REMOVE ANY REMAINING SEDIMENT AND EROSION CONTROL DEVICES, GRADE, AND SEED UPON REMOVAL. ON OUTFALL STRUCTURE, REMOVE DRAWDOWN DEVICE AND INSTALL 90° DOWN ELBOW.

SHEET INDEX

- SHEET 1 - SITE/GRADING/STORMWATER AND SEDIMENT EROSION CONTROL PLAN
SHEET 2 - EXISTING CONDITIONS
SHEET 3 - SEDIMENT EROSION CONTROL DETAILS
SHEET 4 - STORMWATER DETAILS
SHEET 5 - LANDSCAPE SCREENING BUFFER AND LIGHTING PLAN

GENERAL NOTES

1. WORCESTER COUNTY TAX MAP NO.84, GRID B, P. 59
1575 WORCESTER HWY, POCOMOKE CITY, MD 21851
ACCT: 01-006320
2. ZONED: C-2
3. DEED REF: 8754/407
4. PLAT REF: 190/67
5. 151 TAX DISTRICT
6. BASED ON PROTRACTION OF THE F.E.M.A.
FLOOD INSURANCE RATE MAP COMMUNITY:
PANEL NUMBER 24047C03394, DATED JULY 16, 2015.
THE AREA WITHIN THE L.O.D. IS LOCATED IN FLOOD ZONE "X" AND "A"
7. THIS PROPERTY IS NOT WITHIN THE CRITICAL AREA
8. LIMITS OF DISTURBANCE = 3.10 ACRES
9. WETLANDS HAVE NOT BEEN DELINEATED. WETLANDS SHOWN ARE PROTRACTED FROM NWI MAP. WETLANDS WERE NOT OBSERVED WITHIN THE LIMITS OF DISTURBANCE, HOWEVER A DELINEATION BY A LICENSED WETLAND DELINEATOR IS RECOMMENDED.
10. IMPERVIOUS AREA CREATED PER THIS SITE PLAN = 1.84 ACRES
11. NO TITLE SEARCH WAS PROVIDED. THIS SITE PLAN DOES NOT GUARANTEE THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS, RIGHT OF WAYS OR OTHER ENCUMBRANCES TO THIS PROPERTY.

LOCATION MAP NOT TO SCALE

13. PROPOSED USE: 70' PROPOSED RV/BOAT STORAGE SPACES

PIPE SCHEDULE

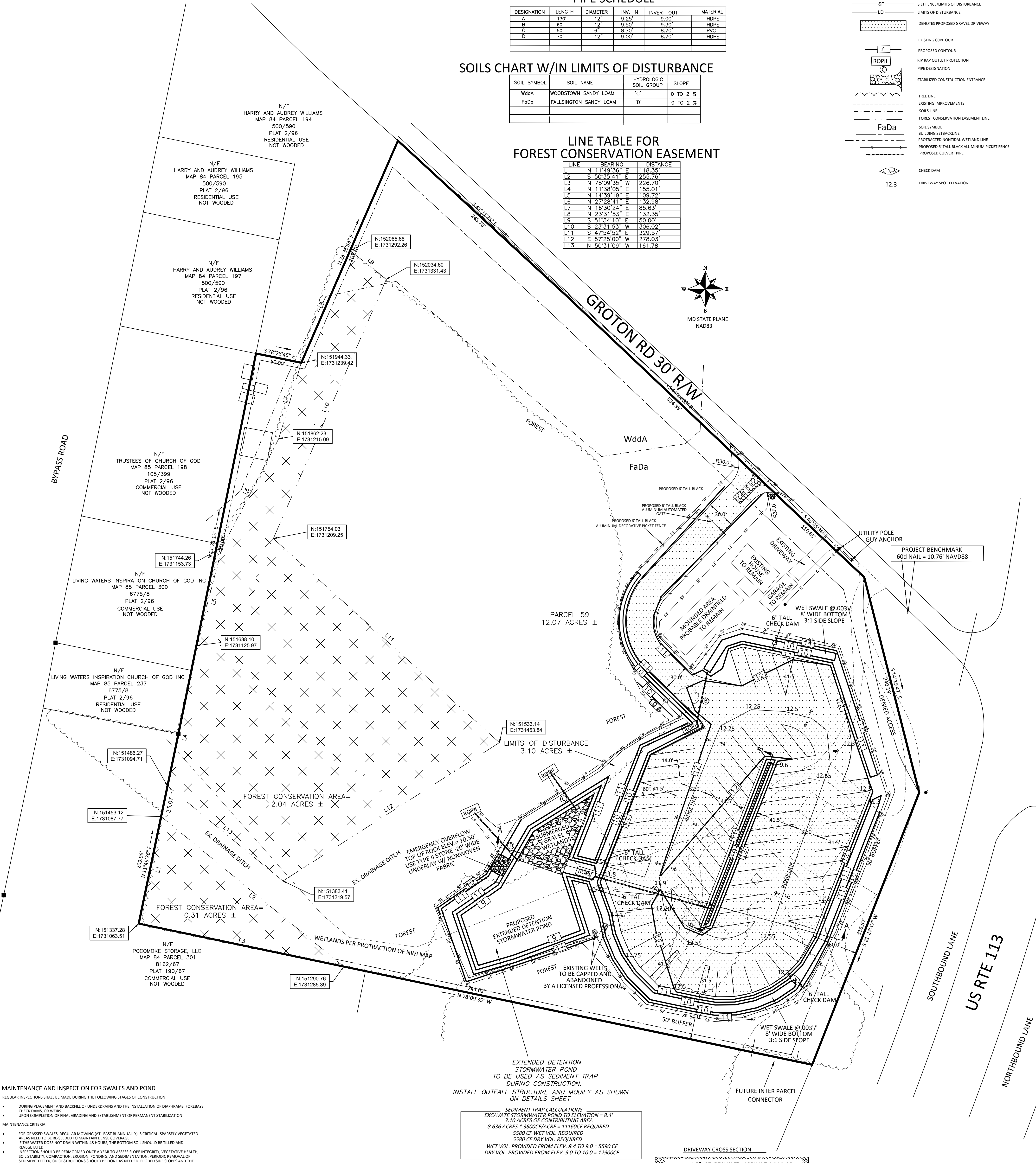
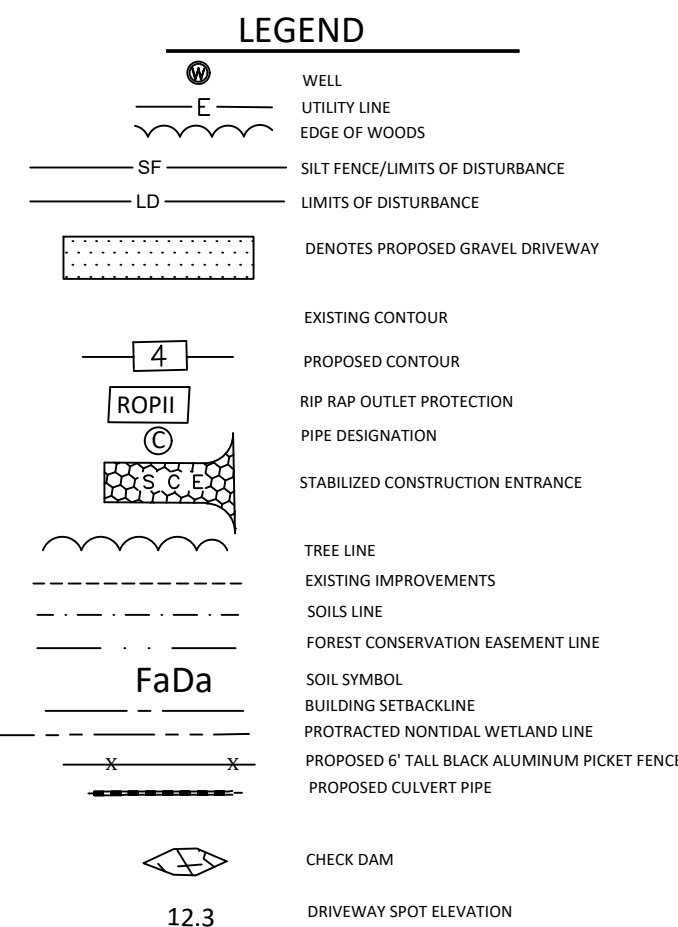
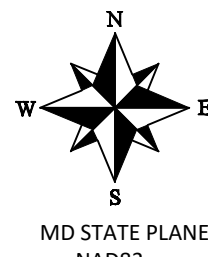
DESIGNATION	LENGTH	DIAMETER	INV. IN	INVERT OUT	MATERIAL
A	130'	12"	9.25'	9.00'	HDPE
B	60'	12"	9.50'	9.30'	HDPE
C	50'	6"	8.70'	8.70'	PVC
D	70'	12"	9.00'	8.70'	HDPE

SOILS CHART W/IN LIMITS OF DISTURBANCE

SOIL SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP	SLOPE
WdGa	WOODSTOWN SANDY LOAM	'C'	0 TO 2 %
FaDa	FALLSINGTON SANDY LOAM	'D'	0 TO 2 %

LINE TABLE FOR FOREST CONSERVATION EASEMENT

LINE	BEARING	DISTANCE
L1	N 11°49'58" E	118.35'
L2	S 50°35'41" E	255.76'
L3	N 78°09'35" W	226.70'
L4	N 11°39'03" E	155.01'
L5	N 14°39'19" E	109.72'
L6	N 27°28'41" E	132.98'
L7	N 16°30'24" E	85.63'
L8	N 2°51'15" E	132.35'
L9	S 51°34'10" E	50.00'
L10	S 23°31'53" W	306.02'
L11	S 47°54'52" E	329.57'
L12	S 57°25'00" W	278.03'
L13	N 50°31'09" W	161.78'



MAINTENANCE AND INSPECTION FOR SWALES AND POND

- REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
- DURING PLACEMENT AND BACKFILL OF UNDERDRAINS AND THE INSTALLATION OF DIAPHRAGMS, FOREBAYS, CHECK DAMS, OR WEIRS.
 - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION

MAINTENANCE CRITERIA:

- FOR GRASSED SWALES, REGULAR MOWING (AT LEAST BI-ANNUALLY) IS CRITICAL. SPARSELY VEGETATED AREAS NEED TO BE RE-SEED TO MAINTAIN DENSE COVERAGE.
- IF THE WATER DOES NOT DRAIN WITHIN 48 HOURS, THE BOTTOM SOIL SHOULD BE TILLED AND REVEGETATED.
- INSPECTION SHOULD BE PERFORMED ONCE A YEAR TO ASSESS SLOPE INTEGRITY, VEGETATIVE HEALTH, SOIL STABILITY, COMPACTION, EROSION, PONDING, AND SEDIMENTATION. PERIODIC REMOVAL OF SEDIMENT LETTER, OR OBSTRUCTIONS SHOULD BE DONE AS NEEDED. BROWED SIDE SLOPES AND THE SWALE BOTTOM SHOULD BE REPAIRED AND STABILIZED WHERE NEEDED.

SEE SHEET 4 FOR MAINTENANCE AND INSPECTION FOR SUBMERGED GRAVEL WETLANDS

1. ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.
2. ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.
3. ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.

UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, EXCEPT INDIVIDUAL FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

THE OWNER/APPLICANT AGREES THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT MARYLAND DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. THE OWNER/APPLICANT SHALL CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE APPROPRIATE ENFORCEMENT AUTHORITY AND/OR MDE.

OWNER/APPLICANT MUST CONTACT THE APPROPRIATE ENFORCEMENT AUTHORITY OR ITS AGENT AT THE FOLLOWING STAGES OF THE PROJECT OR:

- a. PRIOR TO THE START OF EARTH DISTURBANCE.
- b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER DISTURBANCE.
- c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
- d. PRIOR TO THE REMOVAL OF SEDIMENT CONTROL PRACTICES.

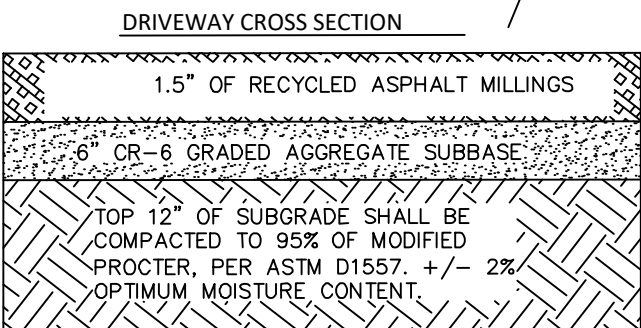
I UNDERSTAND THAT IT IS MY RESPONSIBILITY TO ADHERE TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS. IT HAS BEEN EXPLAINED THAT NONTOTAL WETLANDS COULD EXIST ON THE PROPERTY AND I HAVE CHOSEN TO FOREGO A WETLANDS DELINEATION AT THIS TIME.

APPLICANT SIGNATURE

DATE

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29739, EXP. DATE 07-05-26

TO THE BEST OF MY KNOWLEDGE, THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS. THE 2013 MD STANDARDS AND SPECIFICATIONS FOR SEDIMENT AND EROSION CONTROL SHALL SUPERCEDE THIS PLAN IF ANY DISCREPANCIES



DISCLAIMER:
THIS PROPERTY CONTAINS SOILS WITH HYDRIC PROPERTIES, WHICH MAY INDICATE THE PRESENCE OF NONTOTAL WETLANDS. APPLICANT MUST MEET ALL STATE AND FEDERAL REQUIREMENTS FOR WETLANDS UNDER COMAR 08.05.03. THE FEDERAL REQUIREMENTS FOR WATER POLLUTION CONTROL ACT, SEC. 404 ON THE RIVERS AND HARBORS ACT, SEC. 10.



SITE AND SEDIMENT EROSION CONTROL PLAN
LANDS OF
POCOMOKE STORAGE, LLC
WORCESTER COUNTY, MARYLAND

SCALE	1" = 50'	SURVEYED	NAN	JOB NO.	2212 BYPASS
DATE	12/9/24	DRAWN	NAN	FIELD BOOK	X PAGE X
REVISED	8/12/25	CAD FILE	2212 BYPASS RD	SHEET	1 OF 5

WILKINS-NOBLE LLC
CIVIL ENGINEERING AND LAND SURVEYING

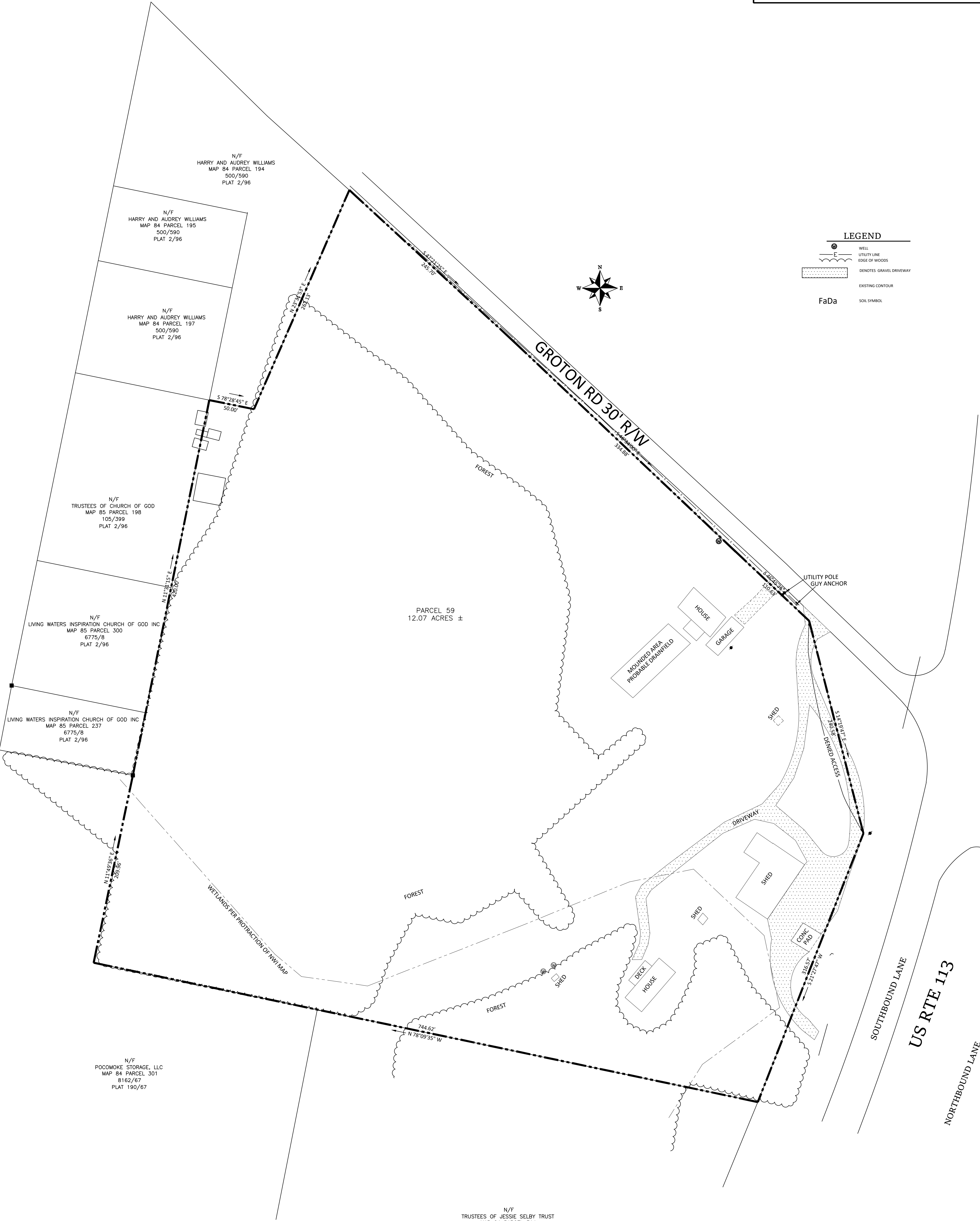
GENERAL NOTES

- WORCESTER COUNTY TAX MAP NO 84, GRID 8, P. 59
1757 WORCESTER HWY, POCOMOKE CITY, MD 21851
- ZONED: C-2
- DEED REF: 8754/407
- PLAT REF: 190/67
- 1ST TAX DISTRICT
- BASED ON PROTRACTION OF THE F.E.M.A.
FLOOD INSURANCE RATE MAP COMMUNITY:
PANEL NUMBER 24047C0333H, DATED JULY 15, 2015,
THE AREA WITHIN THE L.O.D. IS LOCATED IN FLOOD ZONE "X" AND "A"
- THIS PROPERTY IS NOT WITHIN THE CRITICAL AREA
- WETLANDS HAVE NOT BEEN DELINEATED. WETLANDS SHOWN ARE PROTRACTED FROM NWI MAP
- NO TITLE SEARCH WAS PROVIDED. THIS SITE PLAN DOES NOT
GUARENTEE THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS,
RIGHT OF WAYS OR OTHER ENCUMBERANCES TO THIS PROPERTY.
- OWNER INFORMATION
POCOMOKE STORAGE, LLC
501 N. MAIN ST.
CULPEPPER, VA 22701

LOCATION MAP NOT TO SCALE

LEGEND

WELL
UTILITY LINE
EDGE OF WOODS
DENOTES GRAVEL DRIVEWAY
EXISTING CONTOUR
FaDa SOIL SYMBOL



SITE PLAN LANDS OF POCOMOKE STORAGE, LLC			
EXISTING CONDITIONS			
SCALE	1" = 50'	SURVEYED	NAN
DATE	12/9/24	DRAWN	NAN
REVISED	3/27/25	CAD FILE	2212 BYPASS RD SH
		SHEET	2 OF 5
WILKINS-NOBLE LLC			
CIVIL ENGINEERING AND LAND SURVEYING			

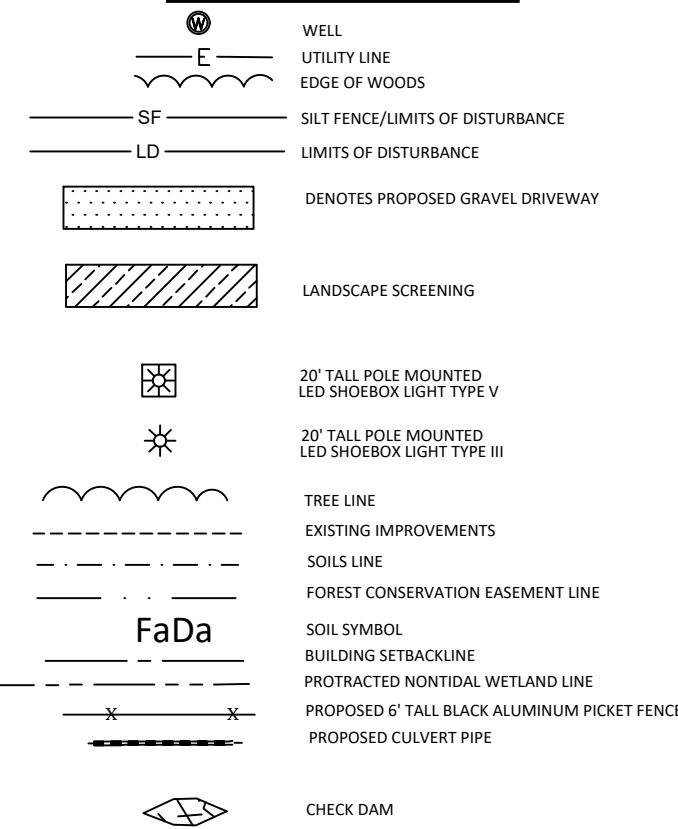
GENERAL NOTES

1. WORCESTER COUNTY TAX MAP NO.84, GRID 8, P. 59
1757 WORCESTER HWY, POCOMOKE CITY, MD 21851
ACCT: 01-006320
2. ZONED: C-2
3. DEED REF: 8754/407
4. PLAT REF: 190/67
5. 1ST TAX DISTRICT
6. BASED ON PROTRACTION OF THE F.E.M.A.
FLOOD INSURANCE RATE MAP COMMUNITY
PANEL NUMBER 24047C0333H, DATED JULY 16, 2015,
THE AREA WITHIN THE L.O.D. IS LOCATED IN FLOOD ZONE "X" AND "A"
7. THIS PROPERTY IS NOT WITHIN THE CRITICAL AREA
8. LIMITS OF DISTURBANCE = 3.10 ACRES
9. WETLANDS HAVE NOT BEEN DELINEATED. WETLANDS SHOWN ARE PROTRACTED FROM NWI MAP.
WETLANDS WERE NOT OBSERVED WITHIN THE LIMITS OF DISTURBANCE, HOWEVER A DELINEATION
BY A LICENSED WETLAND DELINEATOR IS RECOMMENDED.
10. IMPERVIOUS AREA CREATED PER THIS SITE PLAN = 1.84 ACRES
11. NO TITLE SEARCH WAS PROVIDED. THIS SITE PLAN DOES NOT
GUARENTEE THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS,
RIGHT OF WAYS OR OTHER ENCUMBRANCES TO THIS PROPERTY.

13. PROPOSED USE: 70 PROPOSED RV/BOAT STORAGE PLACES
14. ALL LANDSCAPE SCREENING TO HAVE DRIP IRRIGATION

LOCATION MAP NOT TO SCALE

LEGEND

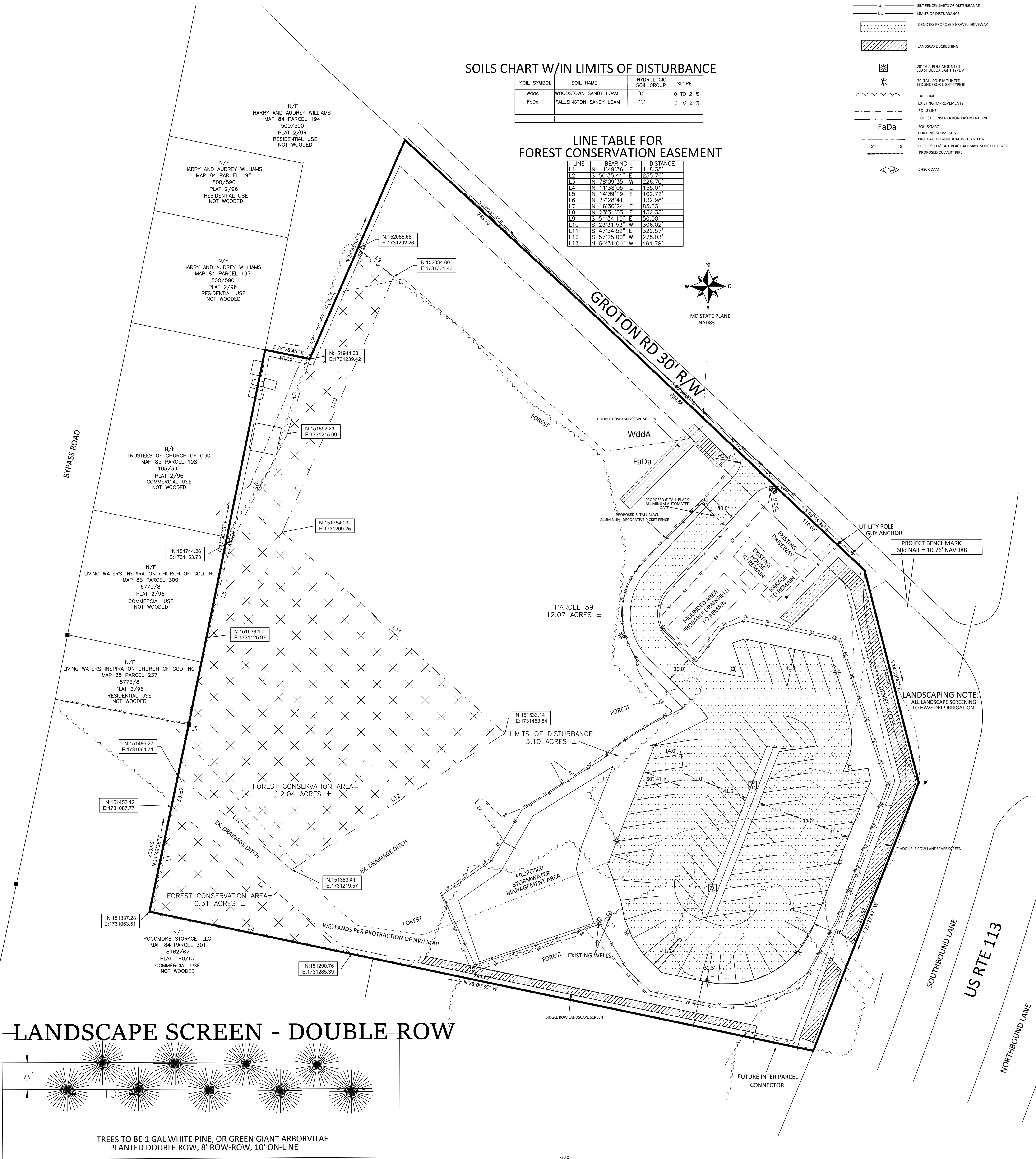
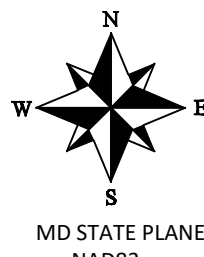


SOILS CHART W/IN LIMITS OF DISTURBANCE

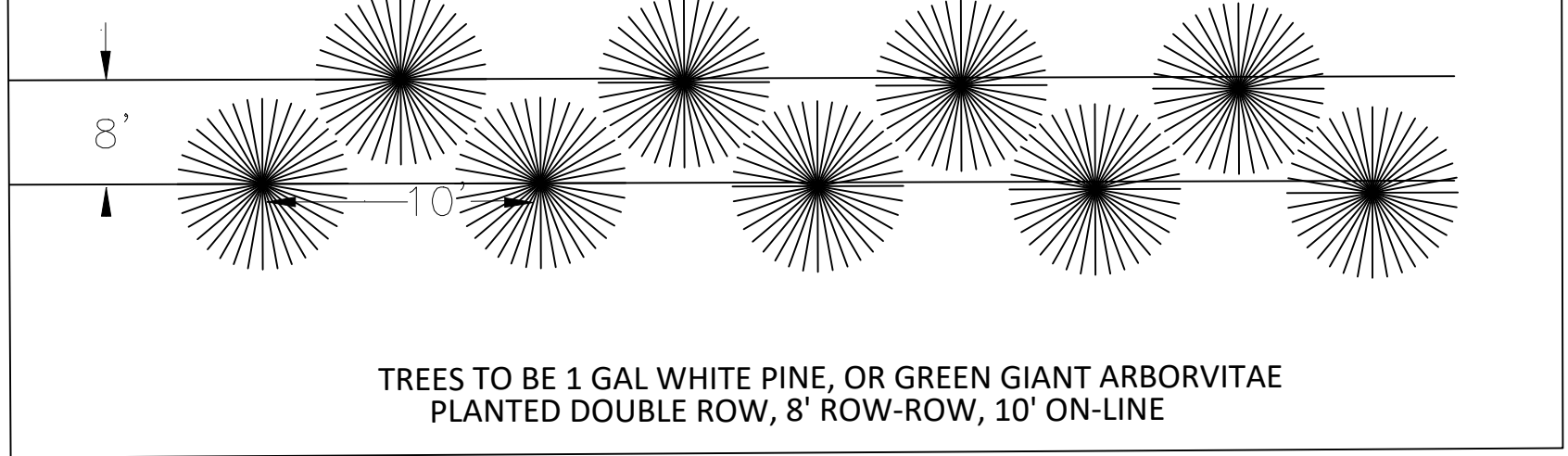
SOIL SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP	SLOPE
Wdda	WOODSTOWN SANDY LOAM	'C'	0 TO 2 %
FaDa	FALLSINGTON SANDY LOAM	'D'	0 TO 2 %

LINE TABLE FOR
FOREST CONSERVATION EASEMENT

LINE	BEARING	DISTANCE
L1	N 11°49'56" E	118.35
L2	S 50°35'41" E	255.76
L3	N 78°09'35" W	226.70
L4	N 11°38'03" E	155.01
L5	N 14°39'19" E	109.72
L6	N 27°28'41" E	132.98
L7	N 16°30'24" E	85.63
L8	N 2°51'15" E	132.35
L9	S 51°34'10" E	50.00
L10	S 23°31'53" W	306.02
L11	S 47°54'52" E	329.57
L12	S 57°25'00" W	278.03
L13	N 50°31'09" W	161.78

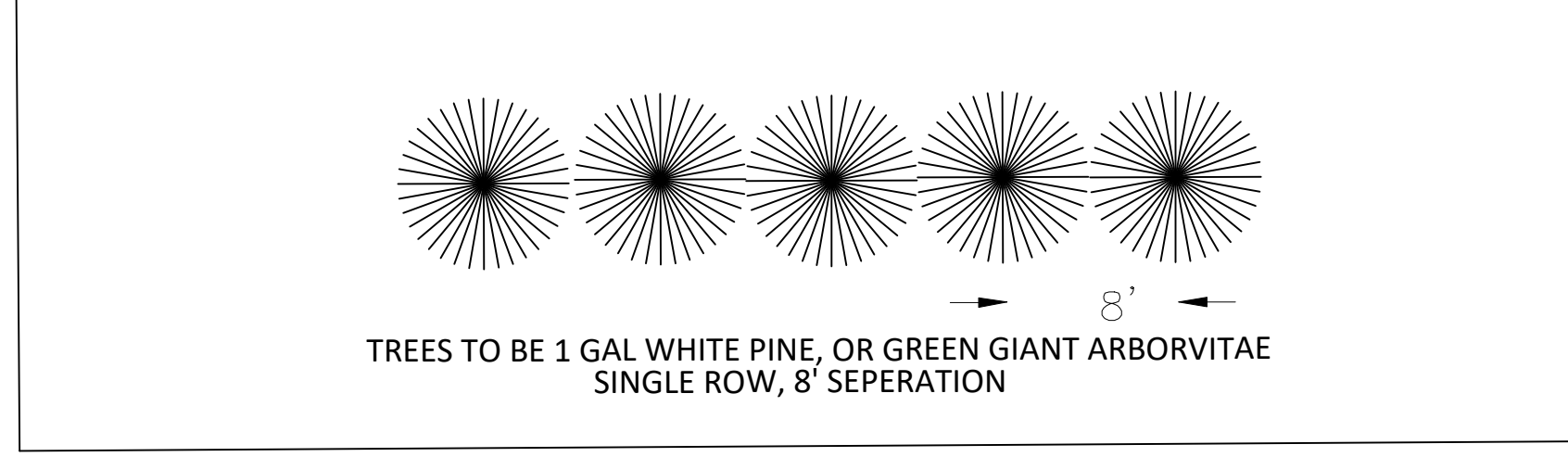


LANDSCAPE SCREEN - DOUBLE ROW



TREES TO BE 1 GAL WHITE PINE, OR GREEN GIANT ARBORVITAE
PLANTED DOUBLE ROW, 8' ROW-ROW, 10' ON-LINE

LANDSCAPE SCREEN - SINGLE ROW



TREES TO BE 1 GAL WHITE PINE, OR GREEN GIANT ARBORVITAE
SINGLE ROW, 8' SEPERATION

DISCLAIMER:
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PRESENCE OF NON-TIDAL WETLANDS. APPLICANT MUST MEET ALL STATE AND FEDERAL
REQUIREMENTS FOR WETLANDS UNDER COMAR 08.05.01. THE FEDERAL REQUIREMENTS
FOR WATER POLLUTION CONTROL ACT, SEC. 404 OR THE RIVERS AND HARBORS ACT, SEC. 10.



LANDSCAPE SCREENING AND LIGHTING PLAN
LANDS OF
POCOMOKE STORAGE, LLC

SCALE	1" = 50'	SURVEYED	NAN	JOB NO.	2212 BYPASS
DATE	12/9/24	DRAWN	NAN	FIELD BOOK	X PAGE X
REVISED	8/12/25	CAD FILE	2212 BYPASS RD 5	SHEET	5 OF 5

WILKINS-NOBLE LLC
CIVIL ENGINEERING AND LAND SURVEYING



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008

<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

TO: Worcester County Planning Commission
FROM: Jennifer K. Keener, AICP, Director
DATE: August 26, 2025
RE: Approved Private Road Request –The Elms RPC, West Ocean City

The Department has received a request from Steve Engel, Vista Design, Inc., on behalf of his client, Ocean 8 Group, LLC, to establish approved private roads within the proposed Elms Residential Planned Community (RPC), Tax Map 26, Parcel 445, Lot 1B, to be identified as Alm Lane, Orme Lane and Aria Lane in West Ocean City Maryland. The project is located on the easterly side of MD Route 611 (Stephen Decatur Highway), immediately south of the Green Turtle restaurant. To develop the project as fee simple lots, the internal driveways must be designated as approved private roads pursuant to § ZS 1-123.

The Planning Commission has previously reviewed this project consisting of twenty townhouse units as a minor RPC under the Step I Concept Plan review on November 2, 2023. The project is currently in the construction plan and final plat stage of review.

The roads are proposed to be built to a proposed road standard which is illustrated on Sheet C 201 of the attached construction plans associated with this subdivision. The right-of-way of all roads is 38', with 24' wide paving surface. Sidewalks are proposed on both sides of the lane, within the right-of-way. Alm Lane, Orme Lane and Aria Lane consist of approximately 430 linear feet, 335 linear feet and 309 linear feet respectively. The developer shall be responsible for all construction and inspection costs, and all future maintenance costs shall be the responsibility of the property owner's association.

This information was provided to the Roads Division, Department of Public Works; Department of Emergency Services; Worcester County Fire Marshal; and the local fire departments. No formal comments were received. Overall, staff supports the proposal as requested.

Before this request is forwarded to the County Commissioners, the Planning Commission must provide a recommendation, either favorable or unfavorable. As always, I will be available to discuss the matter at your upcoming meeting.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008

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ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

TO: Kevin Lynch, County Roads Superintendent, DPW
Matt Owens, Worcester County Fire Marshal/ Director, Dept. of Emergency Services
Jay Jester, Fire Chief, Ocean City Volunteer Fire Department
Andrew Grunden, Fire Chief, Berlin Fire Company

FROM: Jennifer K. Keener, AICP, Director

DATE: August 4, 2025

RE: Approved Private Road Request – The Elms RPC, West Ocean City

The Department has received a request from Steve Engel, Vista Design, Inc., on behalf of his client, Ocean Group 8, LLC, to establish approved private roads within the proposed Elms Residential Planned Community (RPC), Tax Map 26, Parcel 445, Lot 1B, to be identified as Alm Lane, Orme Lane and Aria Lane in West Ocean City, Maryland. The project is located on the easterly side of MD Route 611 (Stephen Decatur Highway), immediately south of the Green Turtle restaurant. To develop the project as fee simple lots, the internal driveways must be designated as approved private roads pursuant to § ZS 1-123.

I am requesting your feedback on the attached road design, which are illustrated on Sheet C 201 of the attached construction plans associated with this subdivision. The right-of-way of all roads is 38', with 24' wide paving surface. Sidewalks are proposed on both sides of the lane, within the right-of-way. Alm Lane, Orme Lane and Aria Lane consist of approximately 430 linear feet, 335 linear feet and 309 linear feet respectively.

The developer shall be responsible for all construction and inspection costs, and all future maintenance costs shall be the responsibility of the property owner's association.

Please provide comments by **Friday, August 22, 2025**, so that this can be reviewed by the Planning Commission at their meeting of Thursday, September 4, 2025. Before this request is forwarded to the County Commissioners, the Planning Commission must provide a recommendation, either favorable or unfavorable. Your feedback is helpful in their decision-making process.

If you have any questions or comments, please do not hesitate to reach me at (410) 632-1200, ext. 1123 or via email at jkkeener@worcestermd.gov.

Subtitle ZS1:I. General Provisions

§ ZS 1-123. Approved private roads.

- (a) Application. Proposals for approved private roads shall be made by petition to the County Commissioners. The petition must be signed by all record owners of all lands to be served by the proposed road. In the event that the proposal is in conjunction with a map amendment or residential planned community application, the petition may accompany the map amendment application, residential planned community application or application for public easement road designation. Every petition shall be in a form prescribed by the County Commissioners and shall be accompanied by a plat, drawn to scale, showing property lines, the existing and proposed district boundaries, the general location of the proposed private road, the construction and maintenance standards of the proposed private road and such other information as the County Commissioners may deem appropriate in order to properly review the petition. The petition shall include information as to the proposed method of payment for maintenance of the road and assurances to the County Commissioners that such road shall be properly maintained so long as necessary.
- (b) Planning Commission review. The County Commissioners shall refer the petition to the Planning Commission for its review and report. The Planning Commission shall review the petition at a regularly scheduled meeting and shall provide the applicant with an opportunity to be heard.
- (c) Planning Commission report. After receipt of the Planning Commission's report, the County Commissioners shall schedule a meeting with the applicant, at which time the applicant shall have the opportunity to provide additional information or to answer questions with regard to the proposal. The County Commissioners may but shall not be required to hold a public hearing with respect to the application in such cases where the County Commissioners determine that the approval of the private road shall have an impact on the public generally.
- (d) Criteria. The County Commissioners shall, in making a determination as to whether or not to approve the private road, consider the following:
 - (1) Its relationship to existing and planned public roads of the County.
 - (2) The nature of the area to be served by the road.
 - (3) The desirability or necessity of public access to the areas to be served by the road.
 - (4) Whether or not the construction and maintenance of the road is financially feasible.
 - (5) Proposed construction and maintenance standards.
 - (6) The proposed maintenance plan.
- (e) Determination. The County Commissioners shall, by resolution, approve or disapprove the proposed private road. In the event that the road is approved, the resolution shall be recorded among the land records of Worcester County, Maryland, and be indexed at the expense of the applicant under the name of all property owners served by the road.
- (f) Plats and covenants. Any plats showing an approved private road shall contain an appropriate notation indicating that the road is an approved private road and the date or recording reference of the resolution. The County Commissioners may, as a condition to approval, require a recorded deed covenant running with the land, in such form as may be satisfactory to the County Commissioners, indicating and acknowledging the existence of the approved private road and establishing a procedure for collection of fees for maintenance thereof.
- (g) Construction and maintenance standards. The County Commissioners may, by resolution, establish or adopt construction and maintenance standards for approved private roads.

August 1, 2025

Mrs. Jennifer Keener, AICP
Director
Dept. of Development, Review and Permitting
One West Market Street, Room 1201
Snow Hill, MD 21863

Ref: The Elms, Request for approval for Private Roads

At the request of Ocean 8, LLC we hereby submit this letter and attached construction documents to request County Commissioners approval for the non-standard private roads within "The Elms" Residential Planned Community (RPC) located along Maryland Route 611 in West Ocean City.

All roads within the RPC have been designed with 12' travel lanes (24' wide total wearing surface), 24' wide roll curb and gutter with 5' wide sidewalks. The travel lanes designed exceed the 10.5' wide travel lane set forth within the private road standards of Worcester County. There is a single state highway entrance from Maryland Route 611 with a second connection off the commercial entrance to the Green Turtle Restaurant to the north.

All private roads within the community will be maintained by the homeowner's association, and as stipulated as part of the site plan approval, there shall be "no parking" along the private lanes.

The private lanes are described as follows and as shown within the attached construction documents.

Alm Lane - +/- 430 lineal ft.
Orme Lane - +/- 335 lineal ft.
Aria Lane - +/- 309 lineal ft.

As discussed, construction is scheduled to begin mid-September and therefore respectfully ask this request to be processed as quickly as possible.

As always, should you have any questions regarding this matter please do not hesitate to contact our office accordingly.

Sincerely,

Steve Engel, RLA
Vista Design Inc.

SITE DATA

SITE INFORMATION

Tax Map	0026
Parcels	Zoning
0445 Lot 1B	R-4 General Residential District
0445 Lot 2A	R-4 General Residential District
0432 Lot E1	R-4 General Residential District

Parcel 0445 Lot 1B was Rezonned to, R-4 General Residential District, per Zoning Reclassification Resolution No. 23-15 on June 20, 2023.

Existing Land Use	Vacant Lands
Proposed Land Use	Townhouse Units
Site Area	Minor Residential Planned Community (RPC)

Parcel 0445, Lot 1B	±3.29 Ac
Parcel 0445, Lot 2A	±2.50 Ac
Parcel 0432, Lot E1	±0.63 Ac
Total	±6.42 Ac

Limits of Disturbance ±247,663 Sf / 5.68 Ac

Max Allowable Density	51 Units (8 Units per Acre)
Proposed Density	20 Units (3.11 Units per Acre)
Max Bldg. Height	4 Stories or 45'

Interior Units	Min 18'
End Units	Min 24'
Min. Lot Size	2,000 Sf

Site Setbacks	50' (Along MD Route 611)
Front	15' (Along Fishermans Drive)
Side	8' (Each)
Rear	15'

Unit Setbacks	20'
Front	5'
Sides	10'
Rear	10'

The subject property is located in the Sinepuxent Bay Watershed, Watershed No. 02130104

OPEN SPACE

Required	Common Open Space	None Required
Provided	Common Open Space	±2.89 Ac
	Active Open Space	±0.20 Ac

WATER & SEWER PROVIDER

Mystic Harbour Sanitary Service Area
Required
• One (1) EDU / Unit = 20 EDUs
Existing
• Twenty (20) EDUs of water and sewer allocated from the Mystic Harbour Sanitary Service Area

NON-TIDAL WETLANDS

This property is located in the Atlantic Coastal Bays Critical Area (ACBCA) program boundary designated Intensely Development Area (IDA) and is non-waterfront. Any and all proposed activities must meet the requirements of Title 3 (Land and Water Resources), Subtitle 1 (Atlantic Coastal Bays Critical Area) of the Worcester County Code of Public Laws, as from time to time amended, in effect at the time of the proposed development activities.

FLOOD ZONE

This property is Located Within Flood Zone X Per FEMA Map # 24047C080H, Dated July 16, 2015

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property is located in the Atlantic Coastal Bays Critical Area (ACBCA) program boundary designated Intensely Development Area (IDA) and is non-waterfront. Any and all proposed activities must meet the requirements of Title 3 (Land and Water Resources), Subtitle 1 (Atlantic Coastal Bays Critical Area) of the Worcester County Code of Public Laws, as from time to time amended, in effect at the time of the proposed development activities.

PROPOSED LAND USE

SITE AREA	Area within the Critical Area (IDA)	±6.42 Ac
Limits of Disturbance		±5.68 Ac

EXISTING LAND USE	Existing Impervious (Asphalt/Gravel)	±0.26 Ac
	Vegetation	±0.57 Ac
	Grass / Open Space	±5.59 Ac
TOTAL EXISTING		±6.42 Ac

PROPOSED LAND USE	Townhomes, Driveways & Decks	±0.74 Ac
	Asphalt Drives, Curb & Sidewalks	±0.86 Ac
	Grass / Open Space	±4.75 Ac
	Existing Impervious (Green Turtle)	±0.07 Ac
TOTAL PROPOSED		±6.42 Ac
TOTAL PROPOSED IMPERVIOUS		±1.67 Ac

OFF STREET PARKING REQUIREMENTS

REQUIRED		
Townhomes	2 per Unit (min)	2.5 per Unit (max)
20 Units	40 Spaces (min)	50 Spaces (max)

PROPOSED	(2) Driveway Spaces per Unit	40 Spaces
TOTAL		40 Spaces

FOREST CONSERVATION STATEMENT

This site is subject to the Worcester County Forest Conservation Law. This site is subject to Forest Conservation Plan No. 24-09. This site has been subject to a regulated activity under the Worcester County Forest Conservation Law. Any future approval of this site for a regulated activity shall be subject to the County Forest Conservation Law. A Forest Conservation Easement Plan has been approved and is on file with the Department of Environmental Programs. A Short Term Management Plan and Perpetual Protective Agreement, Deed of Forest Conservation Easement, Worcester County, Maryland, will be recorded simultaneously with this plan in the Land Records of Worcester County, Maryland.

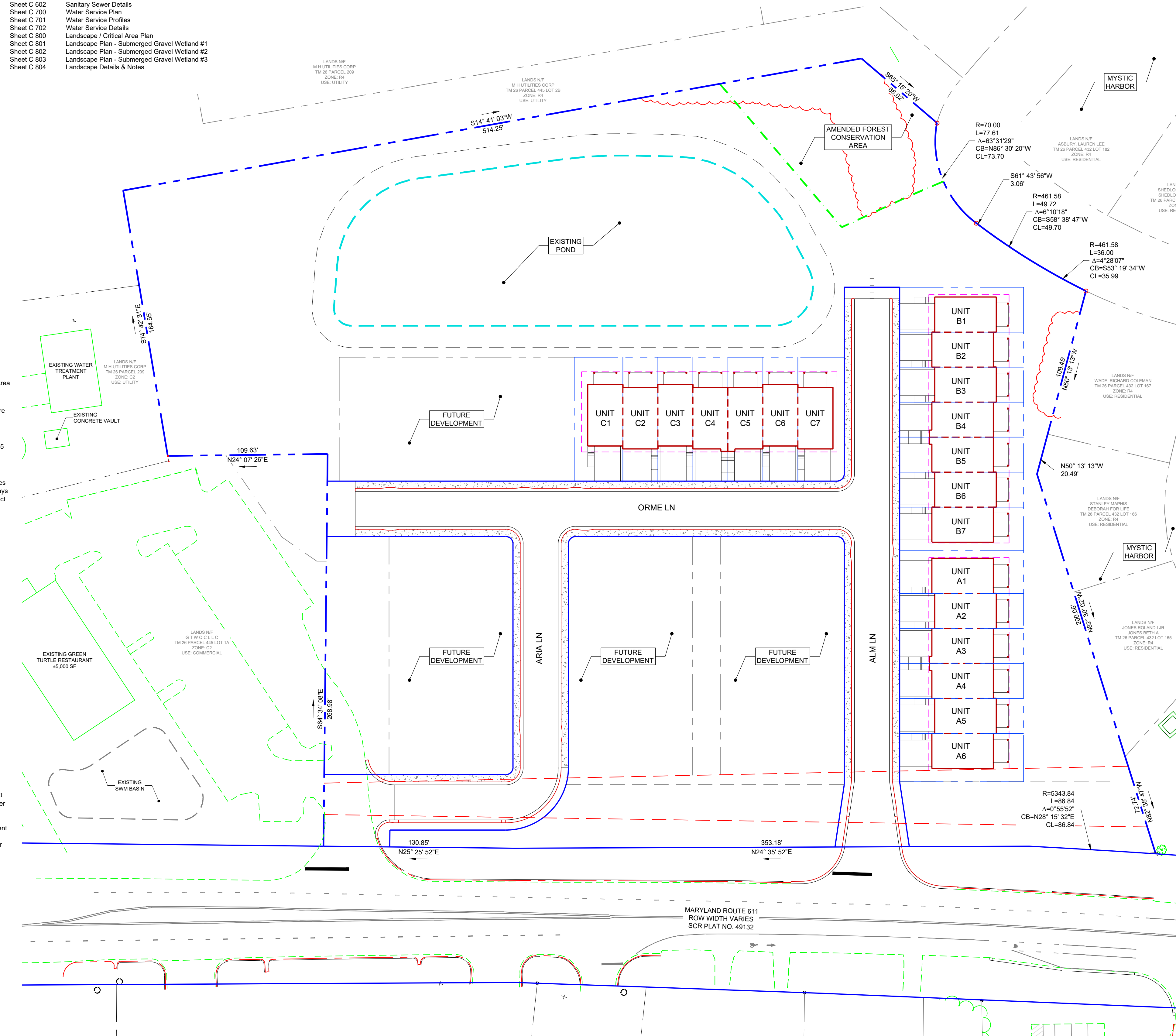
CIVIL SHEET INDEX

Sheet G 001	Cover Sheet
Sheet C 100	Existing Conditions
Sheet C 200	Site Plan
Sheet C 201	Site Plan Details
Sheet SWM 300	Existing Stormwater Management
Sheet SWM 301	Proposed Stormwater Management
Sheet SWM 302	Stormwater Management Details
Sheet SWM 303	Storm Drain Plan
Sheet SWM 304	Storm Drain Profiles
Sheet SWM 305	Storm Drain Profiles
Sheet SWM 306	Storm Drain Profile & Schedules
Sheet C 400	Erosion & Sediment Control Plan
Sheet C 401	Erosion & Sediment Control Details/Notes
Sheet C 500	Road / Grading Plan
Sheet C 501	Road Profiles
Sheet C 600	Sanitary Sewer Plan
Sheet C 601	Sanitary Sewer Profiles
Sheet C 602	Sanitary Sewer Details
Sheet C 700	Water Service Plan
Sheet C 701	Water Service Profiles
Sheet C 702	Water Service Details
Sheet C 800	Landscape / Critical Area Plan
Sheet C 801	Landscape Plan - Submerged Gravel Wetland #1
Sheet C 802	Landscape Plan - Submerged Gravel Wetland #2
Sheet C 803	Landscape Plan - Submerged Gravel Wetland #3
Sheet C 804	Landscape Details & Notes

THE ELM'S LUXURY TOWNHOME COMMUNITY

WEST OCEAN CITY, MARYLAND

MINOR RESIDENTIAL PLANNED COMMUNITY - STEP II



GENERAL NOTES

- All work required by these documents (drawings and specifications) shall be new. Wherever the word "proposed" is used it is considered to be interchangeable with the word "new" and is included in the required work.
- The contractor shall examine a copy of said plan(s) and visit the site in order to determine, to his/her satisfaction the quantities of work required to be performed.
- All materials and methods of construction shall conform to these drawings and specifications and to all applicable Federal, State of Maryland, and Worcester County requirements.
- Any discrepancies between the information provided on these plans and the existing site conditions shall immediately be brought to the attention of the owner and engineer.
- The contractor assumes responsibility for any deviations from the drawings and specifications.
- The contractor shall field verify all elevations and pipe inverts prior to construction.
- The contractor shall provide necessary stakeout of the line and grade for the construction.
- No information regarding depth to any temporary of permanent ground water table is provided on these drawings. The contractor shall investigate to his satisfaction the site conditions regarding depth to ground water. Generally, piping, trench and structure construction shall be executed in a de-watered state, consistent with good construction practice. All excavations for manholes and other chambers shall be continually de-watered until the back-fill operation has been completed.
- Contractor to contact the Worcester County Department of Environmental Programs at 410-632-1220 to schedule a Pre-Construction meeting at least 48 hours prior to commencing any site work. **Failure to do so may result in a "Stop Work" order.**
- Contractor shall notify the following parties, three (3) days prior to beginning any work shown on these drawings:

Tauhid Islam (Ocean Eight Group, LLC)	443-373-1789
Miss Utility	1-800-282-8555
Vista Design, Inc	410-352-3874
Worcester Soil Conservation District	410-632-3464 ext. 3

The contractor shall be responsible for the means and methods resulting from any earth moving and/or temporary stockpiling of earth or other materials on site.
These drawings, the design, and construction features disclosed are proprietary to Vista Design, Inc. and shall not be altered or reused without their written permission. Copyright, latest date here on.
No construction shall begin until a pre-construction meeting is held between the contractor, owner, engineer & the Worcester County Permit Coordinator.
The contractor and owner shall provide supervision and certification of all construction of Stormwater Management practices the provide infiltration and filtering, by a Professional Engineer duly licensed in the State of Maryland.
There are no steep slopes within the limits of disturbance.
There are no streams or stream buffers within the limits of disturbance.
There are no highly erodible slopes within the limits of disturbance.
There are no springs, seeps or intermittent streams within the limits of disturbance.
Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.

CERTIFICATION STATEMENTS

- All phases of Stormwater Management calculations, structure design and construction will adhere to current Worcester County Code and Stormwater Ordinance. Maryland standards and specifications for Stormwater Management plan for this site.
- All information set forth in this plan accurately conveys this site's conditions to the best of my knowledge.
- All structural devices for Stormwater Management will be protected by proper soil erosion and sediment control devices until all contributing areas have passed final stabilization inspection.
- Upon completion of the project, an as-constructed survey, Notice of Construction Completion (NOCC), and Letter of Certification must be submitted to the County, except individual single family dwellings. Once review is complete and approved, a Certificate of Occupancy can be issued.
- The Contractor and Owner shall provide supervision and certification of all construction of Stormwater Management practices that provide infiltration and filtering, by a Professional Engineer duly licensed in the State of Maryland.

Tauhid Islam - Ocean Eight Group, LLC 06/26/25
DATE
Chairperson - Worcester County Planning & Zoning DATE

SIGNATURE PANEL

As the Property Owner/Developer, I am in full agreement with this site plan submitted herewith, and I am responsible for the completion of the improvements as shown on the approved Site Plan and I understand that I cannot allow the property of buildings to be occupied until a Certificate of Use and Occupancy has been issued by the Department of Development Review and Permitting.

Tauhid Islam - Ocean Eight Group, LLC 06/26/25
DATE
Chairperson - Worcester County Planning & Zoning DATE

DIVISION OF PUBLIC WORKS Worcester County, Maryland

Director DATE

DIVISION OF WATER AND WASTEWATER SERVICES Worcester County, Maryland

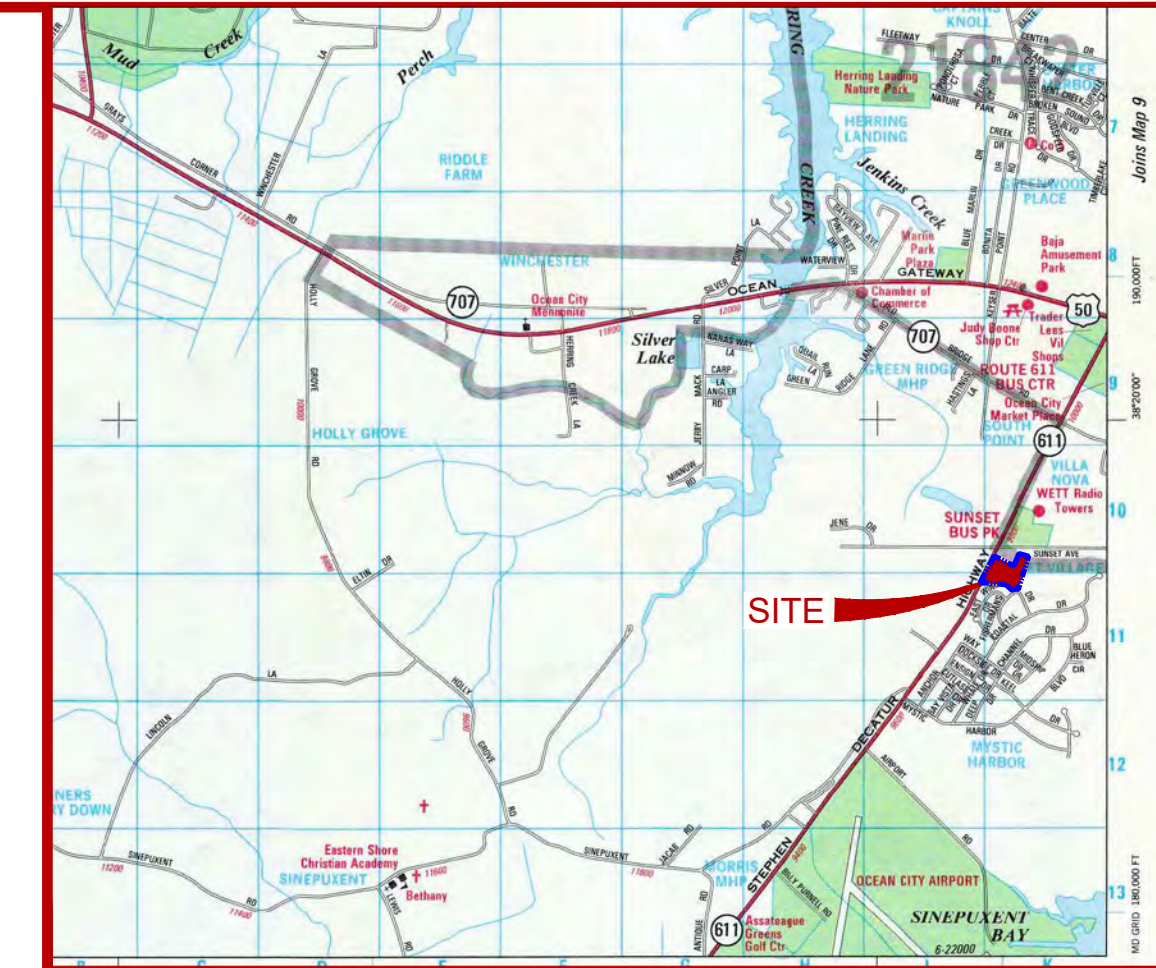
DATE

NOTE:

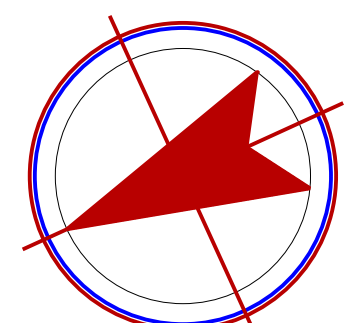
This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remains the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assigns without the written permission of VDI will be at the Clients risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

NOTE:

This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto apparent.



VICINITY MAP
NOT TO SCALE



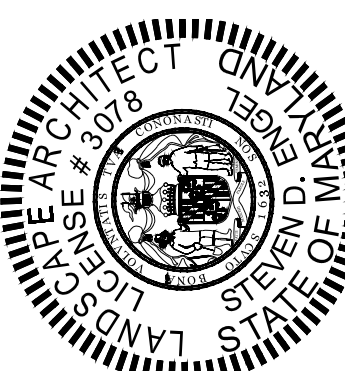
NORTH

REVISIONS

PROJECT DATA
Project No.: 21-004
File Name: SP (P) 120123.dwg
WEST OCEAN CITY
WORCESTER COUNTY, MARYLAND
Date: 07/18/24
Scale: 1" = 40'

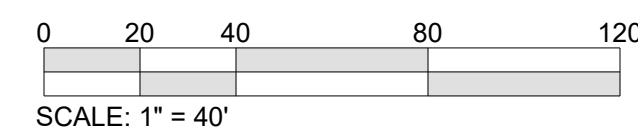
COVER SHEET MINOR RESIDENTIAL PLANNED COMMUNITY - STEP II

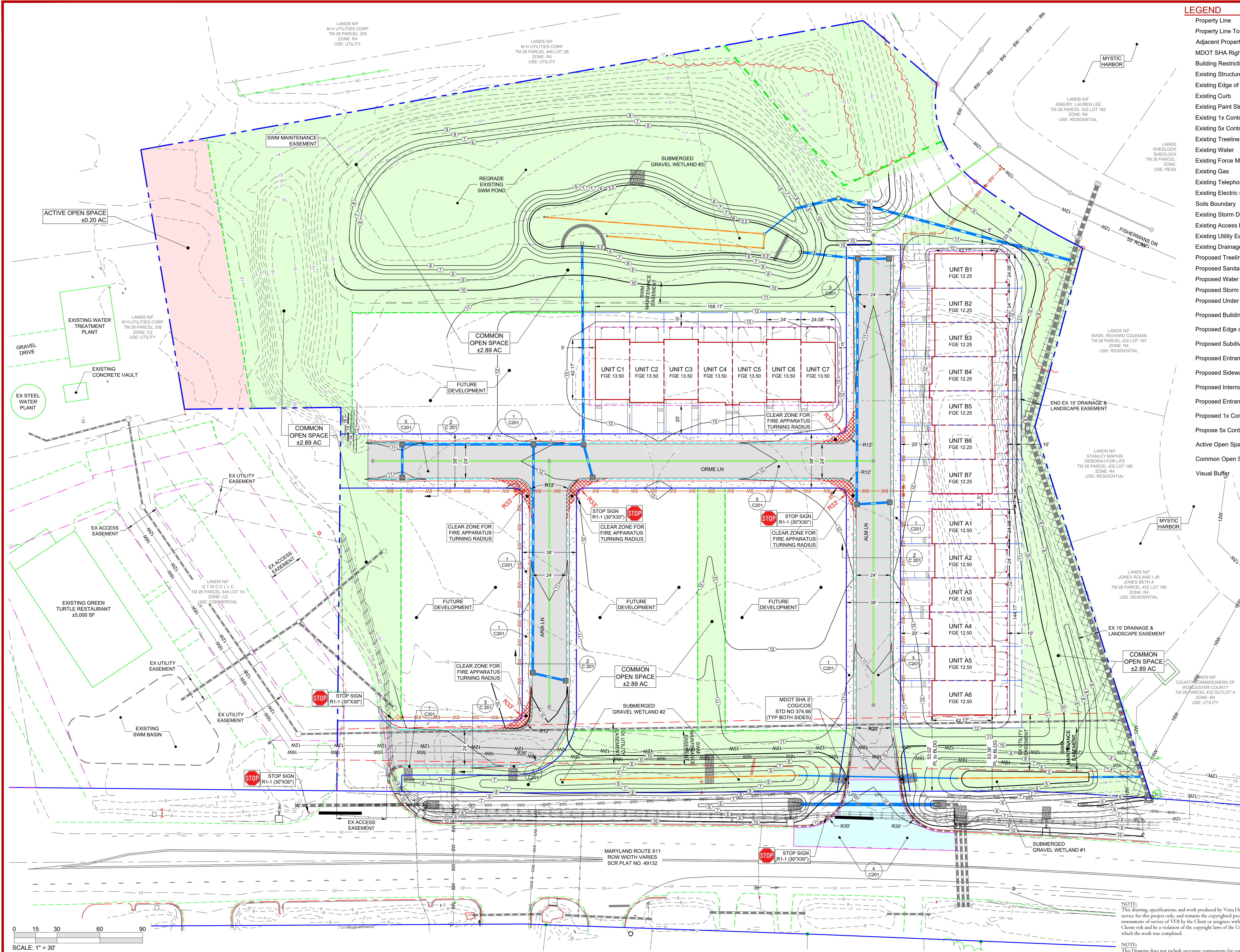
THE ELM'S LUXURY TOWNHOME COMMUNITY WEST OCEAN CITY, MD OCEAN 8 GROUP, LLC



Sheet No.:

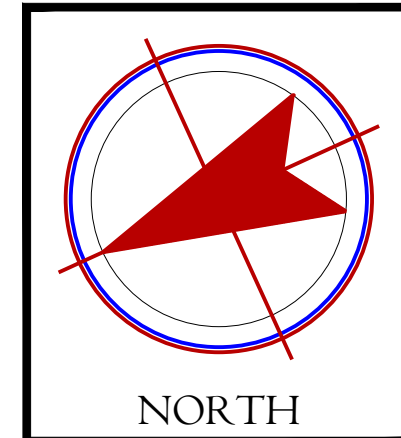
G 001





LEGEND

Property Line	
Property Line To Be Abandoned	
Adjacent Property Line	
MDOT SHA Right of Way	
Building Restriction Line	
Existing Structures	
Existing Edge of Pavement	
Existing Curb	
Existing Paint Stripes	
Existing 1x Contour	
Existing 5x Contour	
Existing Treeline	
Existing Water	
Existing Force Main	
Existing Gas	
Existing Telephone (Underground)	
Existing Electric (Underground)	
Soils Boundary	
Existing Storm Drain	
Existing Access Ease	
Existing Utility Ease	
Existing Drainage & Landscape Ease	
Proposed Treeline	
Proposed Sanitary Sewer	
Proposed Water Service	
Proposed Storm Drain	
Proposed Under Drain	
Proposed Building	
Proposed Edge of Pavement	
Proposed Subdivision Curb	
Proposed Entrance Curb	
Proposed Sidewalks	
Proposed Internal Asphalt	
Proposed Entrance Asphalt	
Proposed 1x Contour	
Propose 5x Contour	
Active Open Space	
Common Open Space	
Visual Buffer	



REVISIONS

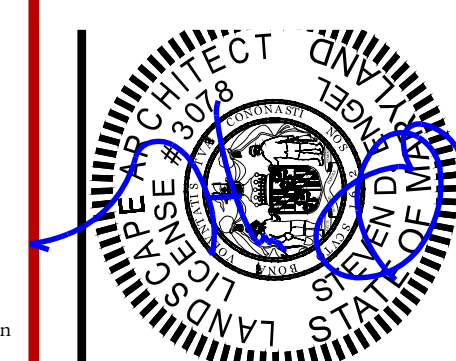
PROJECT DATA

Project No.: 22-104
File Name: SP (01) 120123.dwg
WEST OCEAN CITY
WORCESTER COUNTY, MARYLAND
Date: 07/18/24
Scale: 1" = 30'

SITE PLAN

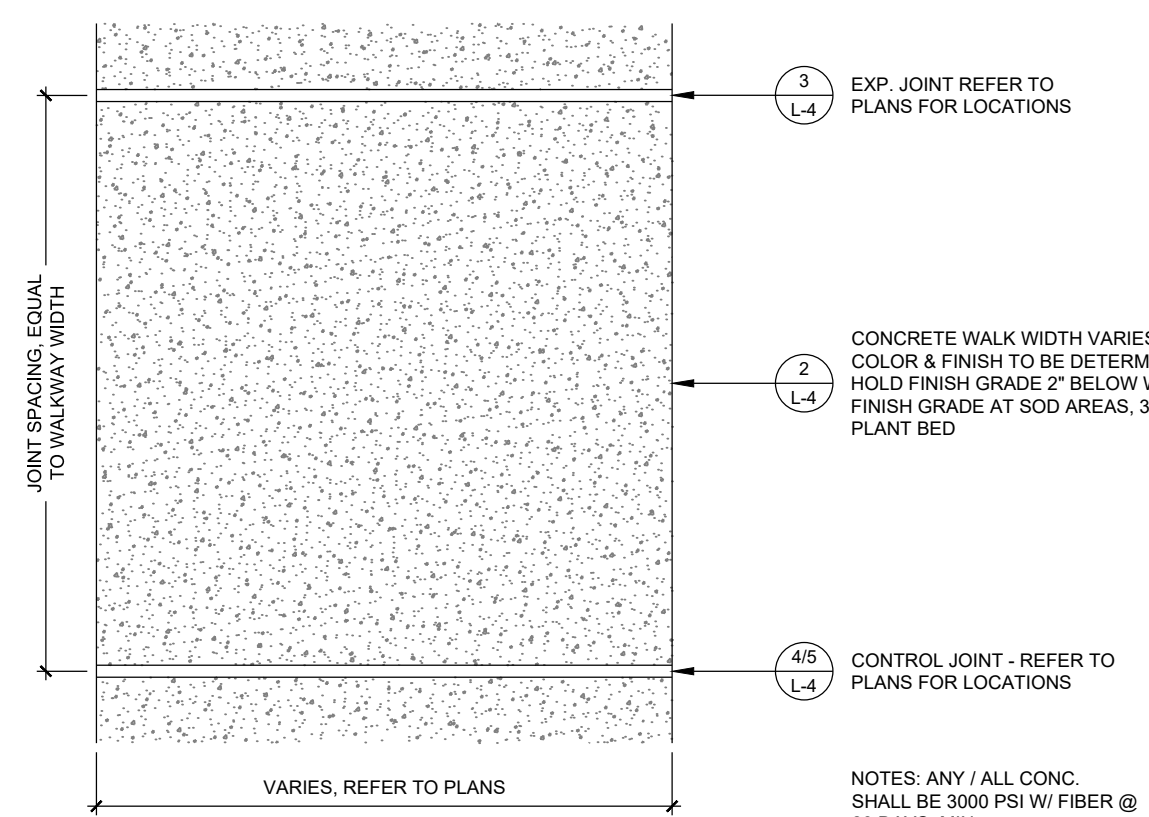
MINOR RESIDENTIAL PLANNED COMMUNITY - STEP II

THE ELM'S
LUXURY TOWNHOME COMMUNITY
WEST OCEAN CITY, MD
OCEAN 8 GROUP, LLC



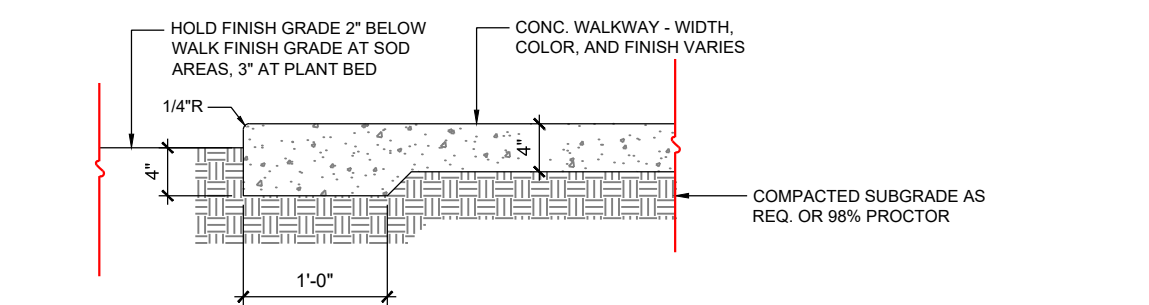
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C 200



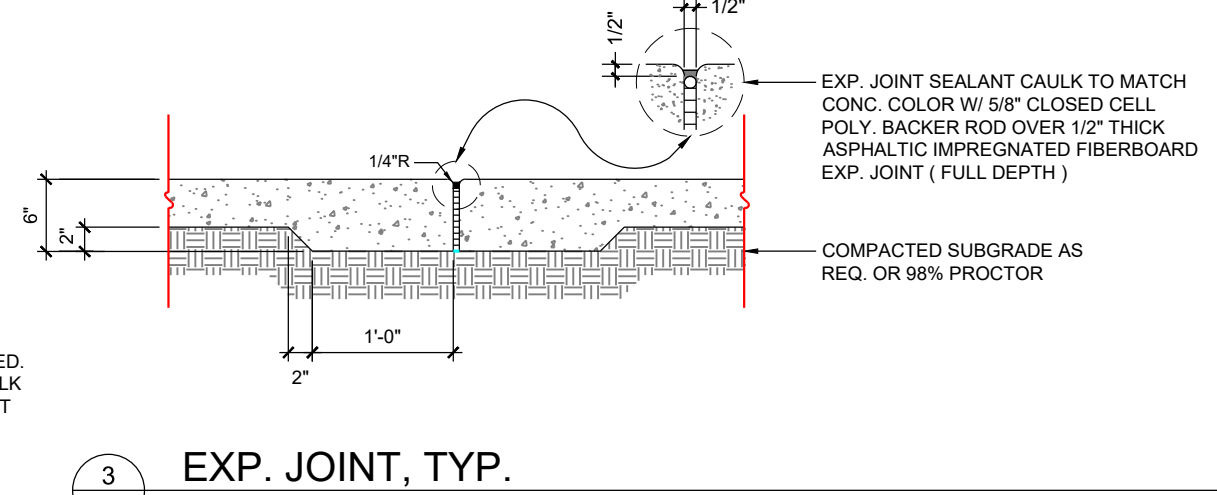
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L-4
C 201

CONC. WALKWAY PLAN, TYP.



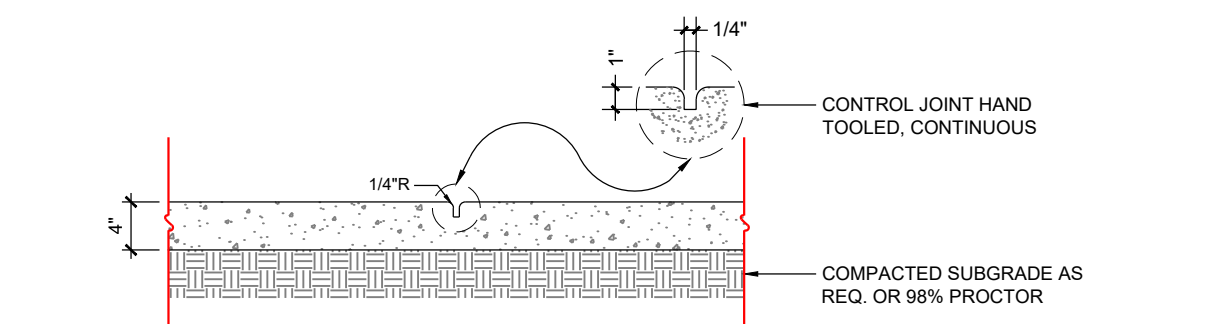
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L-4
C 201

CONC. WALKWAY EDGE SECTION, TYP.



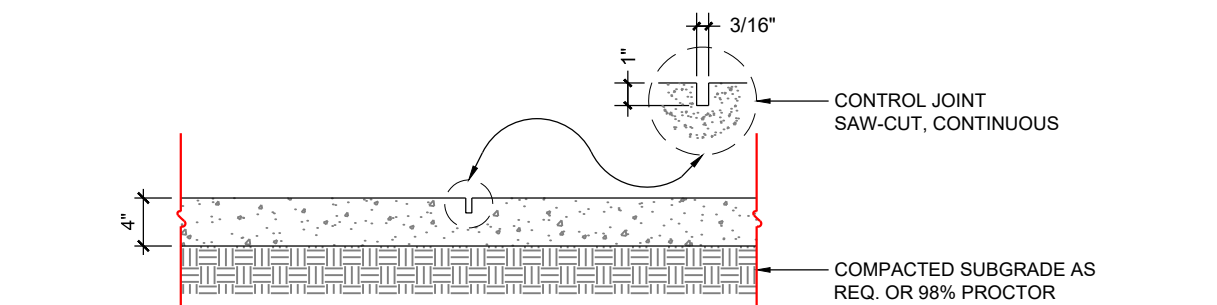
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L-4

EXP. JOINT, TYP.



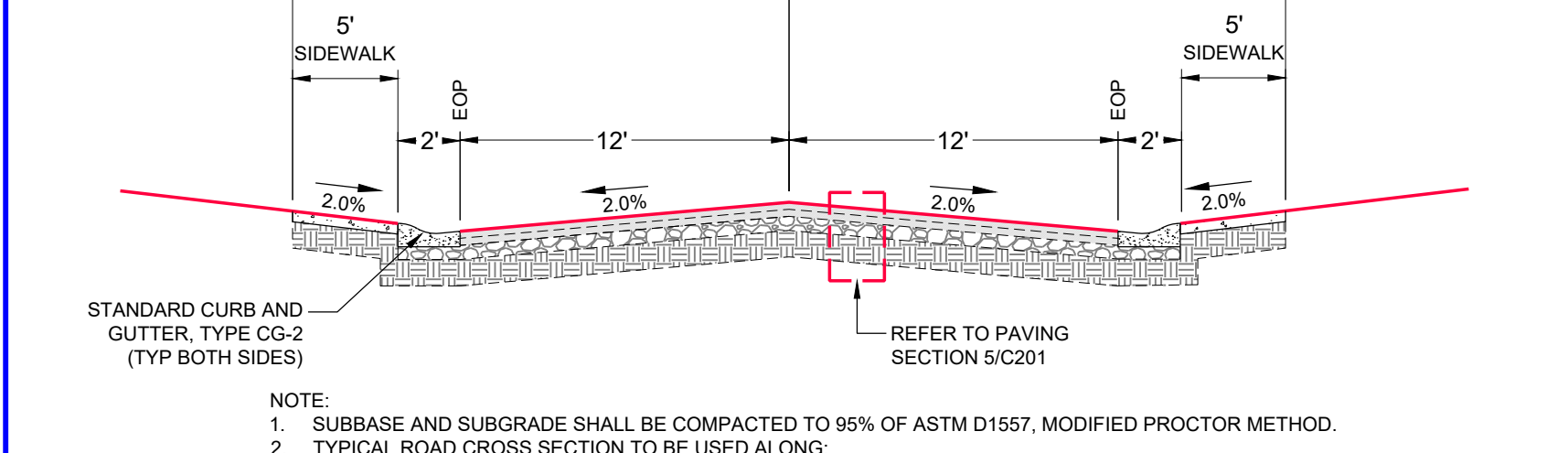
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L-4

CONTROL JOINT (HAND TOOLED) TYP.



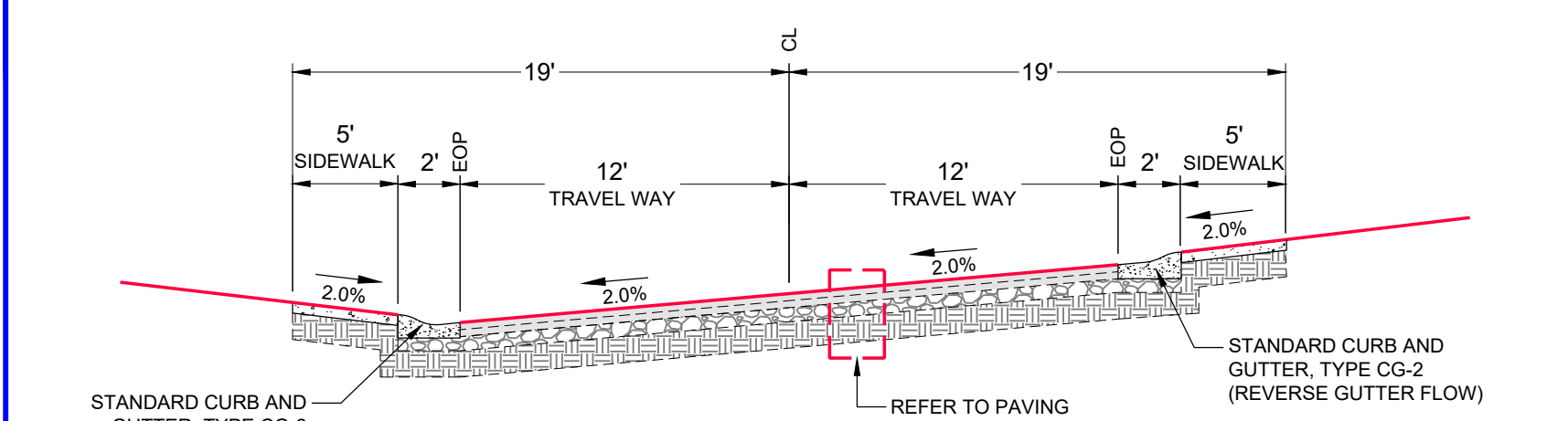
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L-4

CONTROL JOINT (SAW-CUT), TYP.



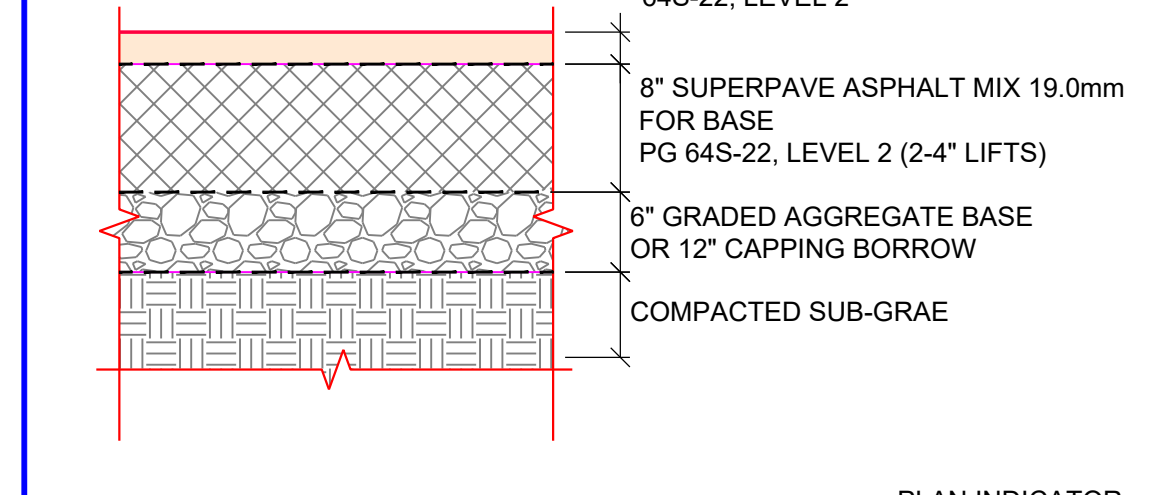
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C 201

TYPICAL ROAD CROSS SECTION
NOT TO SCALE



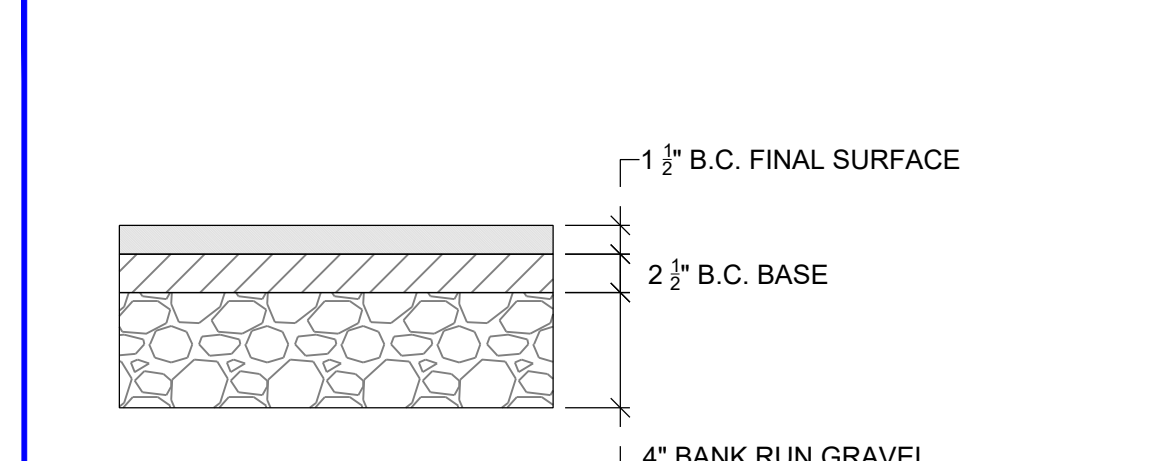
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C 201

SUPERELEVATED ROAD CROSS SECTION
NOT TO SCALE



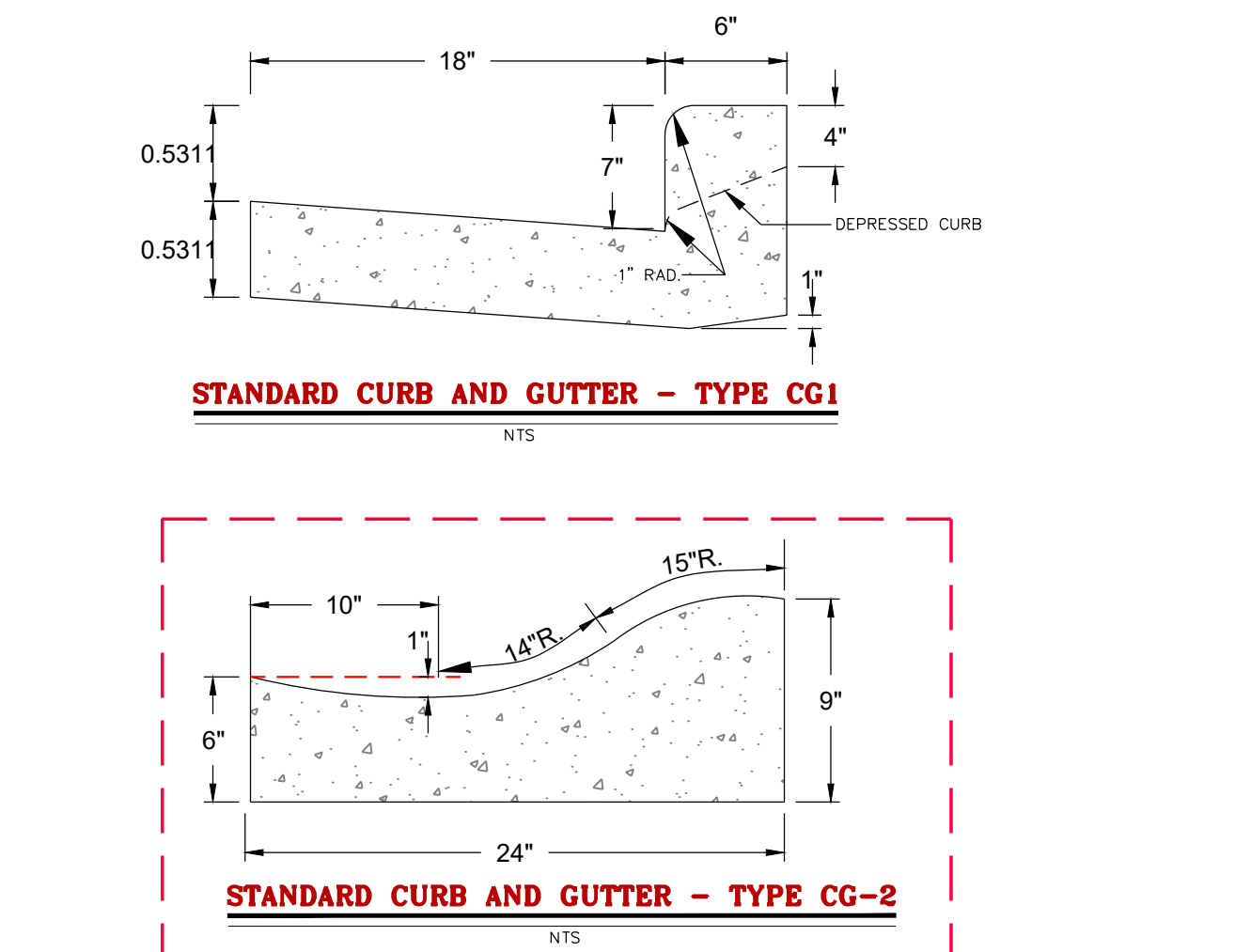
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MDOT SHA FULL DEPTH PAVEMENT SECTION
ALONG MD ROUTE 611



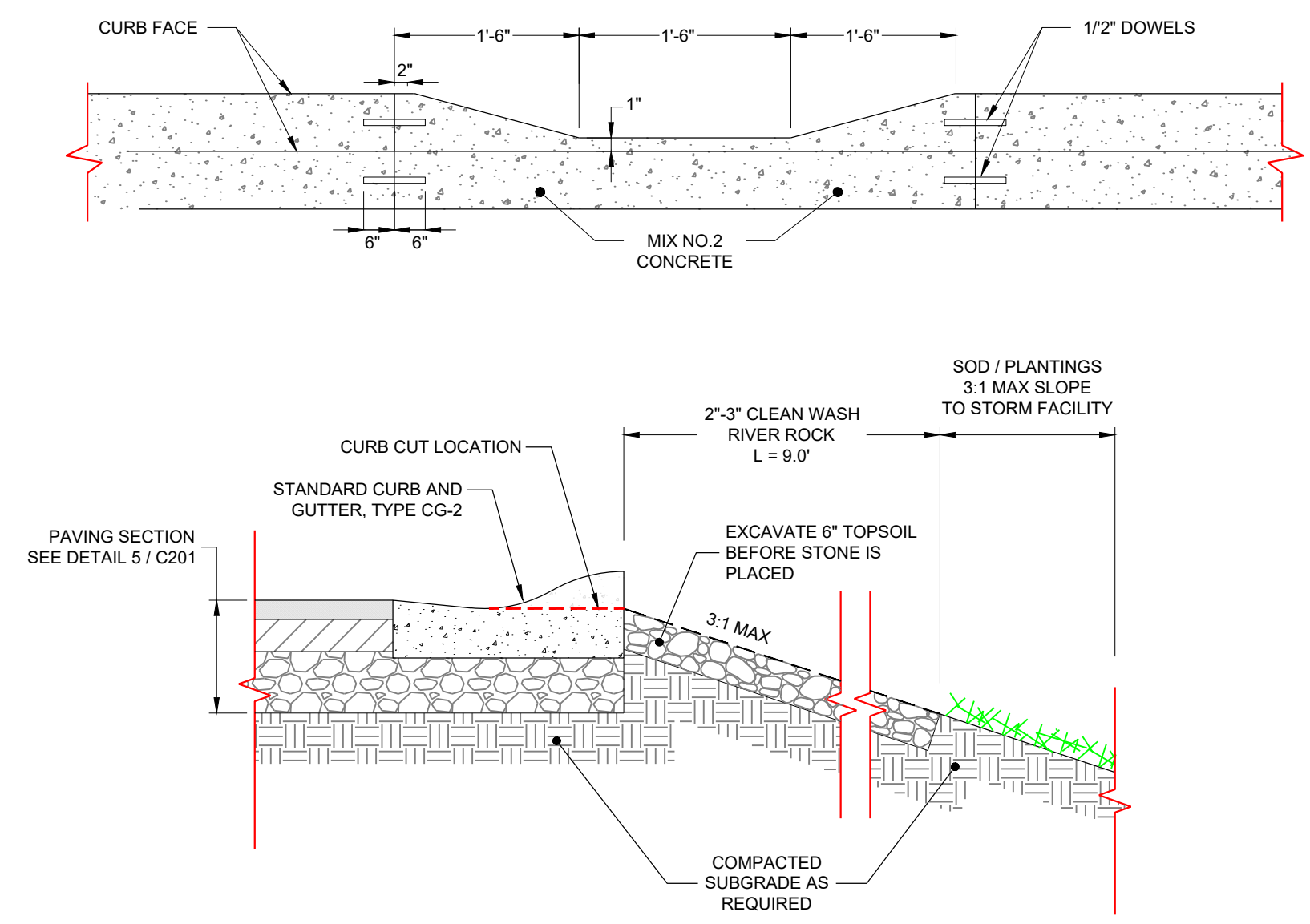
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PAVING SECTION
INTERNAL DRIVE AISLE



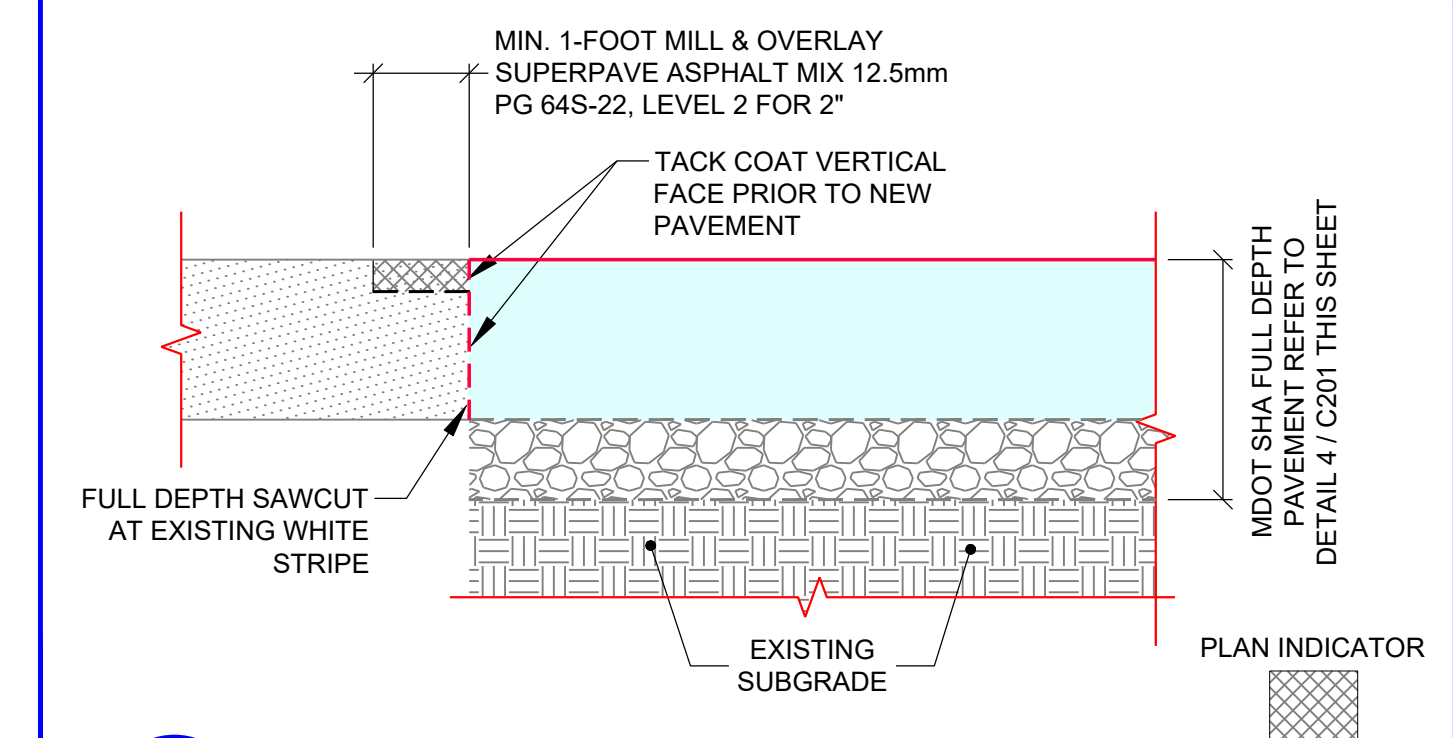
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C 201

Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No /Reference
Designed by BLB	Checked by	Approved by - date	File name Date 05/12/05
Worcester County Department Of Public Works		R-2	Sheet 1/1



7
C 201

CURB CUT SECTION WITH
RIVER ROCK RIP RAP

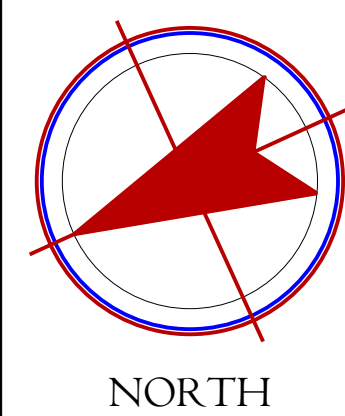


8
C 201

MILL & OVERLAY
TIE-IN SECTION

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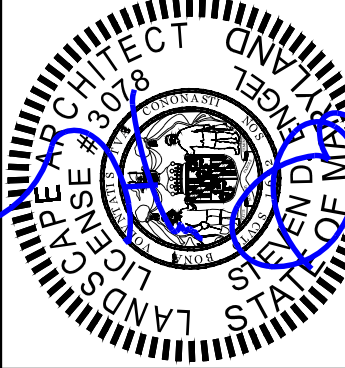


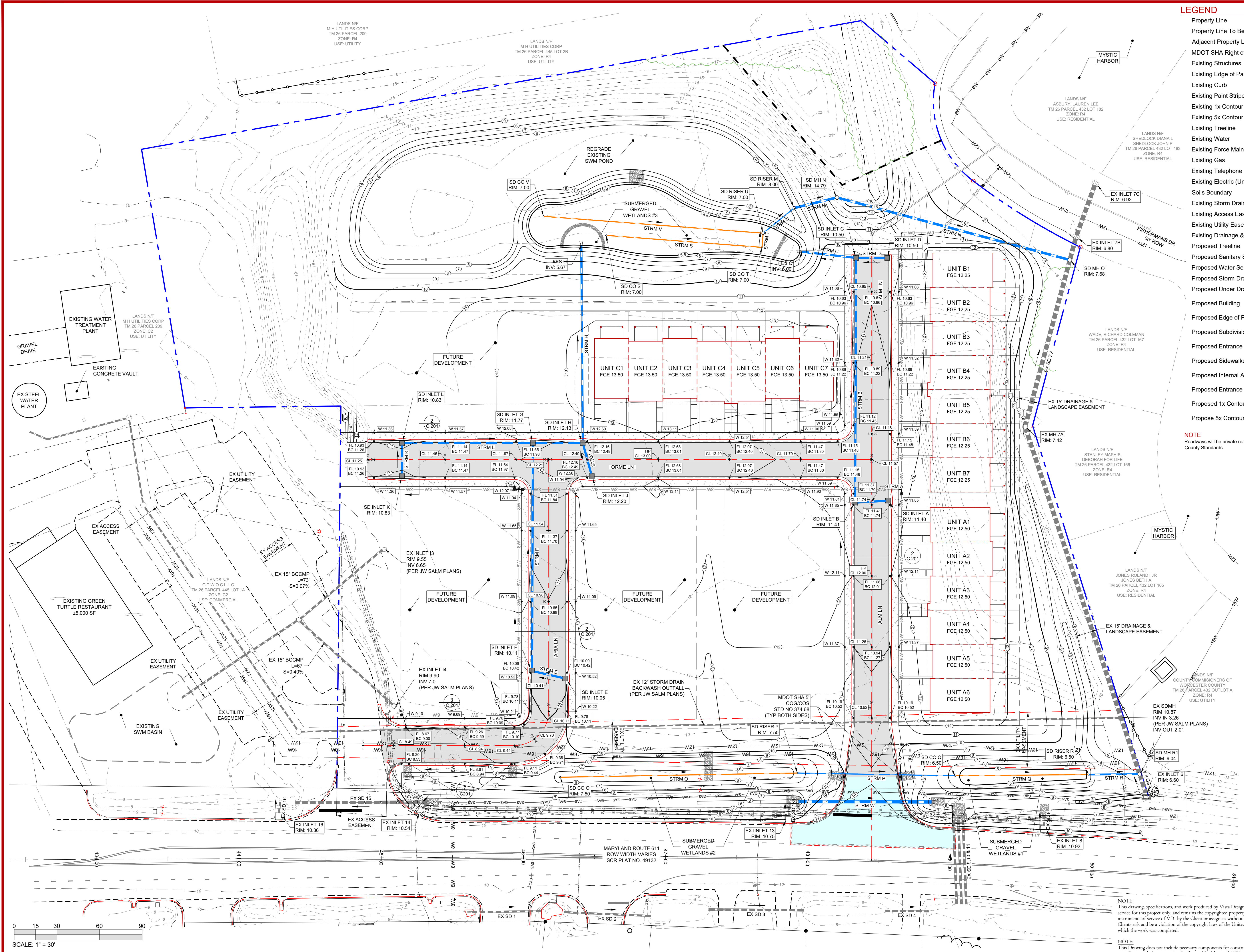
REVISIONS

PROJECT DATA
Project No.: 22-104
File Name: SP (P) 12013.dwg
WEST OCEAN CITY
WORCESTER COUNTY, MARYLAND
Date: 07/18/24
Scale: NTS

SITE PLAN DETAILS
MINOR RESIDENTIAL PLANNED
COMMUNITY - STEP II

THE ELM'S
LUXURY TOWNHOME COMMUNITY
WEST OCEAN CITY, MD
OCEAN 8 GROUP, LLC

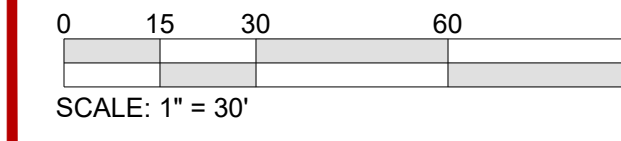




LEGEND

Property Line	---
Property Line To Be Abandoned	---
Adjacent Property Line	---
MDOT SHA Right of Way	---
Existing Structures	---
Existing Edge of Pavement	---
Existing Curb	---
Existing Paint Stripes	---
Existing 1x Contour	---
Existing 5x Contour	---
Existing Treeline	---
Existing Water	---
Existing Force Main	---
Existing Gas	---
Existing Telephone (Underground)	---
Existing Electric (Underground)	---
Soils Boundary	---
Existing Storm Drain	---
Existing Access Easement	---
Existing Utility Easement	---
Existing Drainage & Landscape Easement	---
Proposed Treeline	---
Proposed Sanitary Sewer	---
Proposed Water Service	---
Proposed Storm Drain	---
Proposed Under Drain	---
Proposed Building	---
Proposed Edge of Pavement	---
Proposed Subdivision Curb	---
Proposed Entrance Curb	---
Proposed Sidewalks	---
Proposed Internal Asphalt	---
Proposed Entrance Asphalt	---
Proposed 1x Contour	---
Propose 5x Contour	---

NOTE
Roadways will be private roads built in accordance with Worcester County Standards.



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	07/18/24

PROJECT DATA

Project No.: 22-104
File Name: RDS (PJ) 121223.dwg
Client: WEST OCEAN CITY
Location: WORCESTER COUNTY, MARYLAND
Date: 07/18/24
Scale: 1" = 30'

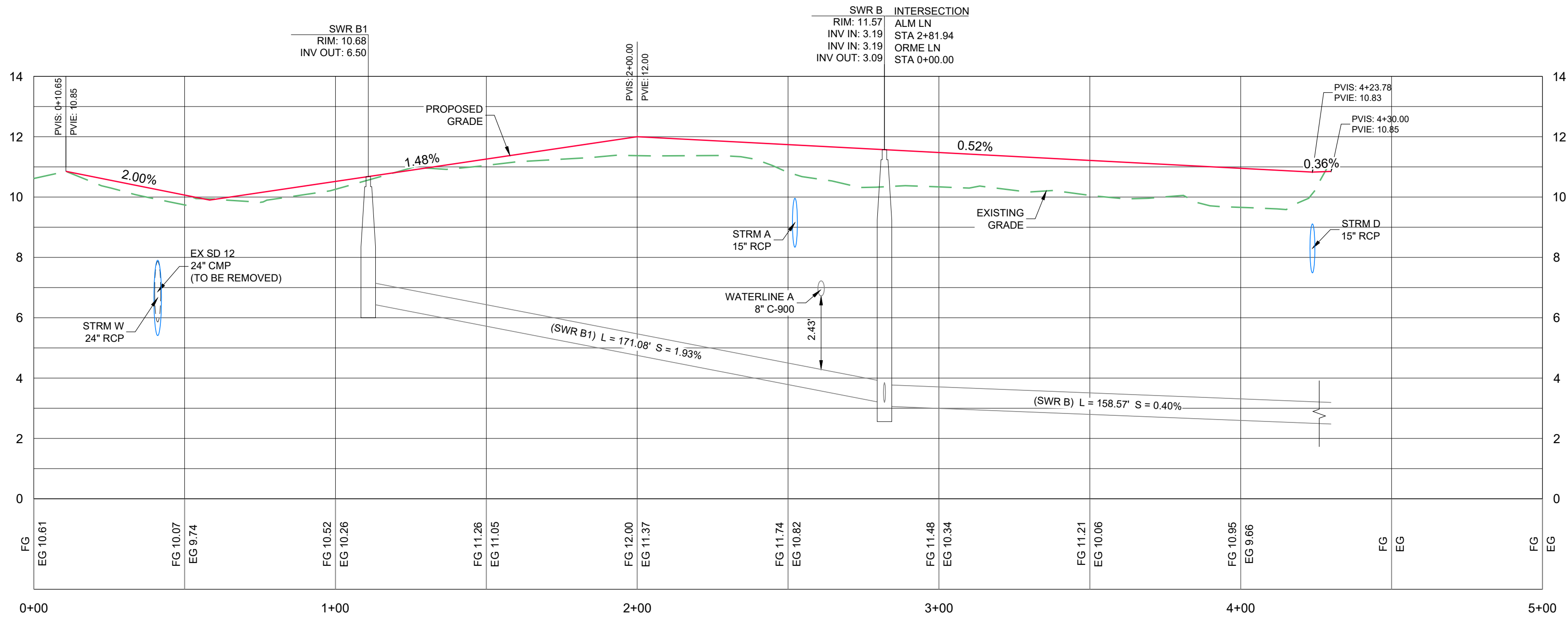
ROADS - PLAN VIEW
MINOR RESIDENTIAL PLANNED
COMMUNITY - STEP II

THE ELM'S
LUXURY TOWNHOME COMMUNITY
WEST OCEAN CITY, MD
OCEAN 8 GROUP, LLC

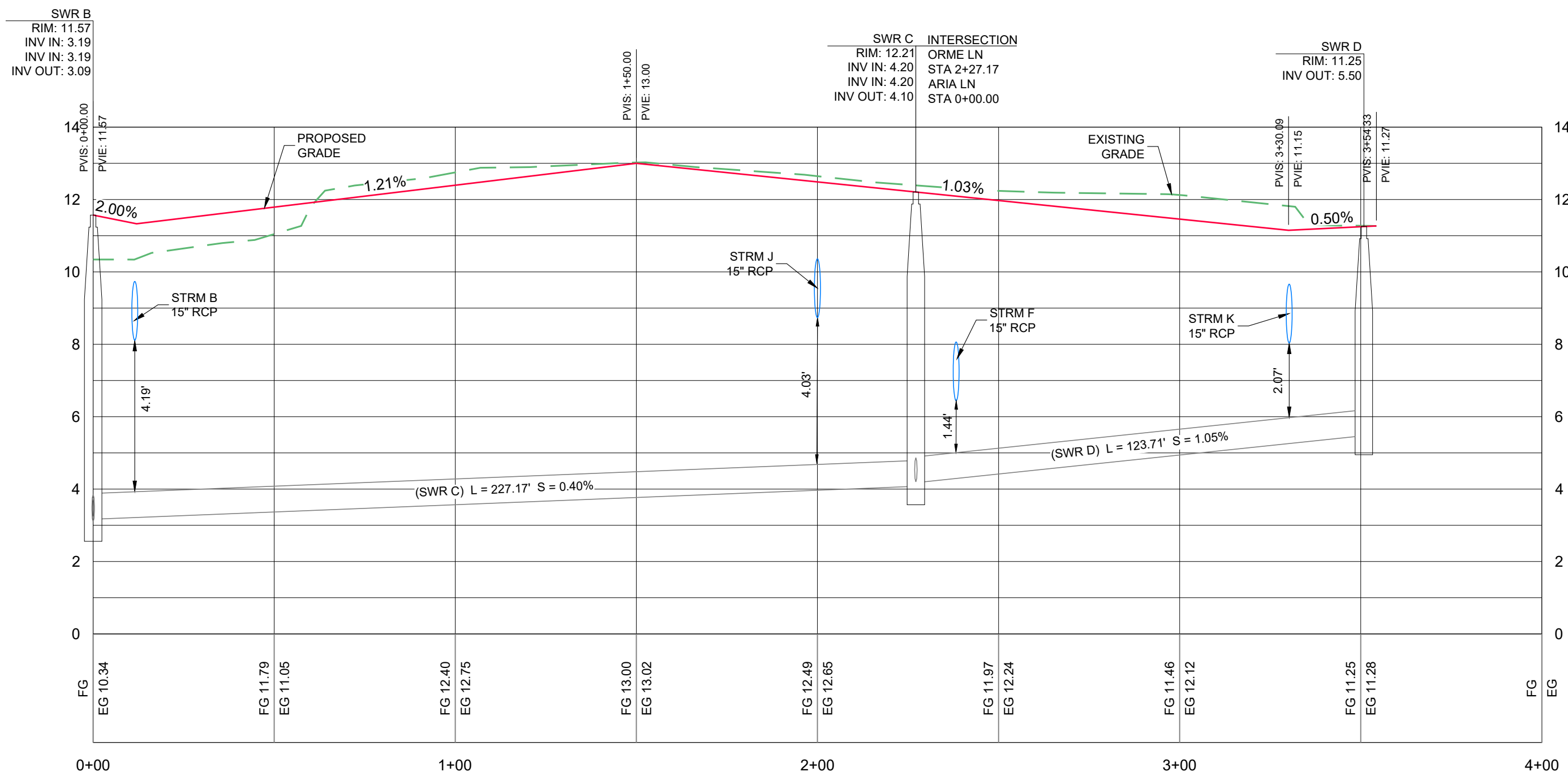
Sheet No.: **C 500**

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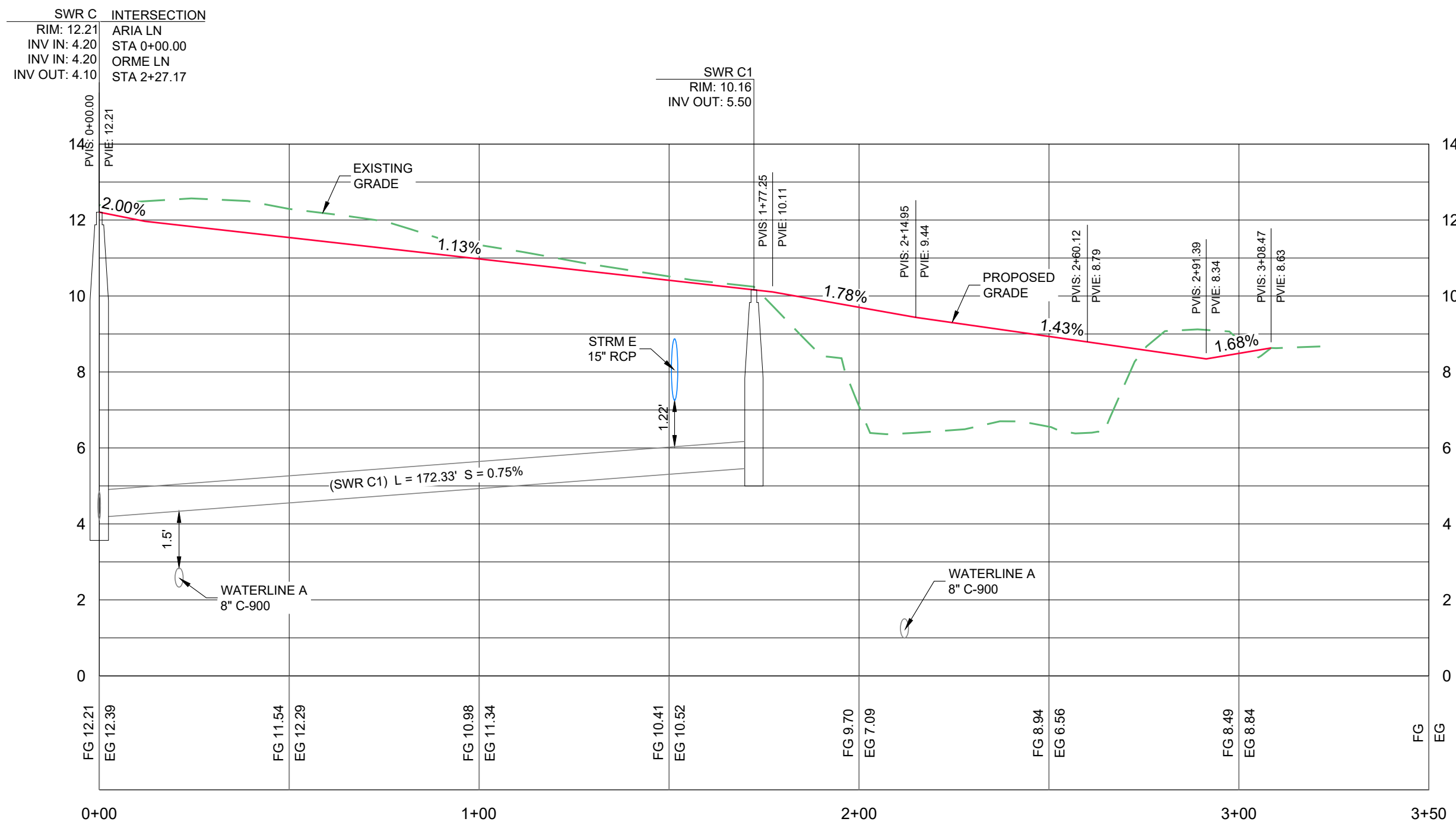
NOTE:
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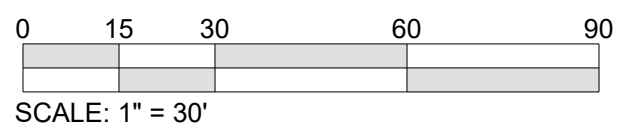
ALM LANE
SCALE
HORIZ. 1"=30'
VERT. 1"=3'



ORME LANE
SCALE
HORIZ. 1"=30'
VERT. 1"=3'



ARIA LANE
SCALE
HORIZ. 1"=30'
VERT. 1"=3'



SCALE: 1" = 30'

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NORTH

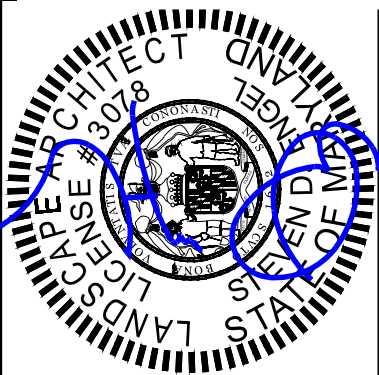
REVISIONS

PROJECT DATA

Project No.: 22-104
File Name: RDS (P) 121223.dwg
Client: WEST OCEAN CITY
Location: WORCESTER COUNTY, MARYLAND
Date: 07/18/24
Scale: As Shown

ROAD PROFILES
MINOR RESIDENTIAL PLANNED
COMMUNITY - STEP II

THE ELM'S
LUXURY TOWNHOME COMMUNITY
WEST OCEAN CITY, MD
OCEAN 8 GROUP, LLC



Sheet No.:

C 501

SITE DATA

Tax Map	0026
Parcels	Zoning
0445 Lot 1B	R-4 General Residential District
0445 Lot 2A	R-4 General Residential District
0432 Lot E1	R-4 General Residential District

Parcel 0445 Lot 1B was Rezoned to, R-4 General Residential District, per Zoning Reclassification Resolution No. 23-15 on June 20, 2023.

Existing Land Use	Vacant Lands
Proposed Land Use	Townhouse Units
Site Area	Minor Residential Planned Community (RPC)

Parcel 0445, Lot 1B	±3.29 Ac
Parcel 0445, Lot 2A	±2.50 Ac
Parcel 0432, Lot E1	±0.63 Ac
Total	±6.42 Ac

Limits of Disturbance ±247,663 SF / 5.68 Ac

Max Allowable Density	51 Units (8 Units per Acre)
Proposed Density	20 Units (3.11 Units per Acre)
Max Bldg. Height	4 Stories or 45'

Interior Units	Min 18'
End Units	Min 24'
Min. Lot Size	2,000 Sf

Site Setbacks	50' (Along MD Route 611)
Front	15' (Along Fishermans Drive)
Side	8' (Each)
Rear	15'

Unit Setbacks	20'
Front	0' (Interior Units) & 5'
Sides	
Rear	10'

The subject property is located in the Sinepuxent Bay Watershed, Watershed No. 02130104

OPEN SPACE

Required	Common Open Space	None Required
----------	-------------------	---------------

Provided	Common Open Space	±2.89 Ac
	Active Open Space	±0.20 Ac

WATER & SEWER PROVIDER

Mystic Harbour Sanitary Service Area

Required

- One (1) EDU / Unit = 20 EDUs

Existing

- Twenty (20) EDUs of water and sewer allocated from the Mystic Harbour Sanitary Service Area

NON-TIDAL WETLANDS

Per an onsite visit and investigation by Coastal Compliance Solutions, Inc. on 12/13/2022, there are no Tidal or Non-Tidal Wetlands within the project boundary.

FLOOD ZONE

This property is Located Within Flood Zone X Per FEMA Map # 24047C0180H, Dated July 16, 2015

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property is located in the Atlantic Coastal Bays Critical Area (ACBCA) program boundary designated Intensely Developed Area (IDA) and is non-waterfront. Any and all proposed activities must meet the requirements of Title 3 (Land and Water Resources), Subtitle 1 (Atlantic Coastal Bays Critical Area) of the Worcester County Code of Public Laws, as from time to time amended, in effect at the time of the proposed development activities.

PROPOSED LAND USE

Area within the Critical Area (IDA)	±6.42 Ac
Limits of Disturbance	±5.68 Ac

EXISTING LAND USE

Existing Impervious (Asphalt/Gravel)	±0.26 Ac
Vegetation	±0.57 Ac
Grass / Open Space	±5.59 Ac
TOTAL EXISTING	±6.42 Ac

PROPOSED LAND USE

Townhomes, Driveways & Decks	±0.74 Ac
Asphalt Drives, Curb & Sidewalks	±0.86 Ac
Grass / Open Space	±4.75 Ac
Existing Impervious (Green Turtle)	±0.07 Ac
TOTAL PROPOSED	±6.42 Ac

TOTAL PROPOSED IMPERVIOUS ±1.67 Ac

OFF STREET PARKING REQUIREMENTS

REQUIRED		
Townhomes	2 per Unit (min)	2.5 per Unit (max)
20 Units	40 Spaces (min)	50 Spaces (max)

PROPOSED

(2) Driveway Spaces per Unit	40 Spaces
TOTAL	40 Spaces

- Zero (0) Bicycle Racks

FOREST CONSERVATION STATEMENT

This site is subject to the Worcester County Forest Conservation Law. This site is subject to Forest Conservation Plan No. 97-20. This site has been subject to a regulated activity under the Worcester County Forest Conservation Law. Any future approval of this site for a regulated activity shall be subject to the County Forest Conservation Law. A Forest Conservation Easement Plat has been approved and is on file with the Department of Environmental Programs. A Short Term Management Plan and Perpetual Protective Agreement, Deed of Forest Conservation Easement, Worcester County, Maryland, will be recorded simultaneously with this plan in the Land Records of Worcester County, Maryland.

NOTE

Worcester County does not guarantee the development or construction of any amenities shown on this plat. All such amenities shall be the responsibility of the owner and applicant of this subdivision.

SURVEYOR'S CERTIFICATION

I, DOMINIC AGRESTA, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF MARYLAND, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF MARYLAND BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

DOMINIC AGRESTA, MD PLS #21407

DATE:

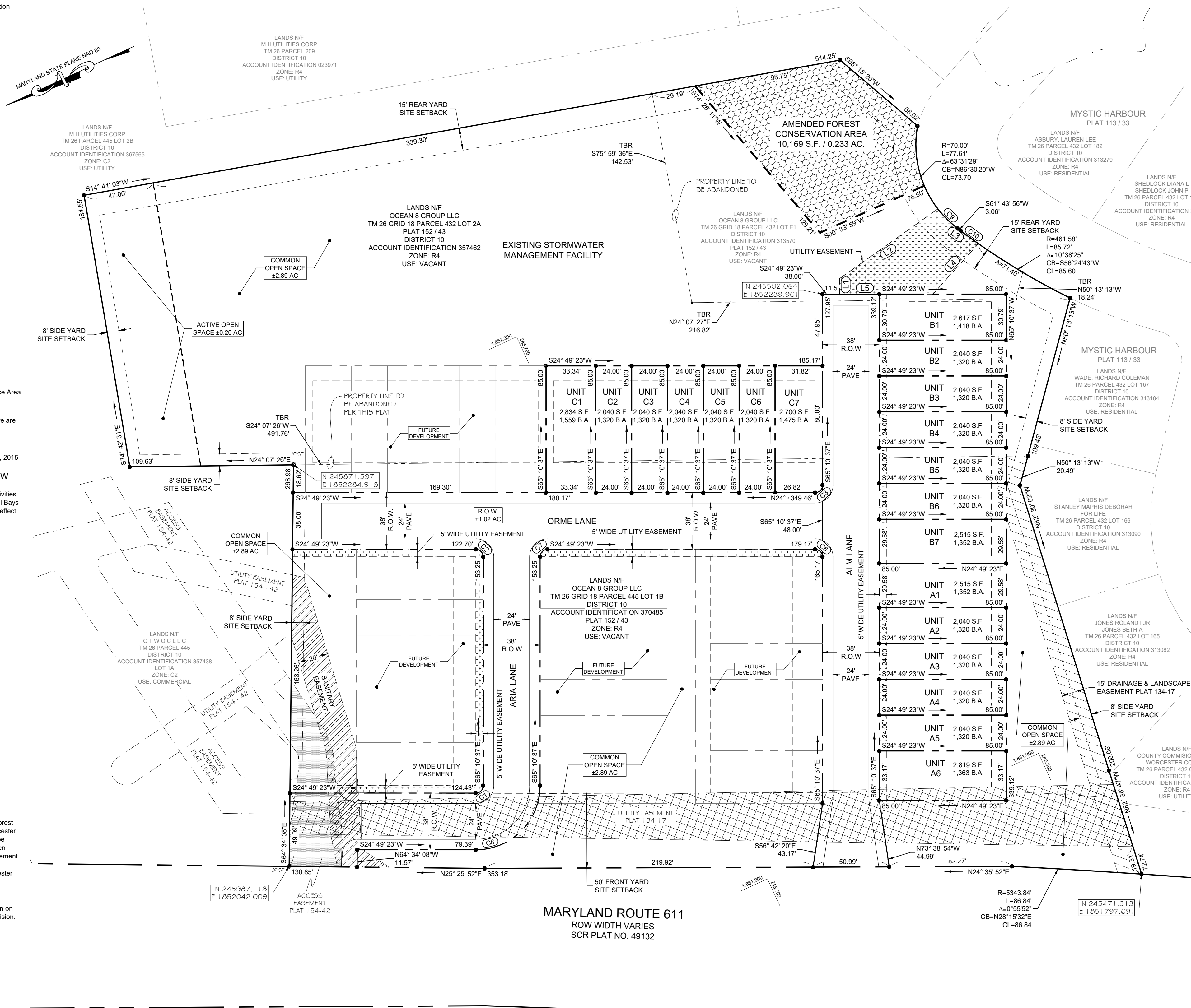
FINAL PLAT

THE ELM'S

LUXURY TOWNHOME COMMUNITY

MINOR RESIDENTIAL PLANNED COMMUNITY

WEST OCEAN CITY, MARYLAND



Right of Way Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	7.85'	5.00'	90°00'00"	S20° 10' 37"E	7.07'
C2	7.85'	5.00'	90°00'00"	N69° 49' 23"E	7.07'
C3	7.85'	5.00'	90°00'00"	S20° 10' 37"E	7.07'
C6	7.85'	5.00'	90°00'00"	S69° 49' 23"W	7.07'
C7	7.85'	5.00'	90°00'00"	S20° 10' 37"E	7.07'
C8	67.54'	43.00'	90°00'00"	S20° 10' 37"E	60.81'

Utility Easement Line Table		
Line #	Length	Direction
L1	10.50	S65° 10' 37"E
L2	80.50	S10° 30' 17"E
L3	3.06	S61° 43' 56"W
L4	45.57	N23° 07' 53"W
L5	62.37	N24° 49' 23"E

Utility Easement Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C9	18.54	70.00	15°10'18"	18.48	S69°19'05"W
C10	14.31	461.58	1°46'37"	14.31	S60°50'38"W

LEGEND:

Property Line	---
ROW Line	---
Adjacent Property Line	---
Site Setback Lines	---
Unit Setback Lines	---
Existing Utility Easement	---
Existing Drainage & Landscape Easement	---
Existing Access Easement	---
Existing Sanitary Sewer Easement	---
Proposed Forest Conservation Easement	---
Proposed Utility Easement	---
Iron Rod Capped Found	● R/C
Iron Pipe Found	● R/P

Phase 1 Units	Phase 1 Units A1-A6
Phase 2 Units	Phase 2 Units B1-B7
Phase 3 Units	Phase 3 Units C1-C7

OWNERS CERTIFICATION

As the Property Owner/Developer, I am in full agreement with this site plan submitted herewith, and I am responsible for the completion of the improvements as shown on the approved Site Plan and I understand that I cannot allow the property of buildings to be occupied until a Certificate of Use and Occupancy has been issued by the Department of Development Review and Permitting.

Tauhid Islam - Ocean Eight Group, LLC

DATE

DEPARTMENT OF ENVIRONMENTAL PROGRAMS

Worcester County, Maryland

Director

DATE

PLANNING COMMISSION

Worcester County, Maryland

Director

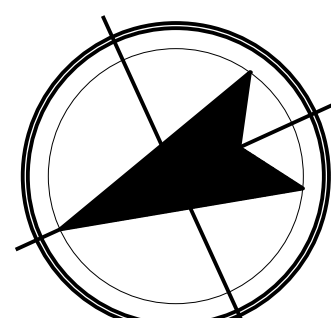
DATE

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NORTH

REVISIONS

01/17/24 PER TRC REVIEW COMMENTS ON 01/10/24

PROJECT DATA

Project No.

21-104

File Name

22-101 Surface Threading

Client Name

WEST OCEAN CITY

Worcester County, Maryland

Date

7/17/25

Scale

1" = 40'

FINAL PLAT

MINOR RESIDENTIAL

PLANNED COMMUNITY

THE ELM'S

LUXURY TOWNHOME

COMMUNITY

WEST OCEAN CITY, MD

OCEAN 8 GROUP, LLC

Sheet No.:

C 100