

**WORCESTER COUNTY PLANNING COMMISSION AGENDA**  
**Thursday October 7, 2021**

Worcester County Government Center, Room 1102, One West Market Street,  
Snow Hill, Maryland 21863

Masks are recommended for those whom have not been vaccinated;  
social distancing is also encouraged.

**Thursday, October 7, 2021**

- I. **Call to Order** (1:00 p.m.)
  
- II. **Administrative Matters** (1:00 p.m. est.)
  - A. Review and Approval of Minutes – September 2, 2021
  - B. Board of Zoning Appeals Agenda – October 14, 2021
  - C. Technical Review Committee Agenda – October meeting cancelled
  
- III. **Site Plan Review (§ ZS 1-325)**
  - A. Zoom Car Wash (1:05 p.m. est.)

Located on the southern side of US Route 50 (Ocean Gateway) at the west side of the intersection with the east entranceway to Ocean Landings shopping center, Tax Map 26, Parcels 455, Lot 3B, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner / J. W. Salm Engineering, Inc., engineer
  
- IV. **Adjournment** (1:20 p.m. est.)

**WORCESTER COUNTY PLANNING COMMISSION  
MEETING MINUTES – September 2, 2021**

**Meeting Date:** September 2, 2021

**Time:** 1:00 P.M.

**Location:** Worcester County Government Office Building, Room 1102

**Attendance:**

**Planning Commission**

Jerry Barbierri, Chair  
Rick Wells, Vice Chair  
Marlene Ott, Secretary  
Ken Church  
Betty Smith  
Mary Knight  
Brooks Clayville

**Staff**

Jennifer Keener, Deputy Director, DRP  
Kristen Tremblay, Zoning Administrator  
Stu White, DRP Specialist  
Bob Mitchell, Director, Environmental Programs  
Jenelle Gerthoffer, Natural Resources Administrator  
Joy Birch, Natural Resources Specialist  
Roscoe Leslie, County Attorney

**I. Call to Order**

**II. Administrative Matters**

**A. Review and approval of minutes, August 5, 2021**

As the first item of business, the Planning Commission reviewed the minutes of the August 5, 2021 meeting.

**A motion was made by Ms. Ott, seconded by Ms. Knight, and carried unanimously to approve the minutes.**

**B. Board of Zoning Appeals Agenda, September 9, 2021**

As the next item of business, the Planning Commission reviewed the agenda for the Board of Zoning Appeals meeting scheduled for September 9, 2021. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission. No comments were forwarded to the Board.

**C. Technical Review Committee Agenda, September 8, 2021**

As the next item of business, the Planning Commission reviewed the agenda for the Technical Review Committee meeting scheduled for September 8, 2021. Ms. Tremblay was present for the review to answer questions and address concerns of the Planning Commission. No comments were forwarded to the Committee.

**WORCESTER COUNTY PLANNING COMMISSION**  
**MEETING MINUTES – September 2, 2021**

**III. Atlantic Coastal Bays and Chesapeake Bay Critical Area Comprehensive Code Update**

As the next item of business, the Planning Commission reviewed an application associated with a text amendment to update and combine the Atlantic Coastal Bays Critical Area Code and the Chesapeake Bay Critical Area Code. Jenelle Gerthoffer, Environmental Programs Natural Resources Administrator, presented to the Planning Commission.

Mrs. Gerthoffer provided a PowerPoint presentation, summarizing the areas where updates are proposed to occur in the Comprehensive update. At the beginning of the presentation, Planning Commission member Brooks Clayville asked if the presentation could be postponed and if staff could present the same information at a later meeting, to which Staff answered this could be done, but also made it known that this is the second time the Comprehensive Code update had been presented to the Planning Commission, as Staff completed a presentation during the February 2021 Planning Commission meeting.

Mr. Clayville also asked if the Comprehensive Code update will be posted on the Department's website and asked how citizens will be made aware of the Comprehensive update, to which Staff responded that the Comprehensive update will be posted on the Department's website, with the ability for questions and concerns to be electronically submitted, and there will be at least two work sessions, one in the northern end of the County and one in the Southern end of the County, where the public can attend to ask questions or provide concerns.

Also at the beginning of the presentation, Planning Commission member Ken Church asked about needing more time to review the Comprehensive update, as he did not receive his packet in the mail and did not want to provide an approval for the Comprehensive update at the meeting without fully reviewing. Staff made Planning Commissioner members aware that the presentation was being done as a courtesy and that Critical Area text amendments are not required to be reviewed by the Planning Commission.

Mr. Church also noted that members of the public have provided letters to the Planning Commission pertaining to the Comprehensive Update and asked specifically about Critical Area Buffer Maps. Staff told the Planning Commission members that the Critical Area maps are not part of the Comprehensive Code update, but that Staff just recently started to work with the Department of Natural Resources (DNR) in reviewing the map updates and that any map updates will be presented to the Planning Commission and the County Commissioners at a later date.

Mrs. Gerthoffer then continued the PowerPoint presentation, ending with a summary of how the Critical Area Code(s) support the *Worcester County Comprehensive Plan*. Planning Commission member Mary Knight asked Staff about what is required for a property owner to remove a tree in the Critical Area and what size the replacement plant needs to be. Staff responded by citing that

**WORCESTER COUNTY PLANNING COMMISSION  
MEETING MINUTES – September 2, 2021**

the question could be answered more accurately with site specific information, but generally, if a tree is removed, a tree six (6) feet in height, with a two (2) inch caliper would need to be replanted; however, the required mitigation is dependent of the Critical Area designation of a property and other environmental attributes, such as if the tree is in the buffer.

Mr. Church asked about the estimated timing of the mapping update, to which Staff stated that the map information was received in the last few weeks and Staff is now going through points that are marked by DNR as “points of concern or need for possible site visits” to determine what information we have on those areas and if a site visit will need to be scheduled for the Department and DNR to review. Staff also stated that Worcester was the last County in the State to have its maps reviewed for the update. Ultimately, the mapping update will be separate from the Comprehensive Code update.

Planning Commission member Marlene Ott then recommended that NR 3-121(e) Standards for Bald Eagle Protection, remain instead of being entirely removed, but with a note stating that if the bald eagle once again becomes a threatened or endangered species, then the County will enforce the protective measures listed in the subsection. Staff stated that this can be done and also pointed out that this section is not in COMAR; however, the County can be more restrictive than the State.

Planning Commission President Jerry Barbierri asked what the timeline is for the *Worcester County Comprehensive Plan* update, in which the Department of Planning, Review, and Permitting staff stated they plan to start this year, but have additional time to complete due to COVID. At the conclusion of questions from Planning Commission members, it was made aware that if the public has any questions about the Critical Area Comprehensive update that they can reach out to Mrs. Gerthoffer, but there will be a section placed on the Department’s website as well where questions and comments can be provided.

- III. Adjourn** – A motion to adjourn was made by Ms. Ott and seconded by Ms. Smith. The Planning Commission adjourned at 1:33 P.M.

---

Jerry Barbierri, Chair

---

Stuart White, DRP Specialist

**NOTICE OF PUBLIC HEARING  
WORCESTER COUNTY  
BOARD OF ZONING APPEALS  
AGENDA**

*THURSDAY, OCTOBER 14, 2021*

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland.

**6:30 p.m.**

**Case No. 21-59**, on the application of the Mayor and City Council of Ocean City, Maryland, on the lands of Wenzlaff Family LLP, requesting a special exception for a third dredge spoil disposal area in the E-1 Estate District, pursuant to Zoning Code §§ ZS 1-116(c)(3), and ZS 1-203(c)(11) located at 12008 St. Martins Neck Road, Tax Map 10, Parcel 29, Tax District 5 of Worcester County, Maryland.

**6:35 p.m.**

**Case No. 21-62**, on the lands of Jacnbil Properties, LLC., requesting a special exception for a Bed and Breakfast in the A-2 Agricultural District, pursuant to Zoning Code §§ ZS 1-116(c)(3), 1-202(c) (26) and ZS 1-340, located at 10850 Cathell Road, Tax Map 21, Parcel 280, Lot 1, Tax District 3 of Worcester County, Maryland.

**6:40 p.m.**

**Case No. 21-58**, on the application of Mark Cropper, on the lands of Michael & Rita O'Neill, requesting a variance to the front yard setback from 25 feet to 14.63 feet (to encroach 10.37 feet) for a proposed front porch addition in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2) and ZS 1-305, located at 12537 Rumgate Road, Tax Map 21, Parcel 8, Section A, Block 15, Lot 27, Tax District 10 of Worcester County, Maryland.

**6:45 p.m.**

**Case No. 21-60**, on the application of Mark Cropper, on the lands of Two Farms Inc., requesting a special exception to construct a freestanding, non-monument sign in the C-2 General Commercial District, pursuant to Zoning Code §§ ZS 1-116(c)(3), ZS 1-210(d)(3) and ZS 1-324(c)(4)B.4, located at 11073 Cathell Road, Tax Map 21, Parcel 253, Lot 3B, Tax District 3 of Worcester County, Maryland.

**6:50 p.m.**

**Re-advertisement of Case No. 21-42**, on the application of Hugh Cropper, IV, on the lands of Stephen & Sandra Hadley, requesting a variance to the rear yard setback from 30 feet to 19.46 feet (to encroach 10.54 feet) and a variance to the front yard setback of 50 feet to the center of the road right-of-way to 44.7 feet (to encroach 5.3 feet), for a proposed single family dwelling, in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2), and ZS 1-305 located on the south side of Snug Harbor Road, about 406 feet east of Meadow Drive, Tax Map 33, Parcel 346, Section A, Lot 9, Tax District 10 of Worcester County, Maryland.

**6:55 p.m.**

**Case No. 21-64**, on the application of Hugh Cropper, IV, on the lands of Jake & Jacqueline Kinzie, requesting a variance to the rear yard setback from 30 feet to 16 feet, (to encroach 14 feet), for a proposed single family dwelling, in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2), and ZS 1-305 located on the south side of Snug Harbor Road, about 450 feet east of Meadow Drive, Tax Map 33, Parcel 346, Block A, Lot 10, Tax District 10 of Worcester County, Maryland.

**7:00 p.m.**

**Case No. 21-63**, on the application of Hugh Cropper, IV, on the lands of Kyle Colbert, requesting a variance to the rear yard setback from 30 feet to 25.57 feet (to encroach 4.43 feet) for a proposed deck in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2) and ZS 1-305, located at 3 Harpoon Road, about 365 feet west of Seafarer Lane, Tax Map 16, Parcel 43, Section 6, Lot 667, Tax District 3 of Worcester County, Maryland.

**7:05 p.m.**

**Case No. 21-65**, on the application of Hugh Cropper, IV, on the lands of Jacqueline DeGroft, requesting a special exception for a minor subdivision in the RP Resource Protection Zoning District, pursuant to Zoning Code §§ ZS 1-116(c)(3), ZS 1-215(c)(3) and ZS 1-311, located on Riggan Ridge Road, about 575 feet north of Center Drive, Tax Map 22, Parcel 397, Lots 15A & 16B, Tax District 10 of Worcester County, Maryland.

**7:10 p.m.**

**Re-advertisement of Case No. 21-49**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 301, Lot 20, Tax District 10 of Worcester County, Maryland.

**7:15 p.m.**

**Re-advertisement of Case No. 21-50**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 301, Lot 21, Tax District 10 of Worcester County, Maryland.

**7:20 p.m.**

**Re-advertisement of Case No. 21-51**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 302, Lot 22, Tax District 10 of Worcester County, Maryland.

**7:25 p.m.**

**Re-advertisement of Case No. 21-52**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 302, Lot 23, Tax District 10 of Worcester County, Maryland

**7:30 p.m.**

**Re-advertisement of Case No. 21-53**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 307, Lot 24, Tax District 10 of Worcester County, Maryland

**7:35 p.m.**

**Re-advertisement of Case No. 21-54**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 307, Lot 25, Tax District 10 of Worcester County, Maryland

**7:40 p.m.**

**Re-advertisement of Case No. 21-55**, on the application of Hugh Cropper, IV, on the lands of Kathleen Clark, requesting a variance to the front yard setback from 25 feet to 0 feet (to encroach 25 feet) and a variance to the rear yard setback from 30 feet to 6 feet (to encroach 24 feet) for a proposed single-family dwelling & accessory apartment in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2), and ZS 1-305, located on Golf Course Road about 170 feet south of Townsend Road, Tax Map 27, Parcel 307, Lot 26, Tax District 10 of Worcester County, Maryland

**ADMINISTRATIVE MATTERS**

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE  
AGENDA**

**Wednesday, October 13, 2021 at 1:00 p.m.**

There are no items scheduled for review, therefore there will be no meeting held.



## WORCESTER COUNTY PLANNING COMMISSION

**MEETING DATE:** October 7, 2021

**PURPOSE:** Site plan review

**PROJECT:** Zoom Car Wash

**LOCATION:** Southern side of US Route 50 (Ocean Gateway) at the intersection with the eastern entranceway to Ocean Landings shopping center (Kreiling Way), Tax Map 26, Parcels 455, Lot 3B, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner / J. W. Salm Engineering, Inc., engineer.

**ZONING DESIGNATION:** C-3 Highway Commercial District.

**PROPERTY HISTORY:** The proposed project went before the Technical Review Committee (TRC) on September 8, 2021 and submitted a revised set of plans on September 14, 2021 for review by the Planning Commission.

**PROPOSED BUILDINGS/STRUCTURES:** One (1) automatic self-serve car wash center with six (6) bays and 33 self-serve vacuum stations.

**TRAFFIC CIRCULATION:** The site will be accessed off of Samuel Bowen Boulevard through two (2) existing entrances, one (1) of which is shared with the business on adjoining lot 3A. The majority of the circulation pattern is one-way towards the entrance of the car wash and subsequently through the vacuum areas toward the exits of the site.

**PARKING:** A parking tabulation has been provided on the site plans and staff has confirmed the accuracy of the calculation. A total of eight (8) spaces are required as a minimum, which have been provided. Five (5) of these parking spaces are located in the area of the office at the entrance to the site and three (3) are located at the north side of the site (all meeting code requirements for dimensions). Staff recommended relocating the parking area at the entrance to avoid incoming potential traffic conflicts with automobiles backing into the entranceway. It is the intent of the facility that the spaces will be used primarily by employees with infrequent entrances and exits. In addition to the parking spaces, there are forty-two (42) vacuum stalls for short-term use by patrons.

**PEDESTRIAN AND BICYCLE CONNECTIVITY:** One (1) bike rack is provided per the requirements of §ZS 1-320. Sidewalks have also been provided along the southern and northern property lines. A painted crosswalk is recommended across the access point shared with the neighboring business to the west.

**LOADING ZONES:** One (1) loading zone is proposed on the northeast area of the site near the “member’s touchless tunnel.”

**LIGHTING:** Site plan notes indicate that exterior lighting will be provided by building mounted lights and pole mounted luminaries. Please provide a lighting plan with fixture details for review.

**SIGNS:** Signs are not included with the site plan and will be addressed at time of building permits.

**LANDSCAPING:** A landscape plan has been provided in accordance with §ZS 1-322 and Section 17 of the *Design Guidelines and Standards for Commercial Uses*. Landscaping is proposed along the perimeter of the site as well as in areas in the vicinity of the vacuum stalls. The landscaping shall be maintained by an automatic irrigation system with rain sensor. Water will be supplied from a proposed on-site irrigation well.

In accordance with §ZS 1-322(g), a maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will be required to be provided at permit stage to accurately determine the bond amount. The Department will only hold a bond on that portion of the landscaping buffer that is required by code. Landscaping provided above and beyond the minimum requirements will not be required to be bonded.

**REFUSE REMOVAL:** A dumpster enclosure consisting of a six-foot-tall (6’), three-sided (3-sided) split face CMU block enclosure is shown on the site plan on the northwest corner of the site facing south. Additional landscaping has been provided in this area. It is not anticipated that the dumpster location will be visible from Route 50.

**FOREST CONSERVATION LAW:** This property is subject to the Forest Conservation Plan #15-15. Written confirmation has been provided by David Mathers, Natural Resources Planner with the Department of Environmental Programs stating that the property has met compliance with the Worcester County Forest Conservation Law.

**STORMWATER MANAGEMENT/ SEDIMENT EROSION CONTROL:** The Department has received confirmation from Jenelle Gerthoffer, Natural Resources Planner with the Department of Environmental Programs, that the project has obtained site development plan approval in order to proceed to the Planning Commission. Confirmation of final approval will be required prior to the Department granting signature approval for the site plan.

**WATER SUPPLY AND WASTEWATER SERVICES:** Staff will require written confirmation from the Department of Environmental Programs that their requirements have been met prior to signature approval.

**ARCHITECTURAL JUSTIFICATION:** Since this project is located within the U.S. Rt. 50 Transportation Corridor Plan area, it is subject to the *Design Guidelines and Standards for Commercial Uses*. The proposed project is located within the area designated as an ‘Agricultural-Seaside’ (blend) architectural tradition based upon the staff policy. The surrounding neighborhood consists of the Ocean Landings II Shopping Center, Walmart, Home Depot, Calvin B. Taylor Bank, McDonald’s, and others.

The proposed facility has attempted to meet the standards required in the Design Guidelines, however a number of waivers will be required which are detailed in the ‘Planning Commissioner’s Considerations.’ Under Section 2(b), the Planning Commission is able to grant a waiver to the requirements contained within where it finds that the proposed alternative building or site design features generally achieve the overall objectives of the guidelines or standards that apply to the waiver being requested.

**PLANNING COMMISSION CONSIDERATIONS:**

- Since this project is located in the ‘Agricultural and Seaside’ Blend tradition, a waiver is required in order to provide a flat roof/ appearance of a flat roof in general [Section 8(b)(4)].
- The customer entrance does not contain the required design features [Section 11(b)(1)].
- Section 12 discusses appropriate color schemes. The proposed colors for the building materials on the elevation drawings are described as “color no. 1 and color no. 2”. Staff recommends that the applicant bring a color rendering of the building plans that shows the overall color scheme of the building.
- Transparency (windows, doors, etc.) is required to be provided in accordance with Section 10(b)(1)H. A minimum 20% is required. The amounts provided are shown in the chart below:

West (side)	East (side)	Front (South)	Rear (North)
34%	38%	9%	8%

**PROPERTY OWNER:** Ocean City Partners Limited Partnership, 601 E Pratt Street, Suite 600, Baltimore, MD 21202

**APPLICANT:** Car Wash 50, LLC, 8588 Wheatland Road, Easton, MD 21601

**ENGINEER:** J.W. Salm Engineering, Inc., 9842 Main Street, Suite 3, Berlin, MD 21811

**PREPARED BY:** Stuart White, DRP Specialist



# SITE PLAN, STORMWATER MANAGEMENT (SWM) PLAN AND, SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN

## ZOOM CAR WASH

LOT 3B, GRID 2, PARCEL 455, TAX MAP 26

THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND

### GENERAL NOTES:

- ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW, UNLESS OTHERWISE NOTED. WHEREVER THE WORD "PROPOSED" IS USED, IT IS CONSIDERED INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK. ITEMS LABELED "BY OTHERS" ARE NOT INCLUDED UNDER THIS WORK.
- ALL EXISTING SITE CONDITIONS ARE BASED UPON THE BOUNDARY AND TOPOGRAPHICAL SURVEY PREPARED BY ATLANTIC GROUP ASSOCIATES & INC., DATED JULY 2021, THE UTILITY & SEDIMENT EROSION CONTROL PLAN BY DAVIS, BOWEN & FRIDEL, INC., DATED AUGUST 2017, AND THE SUBDIVISION PLAT BY VISTA DESIGN, INC., DATED NOVEMBER 2014, PROVIDED BY THE OWNER. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID PLAN(S) AND VISIT THE SITE IN ORDER TO DETERMINE, TO THEIR SATISFACTION, THE QUANTITIES OF WORK TO BE PERFORMED.
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN AND SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE PIPES ARE TOP OF PIPE ELEVATIONS.
- THESE DRAWINGS SHOW INFORMATION REGARDING ABOVEGROUND AND UNDERGROUND UTILITIES WHICH EXIST OR MAY EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM RECORDS MADE AVAILABLE TO THE ENGINEER BY THE OWNER AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE DRAWINGS OR NOT. SHOULD ANY UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VERIFICATION OF ALL EXISTING SEWER INVERTS AND EXISTING STORM DRAIN INVERTS PRIOR TO THE START OF CONSTRUCTION.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF THE WORCESTER COUNTY, MARYLAND STATE HIGHWAY DEPARTMENT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED STRUCTURES AND SHALL BE STABILIZED WITH TOPSOIL AND MULCH, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE, RESEEDED AND REMULCHED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE SEED TYPE AS SPECIFIED.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION. THE OWNER SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL ONLY.
- THE CONTRACTOR SHALL HYDRAULICALLY TEST ALL PIPES AND CHAMBERS IN THE PRESENCE OF THE ENGINEER. FORTY EIGHT HOURS NOTICE SHALL BE GIVEN TO THE ENGINEER PRIOR TO THE CONTRACTOR PERFORMING TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THIS TESTING. SHOULD ANY PORTION OF THE WORK FAIL TO MEET THE CRITERIA, THE CONTRACTOR SHALL TAKE CORRECTIVE MEASURES, AT HIS OWN EXPENSE, TO CONFORM TO THE TEST REQUIREMENTS.
- THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
- NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH-TO-GROUND WATER. GENERALLY, PIPING, TRENCH AND STRUCTURE CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.
 

A) WORCESTER COUNTY, DRP	(410) 632-1200
B) MISS UTILITY	(800) 441-8355
C) J. W. SALM ENGINEERING, INC.	(410) 641-0126
D) WORCESTER ROADS	(410) 632-0020
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF AND/OR RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL STOCKPILES UPON COMPLETION OF WORK.
- THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
- TRENCH COMPACTION FOR ALL UTILITIES SHALL BE AS FOLLOWS:
  - FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2% OF THE OPTIMUM MOISTURE CONTENT.
  - FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT
- THIS SITE IS NOT LOCATED WITH IN THE ATLANTIC COASTAL BAYS CRITICAL AREAS.
- THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS REGARDING REGARDING TIDAL WETLANDS. THERE ARE NO NON-TIDAL WETLANDS ON THIS SITE.
- A MARYLAND DEPARTMENT OF ENVIRONMENT NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE. AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, AN INSPECTION MUST BE PERFORMED ONSITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ONSITE AT ALL TIMES.
- THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF THE MARYLAND FOREST CONSERVATION ACT. FOREST CONSERVATION HAS BEEN PREVIOUSLY PLATTED FOR THIS SITE.

### LEGEND:

#### EXISTING FEATURES

PARCEL LINE	_____
CONTOUR	-----
EASEMENT	-----
OVERHEAD ELECTRIC LINE AND UTILITY POLE	OH E
CULVERT/STORM DRAIN PIPE	=====
EDGE OF PAVEMENT	-----
PUBLIC RIGHT-OF-WAY LINE	-----
BUILDING RESTRICTION LINE (BRL)	-----
TREELINE	~~~~~
DITCH CENTERLINE	-----
DITCH TOP OF BANK	-----
GRAVITY SEWER, MANHOLE & CLEANOUT	8" S
WATER MAIN, VALVE & HYDRANT	6" W

#### PROPOSED FEATURES

PROPOSED BUILDING	_____
EDGE OF PAVEMENT	-----
SPREADER STRIP	-----
SIDEWALK	-----
CONTOUR	-----
SPOT ELEVATION	28.3
GRAVITY SEWER, MANHOLE & CLEANOUT	P. 8" S @ 1.00%
WATER MAIN, VALVE, HYDRANT & SERVICE	P. 6" W

### SITE DATA:

PARCEL 455 ID# 03-788714 TOTAL SITE AREA : 3.14 +/- AC.

#### EXISTING ZONING:

C2, GENERAL COMMERCIAL AND RP: RESOURCE PROTECTION  
PROPOSED NEW PRINCIPAL USE: CAR WASH

SETBACKS (C2):  
FRONT YARD: 25 FEET  
SIDE YARD: 6 FEET  
REAR YARD: 20 FEET  
MINIMUM LOT AREA: 6,000 S.F.  
MINIMUM LOT WIDTH: 60 FT

#### PROPOSED BUILDINGS:

TYPE	SIZE
CAR WASH : FIRST FLOOR AREA:	7,206 +/- S.F.
CAR WASH : SECOND FLOOR AREA:	614 +/- S.F.
MAXIMUM BUILDING HEIGHT:	22 FEET

#### PARKING DATA:

IN ACCORDANCE WITH SECTION ZS 1-320 (a) DRIVE THROUGH ONLY

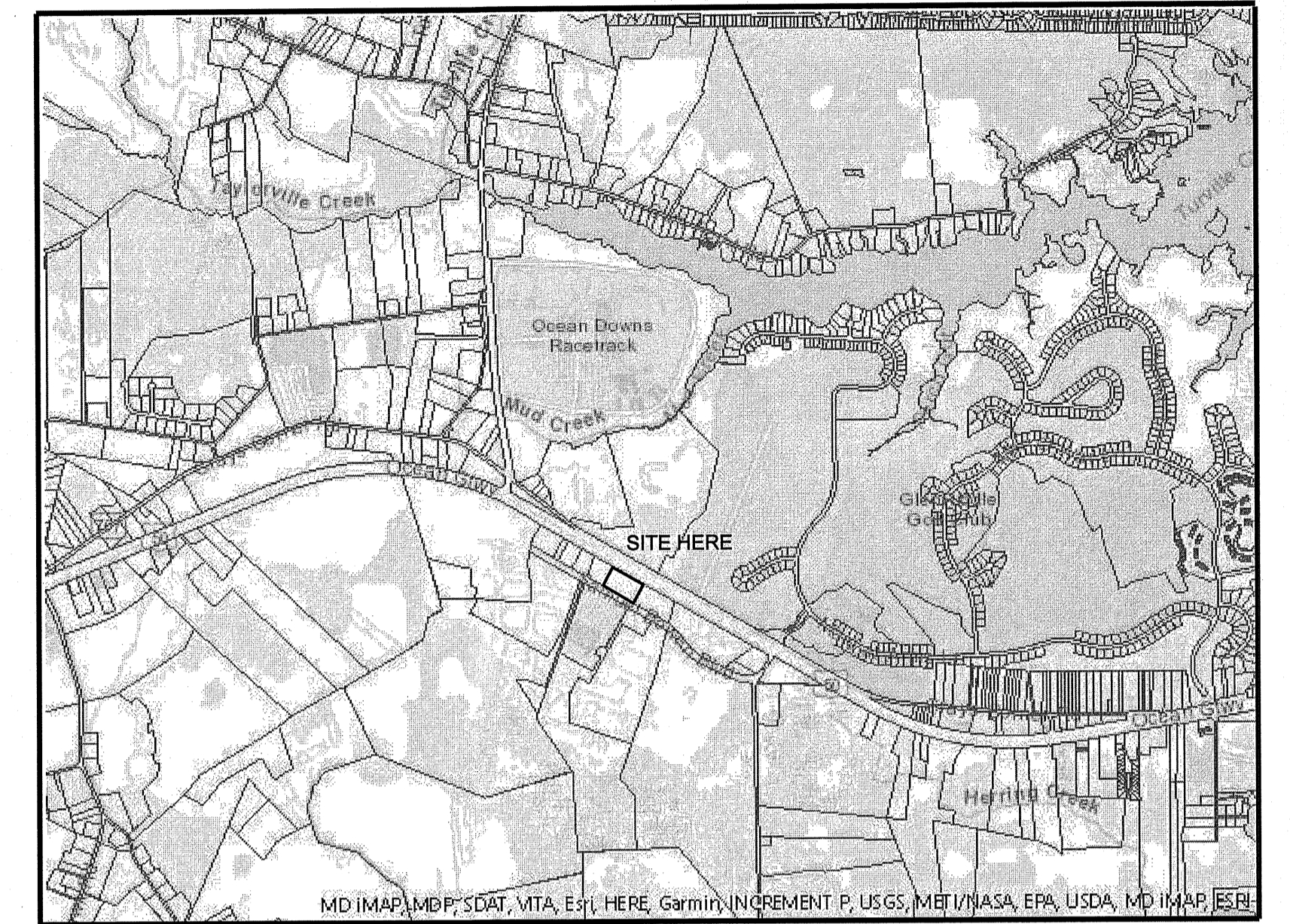
REQUIRED  
MIN: 2 PLUS 1 PER EMPLOYEE = 8  
MAX: 2 PLUS 2 PER EMPLOYEE = 14

PROVIDED  
8 STALLS, (ONE ACCESSIBLE)

#### WATER & SEWER:

WATER: PUBLIC, RIDDLE FARM SERVICE AREA  
SEWER: PUBLIC, RIDDLE FARM SERVICE AREA  
TUNNELS: 175 CARS PER DAY AT 9 GPD PER CAR = 4,025 GPD  
EXPRESS: 75 CARS PER DAY AT 5 GPD PER CAR = 375 GPD  
SELF-SERVE: 20 CARS PER DAY AT 5 GPD PER CAR = 100 GPD  
EMPLOYEES: 6 EMPLOYEES AT 15 GPD PER EMPLOYEE = 90 GPD

2,095 GPD  
6.88 EDUS  
SAY 7 EDUS



### VICINITY MAP

SCALE : 1 IN. = 2,000 FT.

AS THE PROPERTY OWNER/DEVELOPER, I AM IN FULL AGREEMENT WITH THE SITE PLAN SUBMITTED HERewith, AND I AM RESPONSIBLE FOR THE COMPLETION OF THE IMPROVEMENTS AS SHOWN ON THE APPROVED SITE PLAN, AND I UNDERSTAND THAT I CANNOT ALLOW THE PROPERTY OR BUILDINGS TO BE OCCUPIED UNTIL THE CERTIFICATE OF USE AND OCCUPANCY HAS BEEN ISSUED BY THE DEPARTMENT OF DEVELOPMENT, REVIEW AND PERMITTING.

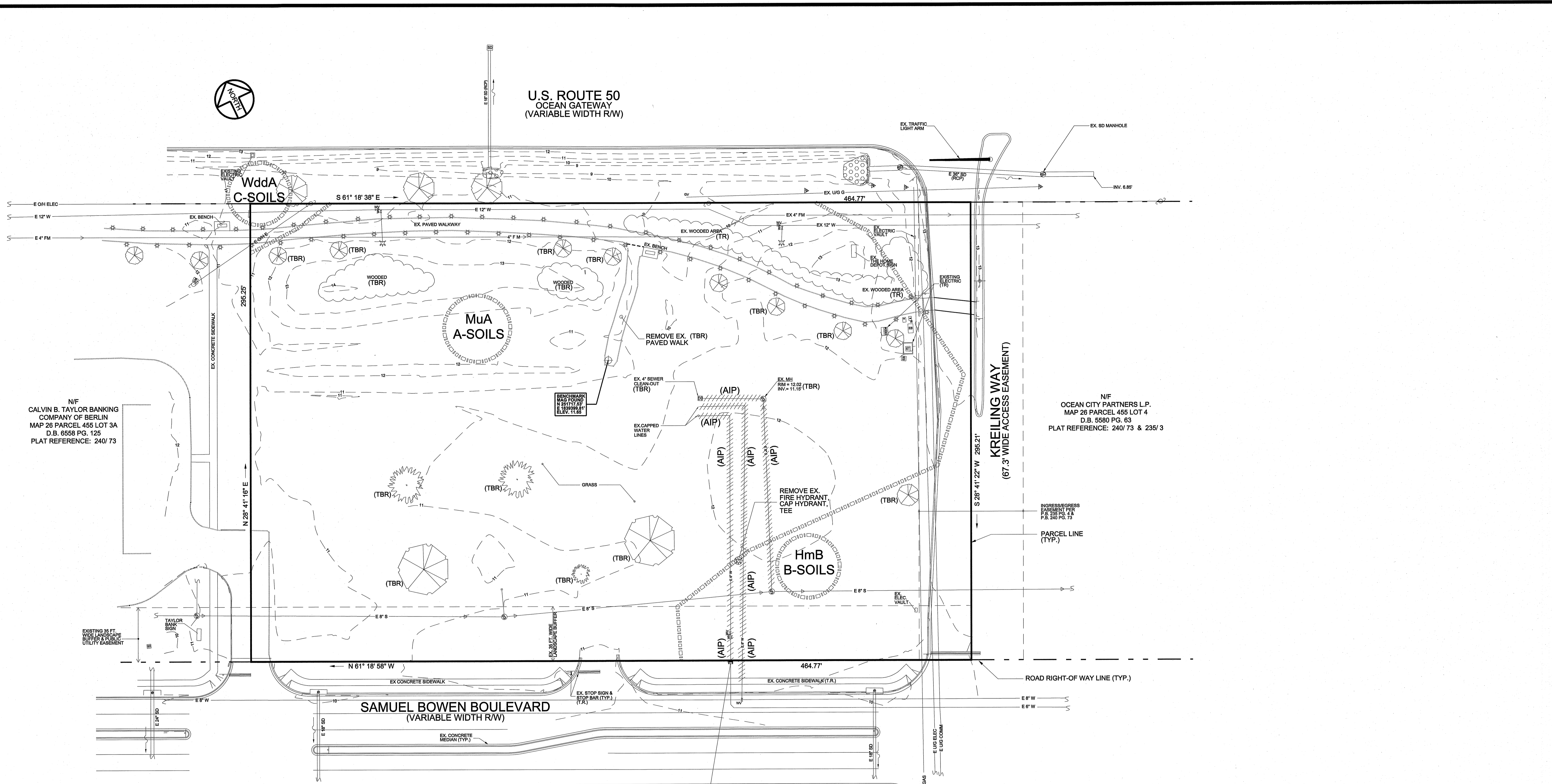
SIGNATURE/OWNER \_\_\_\_\_

### INDEX OF DRAWINGS:

DRAWING NO.:	SHEET NO.:	TITLE
471-01-001	1 of 7	COVER SHEET, NOTES, INDEX & VICINITY MAP
471-01-002	2 of 7	EXISTING CONDITIONS PLAN
471-01-003	3 of 7	SITE & DEMOLITION PLAN
471-01-004	4 of 7	STORMWATER MANAGEMENT (SWM) PLAN
471-01-005	5 of 7	SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC)
471-01-006	6 of 7	LANDSCAPE
471-01-007	7 of 7	NOTES & DETAILS

<b>APPLICANT:</b>  <b>CAR WASH 50, LLC</b>  8588 WHEATLAND RD EASTON, MD 21601 PHONE : 443.783.0230	<b>OWNER:</b>  <b>OCEAN CITY PARTNERS LIMITED PARTNERSHIP</b>  601 E PRATT ST STE 600 BALTIMORE, MD 21202-3111	<b>ENGINEER/DESIGNER:</b>  <b>J. W. SALM ENGINEERING, INC.</b>  P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811 PHONE : 410.641.0126	<b>ARCHITECT:</b>  <b>IOTT ARCHITECTURE &amp; ENGINEERING, INC.</b>  310 HAMMOND ST STE 100 SALISBURY, MD 21804 PHONE : 410.749.7229	<b>SURVEYOR:</b>  <b>ATLANTIC GROUP &amp; ASSOCIATES, INC.</b>  10044 OLD OCEAN CITY BLVD, BERLIN, MARYLAND 21811 PHONE : 410.629.1160	DESIGNED BY: JWS3 DRAWN BY: AMS CHECKED BY: JWS3 COVER SHEET, NOTES, INDEX & VICINITY MAP
					REVISIONS 09/13/21 J. W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811 SCALE: AS SHOWN DATE: AUG. 2021 DRAWING NO.: 471-01-001 SHEET NO.: 1 of 7





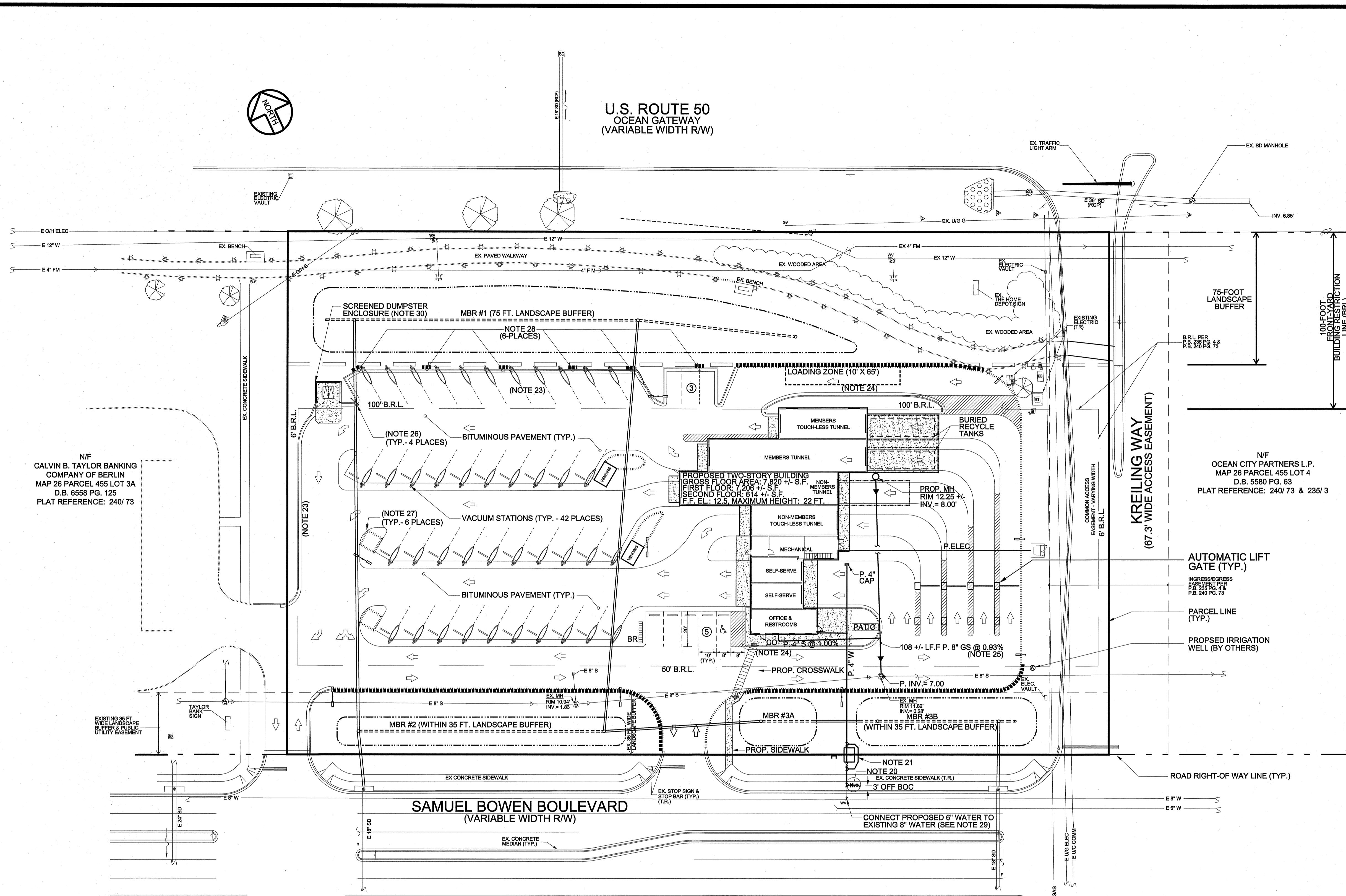
**PLAN**  
SCALE: 1" = 30'

**EXISTING CONDITIONS PLAN NOTES:**

- 1) THE DEVELOPMENT PORTION OF THE SUBJECT PROPERTY (TAX MAP # 26, PARCEL # 455, LOT 3B) APPEARS TO FALL IN FLOOD ZONE 'X' AS SHOWN ON FIRM MAP 24047C0180H, EFFECTIVE 7/16/2015. FLOOD ZONE INFORMATION SHOWN HEREON IS NOT GUARANTEED AND WAS APPROXIMATELY SCALED FROM THE FLOOD INSURANCE RATE MAPS FOR THE COUNTY INDICATED. J.W. SALM ENGINEERING, INC. IS NOT A PARTY IN DETERMINING THE REQUIREMENTS FOR FLOOD INSURANCE ON THIS PROPERTY SHOWN. FOR FURTHER INFORMATION AND TO CONFIRM THE FLOOD ZONE FOR THIS PROPERTY, CONTACT THE LOCAL COMMUNITY FLOOD OFFICIAL. FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THIS PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE.
- 2) CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH WORCESTER COUNTY DPW PRIOR TO ABANDONING OR REMOVING ANY WORCESTER COUNTY WATER AND SEWER INFRASTRUCTURE.

DESIGNED BY: MAD	DRAWN BY: AMS	CHECKED BY: JWS3	<b>EXISTING CONDITIONS &amp; DEMOLITION PLAN</b>
JOHN W. SALM, III REGISTERED PROFESSIONAL ENGINEER 19731 			
REVISIONS 09/13/21			<b>ZOOM CAR WASH</b> LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND <b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811
SCALE: 1" = 30'	DATE: AUG. 2021	DRAWING No.: 471-01-002	SHEET No.: <b>2 of 7</b>





**PLAN**  
SCALE: 1" = 30'

**WATER AND SEWER NOTES:**

- 1) ALL REFERENCES TO "STANDARD DETAILS" REFER TO WORCESTER COUNTY STANDARD SPECIFICATIONS FOR WATER MAINS AND SEWER MAINS, DATED NOVEMBER 1, 2017, LATEST REVISION.
- 2) ALL REFERENCES TO ANNA STANDARDS ARE TO THE LATEST REVISION.
- 3) CONCRETE ENCASUREMENT, IF REQUIRED SHALL BE IN ACCORDANCE WITH STANDARD DETAIL S-1.
- 4) 2" WIDE METALLIC MARKING TAPE SHALL BE PLACED ABOVE ALL INSTALLED PIPING, BY OPEN CUT METHODS ONE FOOT BELOW GROUND, BLUE FOR WATER MAINS AND GREEN FOR GRAVITY SEWER. TRACER WIRE SHALL BE INSTALLED ON TOP OF THE PIPE FOR ALL WATER AND FORCE MAINS.
- 5) BACKFILL AROUND PIPES SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD DETAIL O-2 FOR PAVED AREAS AND O-3 FOR NON-PAVED AREAS. TRENCH BACKFILL FOR PVC MAINS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 6) WATER MAIN AND SERVICE ALIGNMENT SHALL HAVE A MINIMUM 10' HORIZONTAL SEPARATION FROM SEWER MAINS EXCEPT WHERE CROSSINGS ARE SHOWN ON THIS DRAWING. PROVIDE ALL TEES, HORIZONTAL AND VERTICAL BENDS AND OTHER FITTINGS OF THE APPROPRIATE DIAMETER, AS REQUIRED FOR PROPER ALIGNMENT. PIPE DEFLECTIONS SHALL STRICTLY CONFORM TO THE PIPE MINIMUM DEPTH OF COVER FOR WATER MAINS AND SERVICES. SHALL BE 3'-6" VERTICAL CLEARANCE BETWEEN STORM DRAIN AND OTHER UTILITIES SHALL BE 12".
- 7) PULL COPPER TRACER WIRE CONTINUOUS ALONG WITH ANY HORIZONTAL DRILLED PIPES. LAY COPPER TRACER WIRE WITH OPEN-CUT INSTALLED PIPE. PROVIDE DETECTOR TAPE FOR OPEN-CUT INSTALLED PIPE. PIPE TERMINATE COPPER WIRES AT GROUND LEVEL IN VALVE BOXES OR OTHER LOCATION FOR CONVENIENT ACCESS.
- 8) ANY CONCRETE CURB AND GUTTER AND/OR ANY PAVEMENT DAMAGED SHALL BE REPLACED IN-KIND.

**CONSTRUCTION SPECIFICATIONS:**

- 1) IN GENERAL, UNLESS OTHERWISE NOTED, CONSTRUCTION SPECIFICATIONS SHALL CONFORM TO THE APPLICABLE PORTIONS OF THE NOVEMBER 1, 2017 WORCESTER COUNTY STANDARD SPECIFICATIONS FOR WATER MAINS AND SANITARY SEWERS, LATEST REVISION.
- 2) GRAVITY SANITARY SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 3-A.
- 3) WATER MAINS AND SERVICE CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 3-B.
- 4) STRUCTURES AND MASONRY SHALL BE CONSTRUCTED IN CONFORMANCE WITH SECTION 3-C.

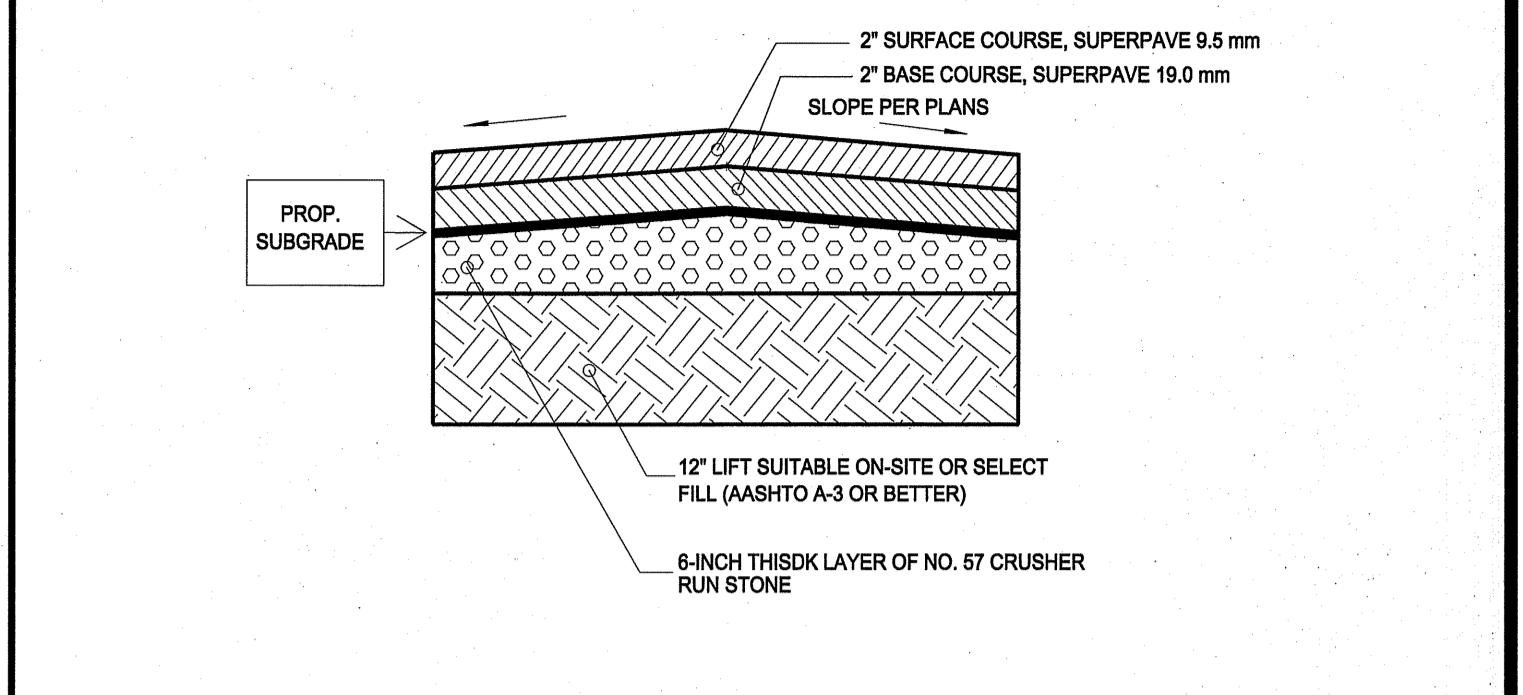
**MATERIALS SPECIFICATION:**

- 1) IN GENERAL, UNLESS OTHERWISE NOTED, MATERIAL SPECIFICATIONS SHALL CONFORM TO THE APPLICABLE PORTIONS OF THE NOVEMBER 1, 2017 WORCESTER COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR WATER MAINS AND SEWER MAINS, LATEST REVISION.
- 2) EXCAVATION AND BACKFILL SHALL CONFORM TO SECTION 02250.
- 3) AGGREGATES FOR PORTLAND CEMENT CONCRETE SHALL CONFORM TO SECTION 03300, 2.0 C1-4.
- 4) CLEAN GRAVEL FOR BACKFILL SHALL CONFORM TO SECTION 02250, 3.0 C.
- 5) PORTLAND CEMENT CONCRETE SHALL CONFORM TO SECTION 04100, 2.0 C-2.
- 6) BRICK AND MASONRY SHALL CONFORM TO SECTION 04200.
- 7) PVC WATER MAINS SHALL CONFORM TO ANNA C900 AND SECTION 02860, 2.0 E-2.
- 8) DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO SECTION 02860, 2.0 E-3.
- 9) VALVES SHALL CONFORM TO SECTION 02862. VALVE BOXES SHALL CONFORM TO SECTION 02862, 2.0 D-15.
- 10) FIRE HYDRANTS SHALL CONFORM TO SECTION 02866.
- 11) SERVICE CONNECTIONS SHALL CONFORM TO SECTION 02864. WATER SERVICE PIPE SHALL CONFORM TO SECTION 02264.
- 12) WATER METERS SHALL CONFORM TO SECTION 02864, 2.0 D-1 AND DETAILS W-8-W-11. CONTRACTOR TO REFER TO SECTION 02864 AND PART 4 PRIOR TO ORDERING METERS.
- 13) PVC GRAVITY SEWER AND LATERAL PIPE SHALL CONFORM TO SECTION 02700, 2.0 E-1.
- 14) SERVICE SADDLES SHALL CONFORM TO PART 4, NUMBER 23.
- 15) MANHOLES SHALL CONFORM TO SECTION 03400. ALL CASTINGS SHALL CONFORM TO STANDARD 5500, 2.3 D-4. MORTAR SHALL CONFORM TO STANDARD 04100.
- 16) CURB BOXES SHALL BE IN ACCORDANCE WITH PART 4, NUMBERS 12 AND 13. CURB STOPS SHALL BE IN ACCORDANCE WITH PART 4, NUMBER 26.
- 17) PVC LP SEWER FORCE MAINS, 3/4-INCHES IN DIAMETER AND LESS SHALL BE PPS PVC SDR 17 PUSH-JOINT. PVC LP SEWER FORCE MAINS 4-INCHES IN DIAMETER OR GREATER SHALL BE ANNA C-600 PVC. ALL FITTINGS, 3/4-INCHES IN DIAMETER OR GREATER SHALL BE MECHANICAL JOINT WITH RETAINER GLANDS AND THRUST BLOCKS. GLUED FITTINGS WITH THRUST BLOCKS SHALL BE USED FOR 2-1/2-INCH DIAMETER AND LESS.

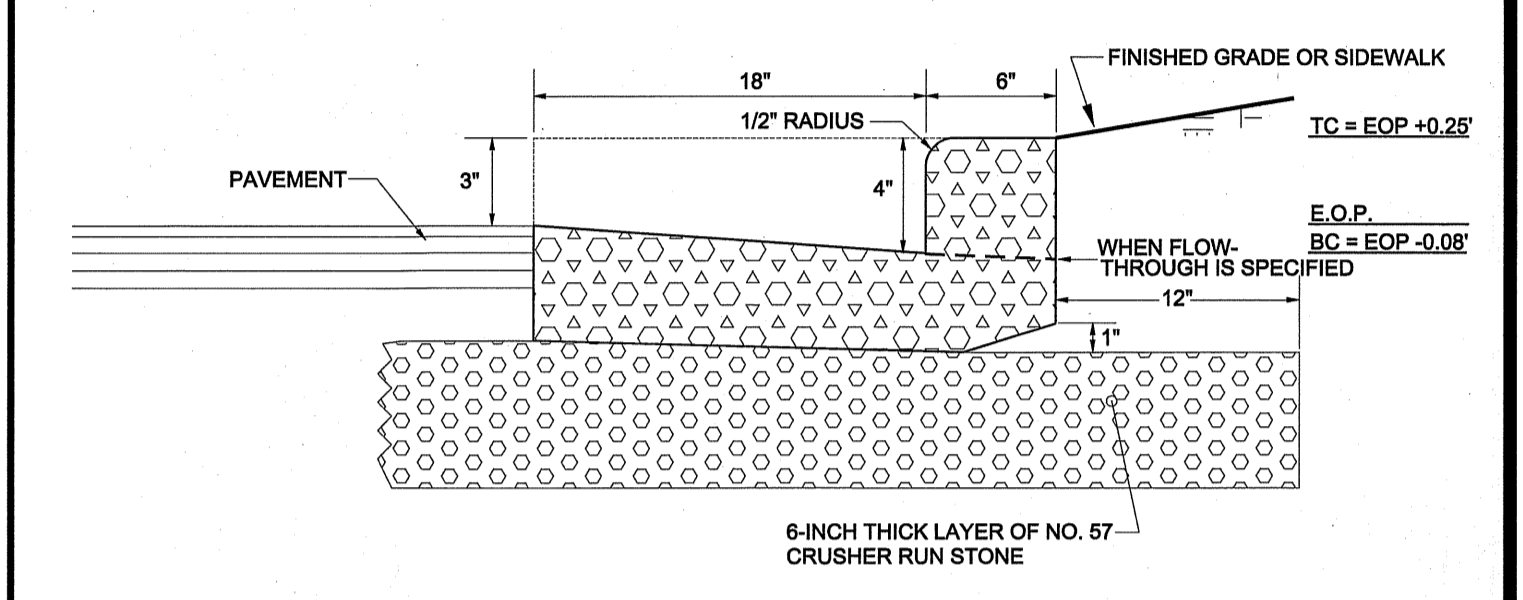
**SITE PLAN NOTES:**

- 1) BUILDING LAYOUT WAS TAKEN FROM THE PROJECT ARCHITECTURAL PLANS PREPARED BY IOTT AND ASSOCIATES, INC., PROVIDED UNDER SEPARATE COVER.
- 2) ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. EXCESSIVE MATTING SHALL BE USED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL OR STEEPER.
- 3) THIS PLAN SHOWS NO IMPACT TO NON-TIDAL WETLANDS OR THEIR BUFFERS.
- 4) NO AGRICULTURAL STRUCTURES EXIST WITHIN 200 FEET OF THIS PROJECT SITE.
- 5) INSTALL NOSE DOWN TYPE CURB AND ADA COMPLIANT RAMPS WHERE INDICATED ON PLANS. SEE DETAILS ON SHEET 12. COORDINATE WITH NOSEDOWN CURB LOCATION AND WHERE APPLICABLE PROVIDE RAISED.
- 6) EXTERIOR LIGHTING SHALL BE PROVIDED BY BUILDING MOUNTED LIGHTS SHOWN ON THE ARCHITECTURAL PLAN AND POLE MOUNTED LUMINARIES SHOWN ON THE SEPARATE LIGHTING PLAN. LIGHTING SHALL BE ADJUSTED AND DIRECTED SO AS NOT TO CAUSE ANY OBJECTIONABLE GLARE ON PROPERTIES OR ROADWAYS. ALL LIGHTING, EXTERIOR LIGHTS, SIGNS, FLOODLIGHTS, PARKING LOT LIGHTING, STREET LIGHTS, AND LIGHTING NECESSARY FOR THE SAFETY AND PROTECTION OF PROPERTY, SHALL BE DIRECTED, CONTROLLED AND FOCUSED WITHIN THE SITE'S PROPERTY LINES TO MINIMIZE GLARE AND ILLUMINATION AND ILLUMINATION OF NEIGHBORING PROPERTIES AND SPECIFICALLY TO DIRECT THE LIGHT AWAY FROM ADJOINING LOTS OR ROADS. SEE LIGHTING PLANS PROVIDED UNDER SEPARATE COVER.
- 7) NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- 8) THERE SHALL BE ONE STREET TREE PROVIDED FOR EVERY 8 PARKING SPACES. THERE SHALL BE NO PAVEMENT, CURB, OR PARKING SURFACE WITHIN FOUR FEET OF ANY TREE TRUNK. LANDSCAPING SHALL BE MAINTAINED BY THE OWNER. WATER SHALL BE PROVIDED BY ON-SITE IRRIGATION WELL AND AUTOMATIC IRRIGATION SYSTEM.
- 9) FIRE LANES SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE NOT BE LESS THAN 20 FEET IN UNOBSTRUCTED WIDTH WITH A MINIMUM VERTICAL CLEARANCE OF 13'-6".
- 10) PUBLIC WATER AND PUBLIC SEWER SERVICE SHALL BE PROVIDED BY THE OCEAN PINES SANITARY SERVICE AREA.

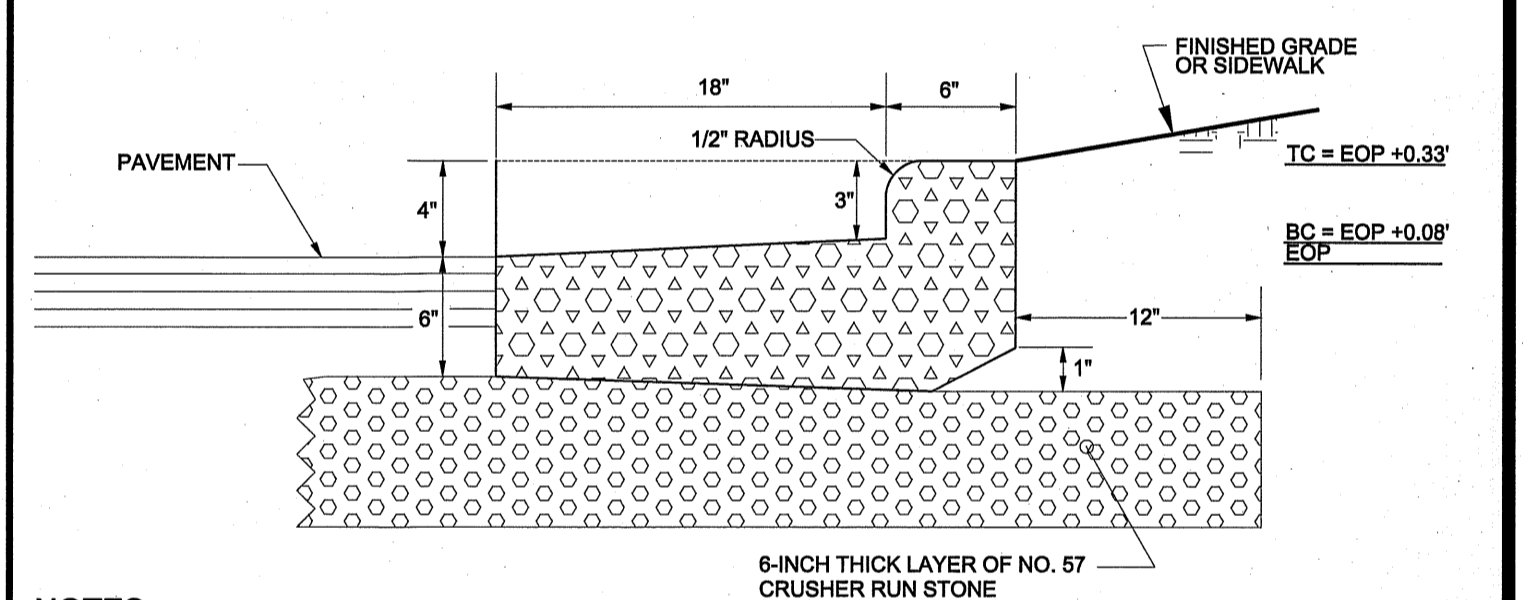
- 11) PROVIDE 30" X 30" OCTAGONAL STOP SIGN WITH DIAMOND GRADE REFLECTIVE MATERIAL. MOUNT 7' FROM GRADE TO BASE OF SIGN. PROVIDE R1-1 AND 24" WIDE PAINTED STOP BAR.
- 12) MECHANICALS SHALL BE ROOF MOUNTED.
- 13) BIKE RACKS SHALL BE MODEL RR2H, BY DERO, ANCHORED TO THE GROUND.
- 14) PHOTO-CELL CONTROLLED, DARK-SKY, FULL CUT-OFF LED WALL PACK (6240 LUMENS MAX).
- 15) NO AGRICULTURAL STRUCTURES EXIST WITHIN 200 FEET OF THIS PROJECT SITE.
- 16) ALL NEW STANDARD PARKING STALLS SHALL BE 10' X 20' AND MARKED BY PAINTED LINES ON ALL NEW HANDICAP SPACES SHALL BE VAN ACCESSIBLE. SIGNAGE MARKINGS IN ACCORDANCE WITH ADA AND WORCESTER COUNTY REQUIREMENTS SHALL BE PROVIDED. HARD SURFACE LANDING AREAS SHALL BE PROVIDED FOR ACCESSIBLES.
- 17) WASTE REMOVAL SHALL BE BY DUMPSTER WITH SCREENING.
- 18) NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- 19) THIS SITE IS NOT LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
- 20) INSTALL 6" X 6" HYDRANT TEE, 6-INCH VALVE, 6" DIP RUNOUT AND FIRE HYDRANT ASSEMBLY.
- 21) WATER METER CHAMBER, SEE DETAIL SHEET 7.
- 22) 2 FOOT WIDE DEPRESSED CURB LOCATION.
- 23) STANDARD CURB AND GUTTER.
- 24) REVERSE PAN CURB AND GUTTER.
- 25) CONNECT 2" 8" GS TO EXISTING MANHOLE WITH INSIDE DROP CONNECTION. CORE DRILLED HOLES AND LINK SEALS REQUIRED.
- 26) SINGLE RAB ALED3T150, TYPE A LUMINARIE, 150W, 16,839 LUMENS, MOUNTING HEIGHT 25 FEET.
- 27) TWIN RAB ALED3T150, TYPE A LUMINARIE, 150W, 16,839 LUMENS, MOUNTING HEIGHT 25 FEET.
- 28) CONSTRUCT 3-FOOT LONG CURB CUT TO EXISTING. 5 FT. OF STONE SPREADER STRIP BEHIND. SEE DETAIL, SHEET 7.
- 29) CONNECT PROPOSED 6" X 6" HYDRANT TEE TO EXISTING 8" WATER.
- 30) 8 FT. HIGH, 3 SIDED SPLIT FACE CMU BLOCK ENCLOSURE, OPEN FRONT. MATERIAL AND COLOR TO MATCH PRINCIPLE STRUCTURE.



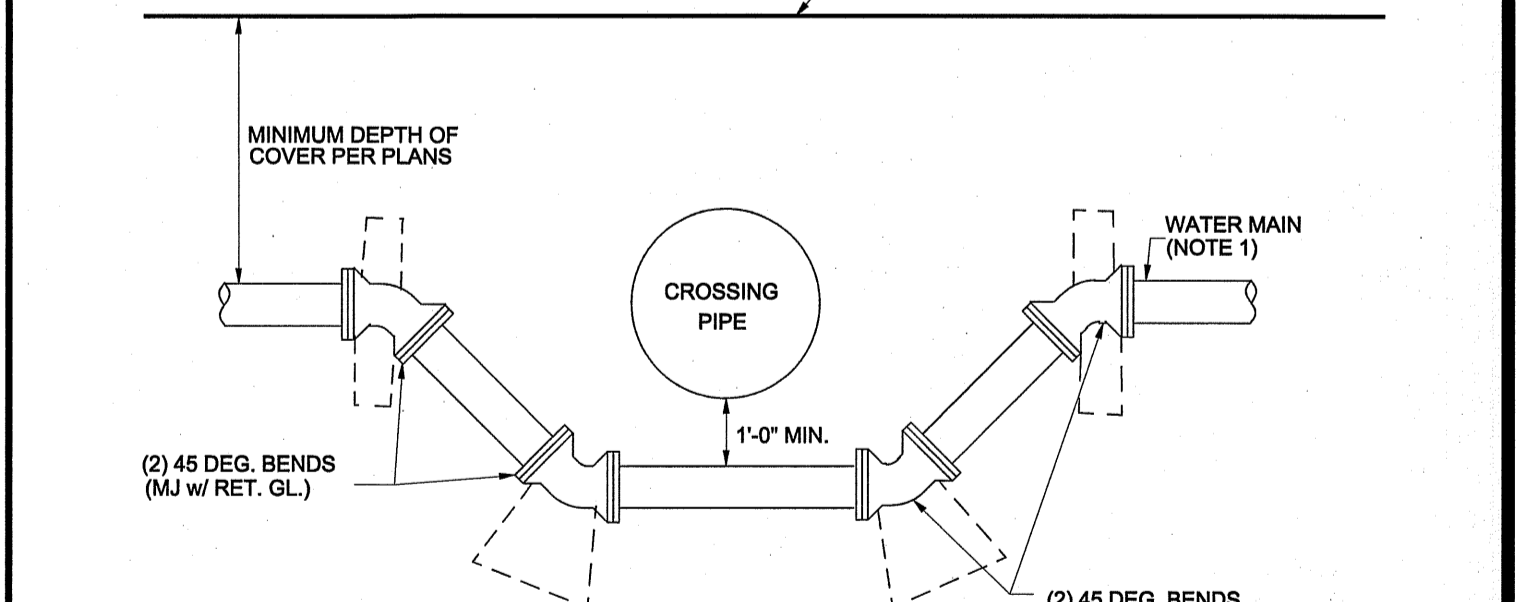
**PAVEMENT SECTION DETAIL**  
NOT TO SCALE



**STANDARD CURB & GUTTER DETAIL**  
NOT TO SCALE



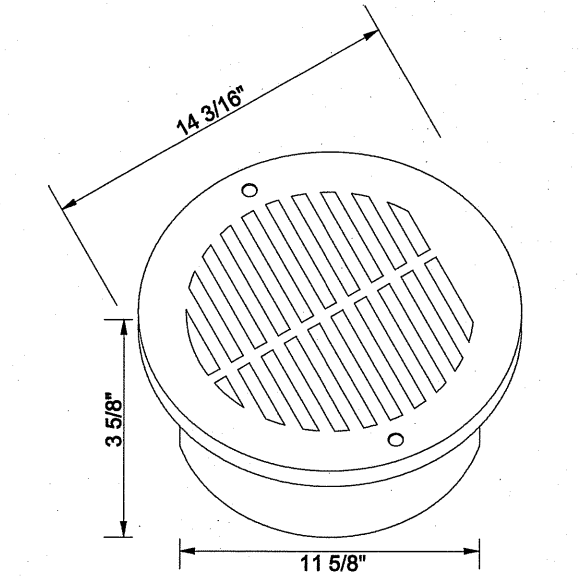
**REVERSE PAN CURB & GUTTER DETAIL**  
NOT TO SCALE



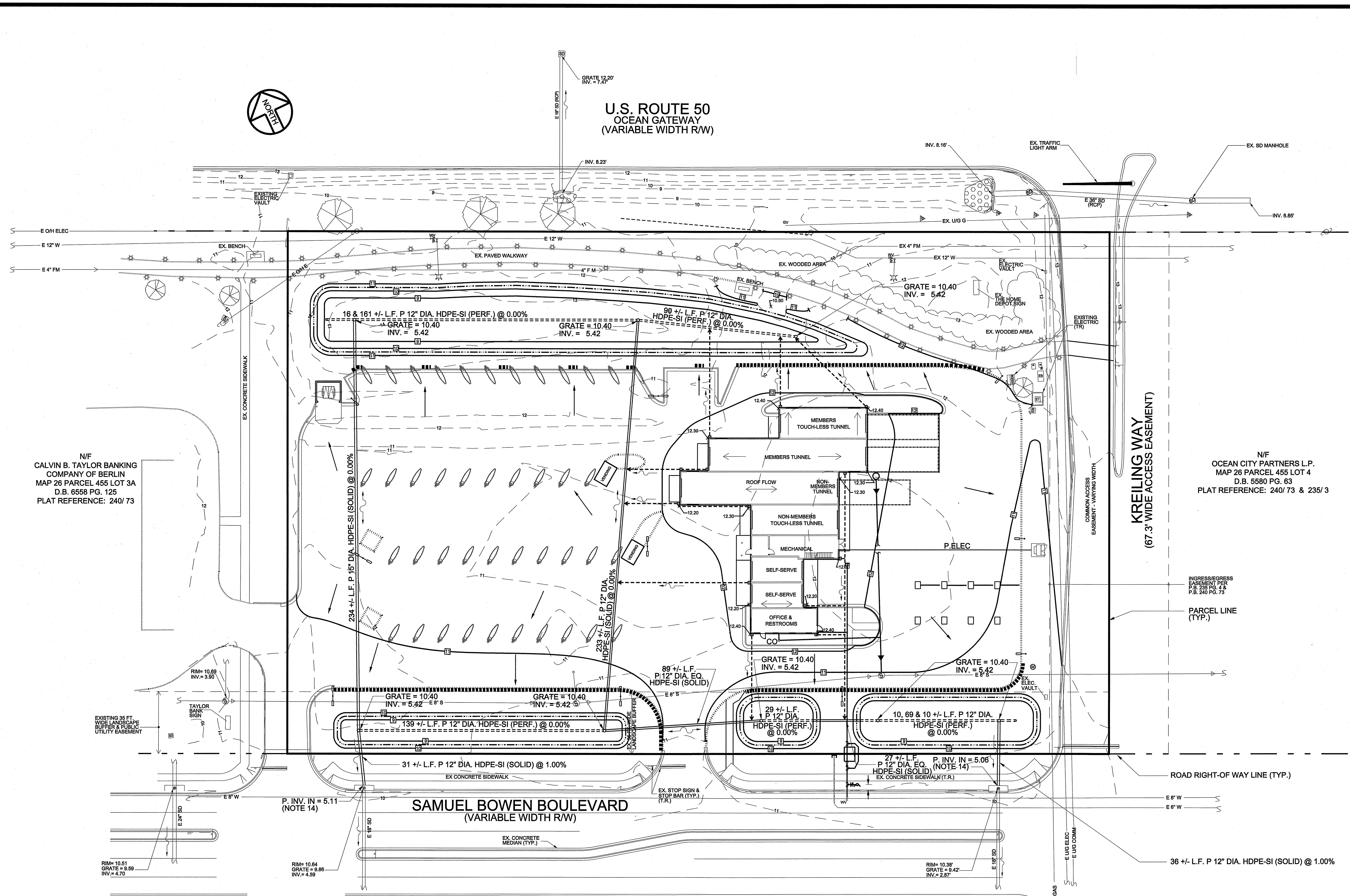
**PIPE CROSSING DETAIL**  
NOT TO SCALE

DESIGNED BY: JJR	DRAWN BY: AMS	CHECKED BY: JWS3	<b>SITE PLAN</b>	
			<b>ZOOM CAR WASH</b> LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND <b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
REVISIONS: A 09/13/21	SCALE: 1" = 30'	DATE: AUG. 2021	DRAWING No.:	SHEET No.:
			471-01-003	3 of 7





NOTES:  
 1) NDS HDPE 12" ROUND GRATE OR EQUIVALENT  
**OVERFLOW GRATE DETAIL**  
 NOT TO SCALE

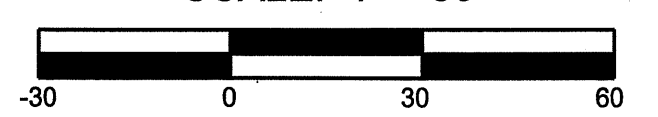


N/F  
 CALVIN B. TAYLOR BANKING  
 COMPANY OF BERLIN  
 MAP 26 PARCEL 455 LOT 3A  
 D.B. 6558 PG. 125  
 PLAT REFERENCE: 240/ 73

N/F  
 OCEAN CITY PARTNERS L.P.  
 MAP 26 PARCEL 455 LOT 4  
 D.B. 5580 PG. 63  
 PLAT REFERENCE: 240/ 73 & 235/ 3

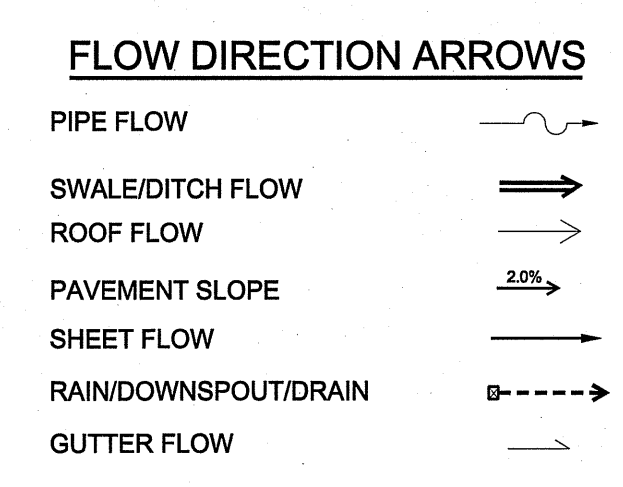
**SAMUEL BOWEN BOULEVARD**  
 (VARIABLE WIDTH R/W)

**PLAN**  
 SCALE: 1" = 30'



- NOTES:**
- UNLESS OTHERWISE NOTED, ALL STORMDRAIN PIPE SHALL BE SMOOTH BORE, HDPE SI (SMOOTH INTERIOR), ADS N-12 OR EQUAL. UNLESS OTHERWISE SPECIFIED, TRANSITIONING BETWEEN DIFFERING PIPE MATERIALS SHALL BE MADE AT INLET STRUCTURES OR JUNCTION BOXES.
  - RCP: REINFORCED CONCRETE PIPE  
 BCMP: BITUMINOUS COATED CORRUGATED METAL PIPE  
 HDPE-SI: HIGH DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR)  
 HDPE: CORRUGATED HIGH DENSITY POLYETHYLENE PIPE
  - PROVIDE OUTLET PROTECTION 12" THICK, 2.0 S.Y. RIPRAP PAD ON FABRIC, D50-7".
  - NO HIGHLY ERODIBLE SOILS EXIST ON THIS PROJECT.
  - SUBWATERSHED: 02130103 ISLE OF WIGHT BAY
  - FOREST CONSERVATION PROVISIONS HAVE ALREADY BEEN PROVIDED FOR AND PLATTED FOR THIS PROPERTY.
  - THERE ARE NO NON-TIDAL WETLANDS ON THIS SITE. THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS REGARDING IMPACT TO NON-TIDAL WETLANDS. NO WETLANDS ARE LOCATED WITHIN ANY WORK AREAS.
  - DUE TO HAVING MORE THAN 1.0 ACRE OF DISTURBED AREA, A SWM NOI IS REQUIRED.
  - ALL ROOF DRAINAGE NOT COLLECTED IN STORMDRAIN SYSTEM SHALL BE DIRECTED TO PAVED AREAS.
  - THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN THE STATE OF MARYLAND.
  - REVERSE PAN CURB AND GUTTER, SEE DETAIL SHEET 3.
  - STANDARD CURB AND GUTTER, SEE DETAIL SHEET 3.
  - FLOW THROUGH CURB CUT LOCATION.
  - THE OWNER WILL BE RESPONSIBLE FOR SWM MEASURE MAINTENANCE.
  - CONNECT PROPOSED STORMDRAIN PIPE TO BACK OF EXISTING INLET STRUCTURE WITH A CORE DRILL HOLE AND LINE SEAL.
- SWM O AND M REQUIREMENTS/ INSPECTION SCHEDULE:**
- PRIVATELY OWNED PRACTICES SHALL BE MAINTAINED BY THE PROPERTY OWNER.
  - MICRO-BIORETENTION BASINS SHALL BE INSPECTED MONTHLY AND CLEANED ANNUALLY. MEDIA AND PLANTINGS REPLACEMENT SHALL BE IN ACCORDANCE WITH THE ORIGINAL PLANS AND SPECIFICATIONS.

EXISTING IMPERVIOUS AREA: 0.13 +/- AC.  
 EXISTING IMPERVIOUS AREA (TBR): 0.03 +/- AC.  
 PROPOSED IMPERVIOUS AREA: 1.72 +/- AC.  
 TOTAL IMPERVIOUS AREA: 1.82 +/- AC.



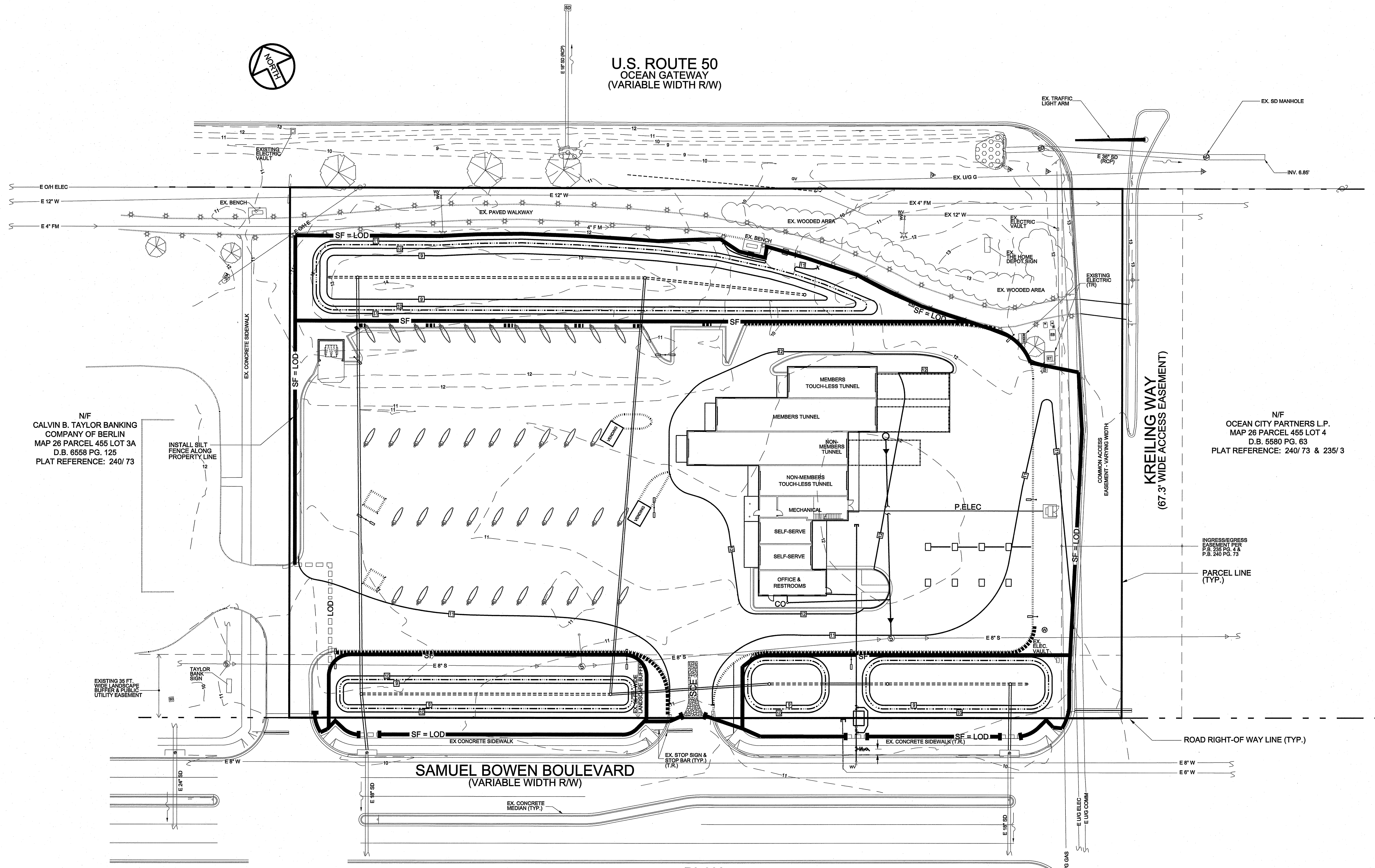
**STORMWATER MANAGEMENT SUPERVISION AND CERTIFICATION NOTE:**  
 THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN THE STATE OF MARYLAND.

	DESIGNED BY:	DRAWN BY:	CHECKED BY:	<b>STORMWATER MANAGEMENT (SWM) PLAN</b>  <b>ZOOM CAR WASH</b> LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND <b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811
	JJR	AMS	JWS3	
REVISIONS 09/13/21				SCALE: 1" = 30' DATE: AUG. 2021 DRAWING No.: 471-01-004 SHEET No.: 4 of 7

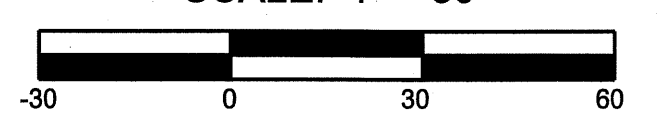
STANDARD SESC SYMBOLS / LEGEND

EARTH DIKE	A-2 / B-3	CURB INLET PROTECTION	CP
SWALE	A-2 / B-3	MEDIAN INLET PROTECTION	MIP
PERIMETER DIKE/SWALE	PDS-1	LEVEL SPREADER	LS
PIPE SLOPE DRAIN	PDS-12	GABION INFLOW PROTECTION	GM
ROCK OUTLET PROTECTION	RDP	RIP RAP INFLOW PROTECTION	RIP
STONE CHECK DAM	CD	STABILIZED CONSTRUCTION ENTRANCE	SCE
STONE OUTLET STRUCTURE	T808	REMOVABLE PUMP STATION	RPS
SILT FENCE	SF	PIPE PROTECTION	PP
LIMIT OF DISTURBANCE (LOD)	LOD	SUMP PIT	SP
STANDARD INLET PROTECTION	SIP	FILTER BAG	FB
AT GRADE INLET PROTECTION	AGIP	CULVERT INLET PROTECTION	CI
		TS: TEMPORARY SEEDING	TS
		TSSMC: TEMPORARY SEEDING AND MATTING	

U.S. ROUTE 50  
OCEAN GATEWAY  
(VARIABLE WIDTH R/W)



PLAN  
SCALE: 1" = 30'



SOIL EROSION AND SEDIMENT CONTROL (SESC)

SEQUENCE OF CONSTRUCTION (SOC):

- SCHEDULE A PRE-CONSTRUCTION MEETING WITH WORCESTER COUNTY, DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER."
- INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) AND PERIMETER SILT FENCE. PAY SPECIAL ATTENTION TO AREAS OF ENVIRONMENTAL CONCERN. SILT FENCE INSTALLATION SHALL BE INSPECTED BY WORCESTER COUNTY, PRIOR TO PROCEEDING.
- STABILIZE AND INSTALL ALL TEMPORARY S.E.S.C. MEASURES, INCLUDING INTERIOR SILT FENCE.
- ROUGH GRADE THE SITE FOR PARKING AREAS AND BUILDING PADS. CONSTRUCT BUILDINGS. STOCKPILE FILL SOILS AND SOILS AS NEEDED OR REMOVE FROM SITE.
- SURROUND STOCKPILE AREAS WITH SILT FENCE. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE 7/14 DAY RULE. STABILIZE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY SESC DEVICES.
- CONSTRUCT BUILDING FOUNDATION.
- INSTALL WATER, SEWER AND OTHER UTILITIES AS CONSTRUCTION CONTINUES.
- CONSTRUCT THE BUILDINGS.
- CONSTRUCT SIDEWALKS AND CURB & GUTTER. STABILIZE DISTURBED AREA AS WORK PROGRESSES.
- PLACE GRAVEL SUB-BASE.
- DETAILED DESCRIPTION OF SWM BMP CONSTRUCTION/PHASING. CONSTRUCT MBR BASINS LAST.
- PAVE THE SITE.
- LANDSCAPE THE SITE.
- STABILIZE THE SITE.
- REMOVE TEMPORARY SESC DEVICES AFTER FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS GRANTED.

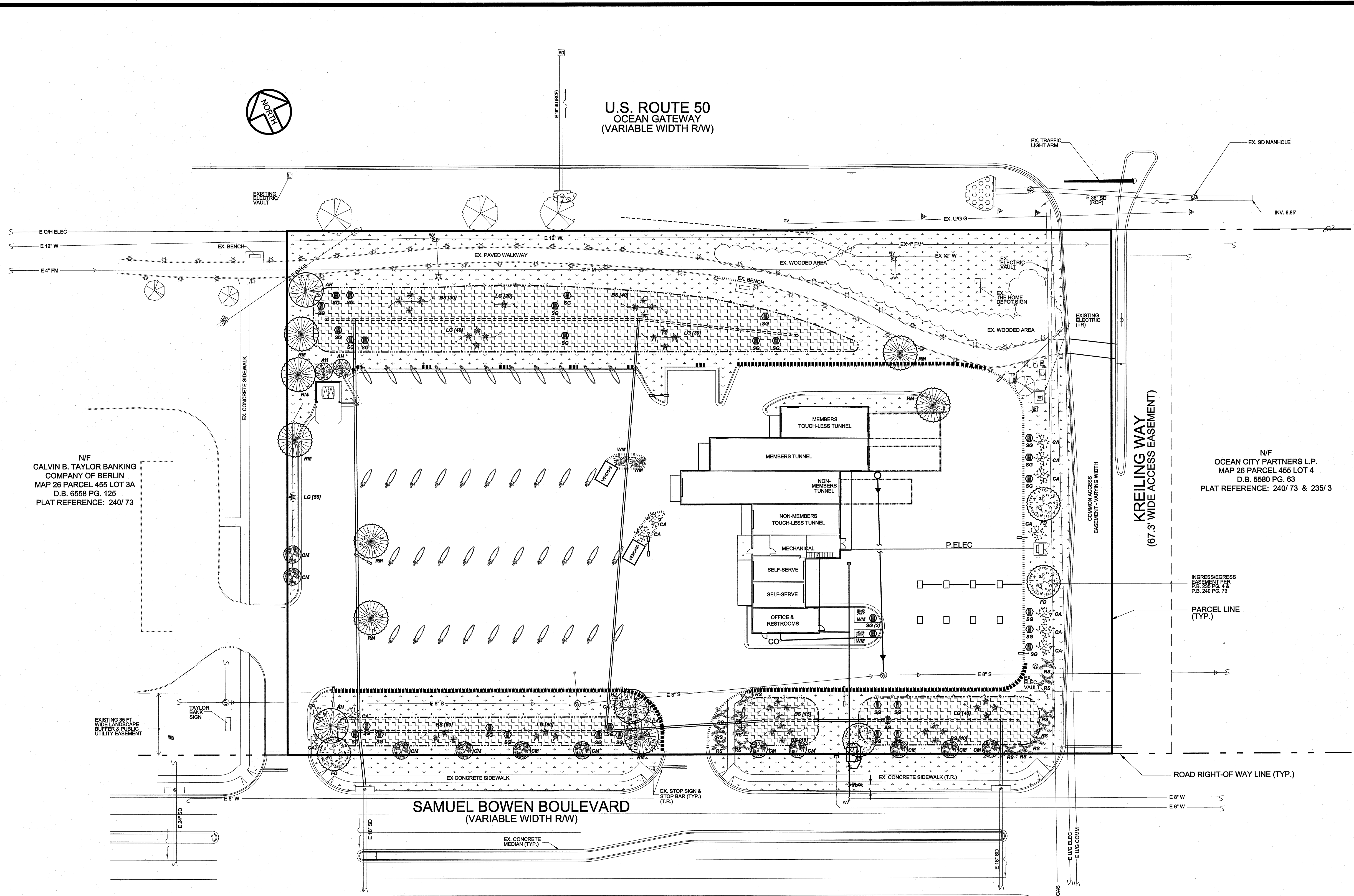
LOD = 2.56 +/- AC

SESC GENERAL NOTES:

- CONSTRUCT ALL STORMDRAINS AND INLET PIPES IN AN 'UPSTREAM' DIRECTION. WORK FROM OUTLETS OR OUTFALLS TOWARDS CATCH BASINS OR INLETS. NO SEDIMENT LADEN WATER SHALL ENTER STORMDRAIN PIPES. COVER OPEN ENDS OF PIPES WITH PLYWOOD AND STONE AS NECESSARY.
- THE PROJECT SHALL BE IN COMPLIANCE WITH ALL SECTIONS OF THE ANNOTATED CODE OF MARYLAND, ENVIRONMENTAL ARTICLE, SUBTITLE 1. SEDIMENT CONTROL 4-101 THROUGH 4-116, COMAR 26.17.01.11 AND THE 2012 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

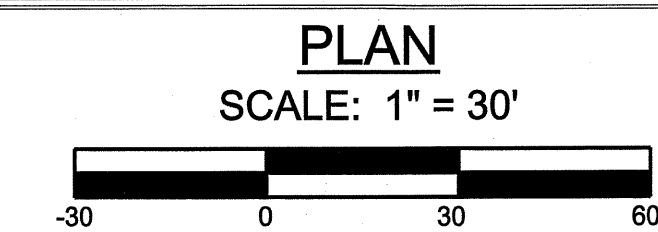
DESIGNED BY: JWS3  DRAWN BY: JJR  CHECKED BY: JWS3	<b>SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN</b>		
	<b>ZOOM CAR WASH</b> LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND		
JOHN W. SALM, III PROFESSIONAL ENGINEER LICENSE NO. 19731 STATE OF MARYLAND	<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811		
	SCALE:	DATE:	DRAWING No.:
1" = 30'	AUG. 2021	471-01-005	SHEET No.:
			<b>5 of 7</b>





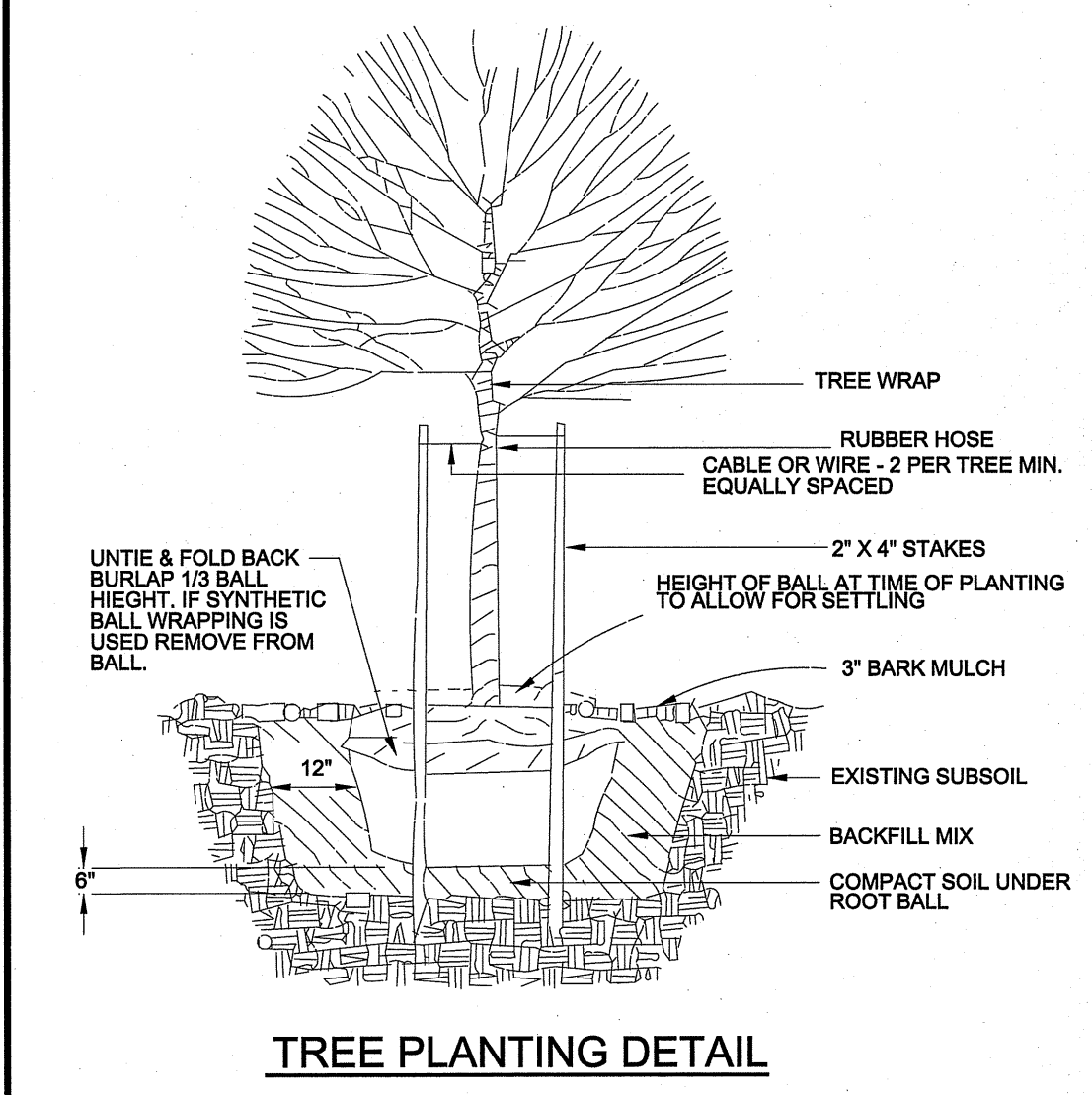
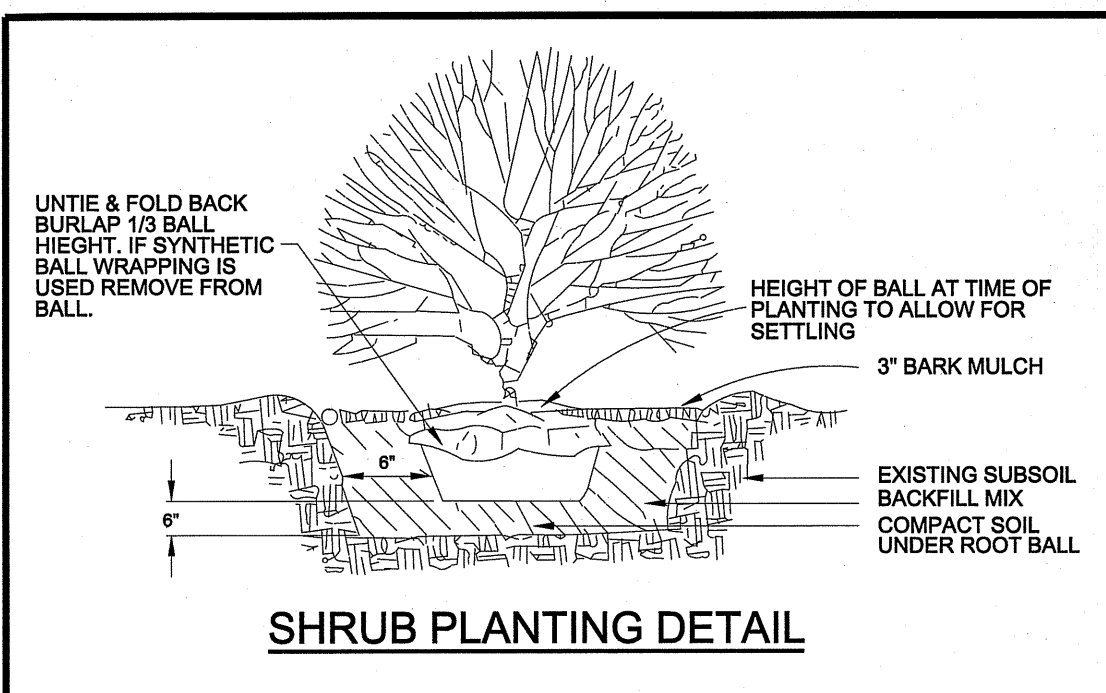
N/F  
CALVIN B. TAYLOR BANKING  
COMPANY OF BERLIN  
MAP 26 PARCEL 455 LOT 3A  
D.B. 6568 PG. 125  
PLAT REFERENCE: 240/ 73

N/F  
OCEAN CITY PARTNERS L.P.  
MAP 26 PARCEL 455 LOT 4  
D.B. 5580 PG. 63  
PLAT REFERENCE: 240/ 73 & 235/ 3



LANDSCAPING SCHEDULE				
LEGEND	QUANTITY	PLANTING		HEIGHT AT MATURITY
		HEIGHT	CALIPER/SIZE	
RED MAPLE (Acer rubrum)	8	10'	1.5"	50'
HOLLYWOOD JUNIPER (Juniperus chinensis 'Torulosa')	1	10'	1.5"	100'
AMERICAN HOLLY (Ilex opaca)	3	10'	1.5"	50'
FLOWERING DOGWOOD (Cornus Florida)	4	10'	1.5"	20'
CREPE MYRTLE (Lager Strœmii)	11	10'	1.5"	35'

LANDSCAPING SCHEDULE				
LEGEND	QUANTITY	PLANTING		HEIGHT AT MATURITY
		HEIGHT	CALIPER/SIZE	
ROSES SHRUB (Rosa Knockout)	14	1'	3 gal	2.5'
WAXMYRTLE (Myrica carthagen)	4	3'	3 gal	6'
COASTAL AZALEA (Rhododendron Atlanticum)	15	2'	3 gal	15'
SWITCH GRASS (Panicum virgatum)	31	2'	tuft	6'
BLUEWOODS SEDGE (Carex flacca sperma)	220	6"	tuft	12"
LIRIOPE GRASS (Liriope Spicata)	240	8"	1 gal	12"



**LANDSCAPING NOTES:**

- 1) NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- 2) ALL TREES SHALL BE A MINIMUM OF 1-1/2 INCH CALIPER AND 10 FEET IN HEIGHT AT THE TIME OF PLANTING.
- 3) PLANT TYPES MAY BE SUBSTITUTED FOR OTHERS USING MATERIALS NATIVE TO WORCESTER COUNTY WITH COUNTY APPROVAL. PERIODICALLY EXAMINE LANDSCAPING FOR ROUTINE MAINTENANCE SUCH AS MULCHING, PLANT REPLACEMENT AND PRUNING. WATERING SHALL BE VIA AUTOMATIC IRRIGATION SYSTEM.
- 4) LANDSCAPE IRRIGATION SHALL BE PROVIDED BY AN AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR.
- 5) THE IRRIGATION SYSTEM DESIGN SHALL BE BY THE OWNER'S CONTRACTOR. THE OWNER SHALL PAY FOR THE DESIGN AND CONSTRUCTION OF THE IRRIGATION SYSTEM.

**LANDSCAPING INSTALLATION & MAINTENANCE PLAN**

1. ALL PLANTS TO BE PRUNED AND FERTILIZED ONCE A YEAR.
2. A MAINTENANCE AND REPLACEMENT BOND FOR REQUIRED LANDSCAPING IS MANDATORY FOR A PERIOD NOT TO EXCEED TWO YEARS IN AN AMOUNT NOT TO EXCEED ONE HUNDRED AND TWENTY FIVE PERCENT OF THE INSTALLATION COSTS.

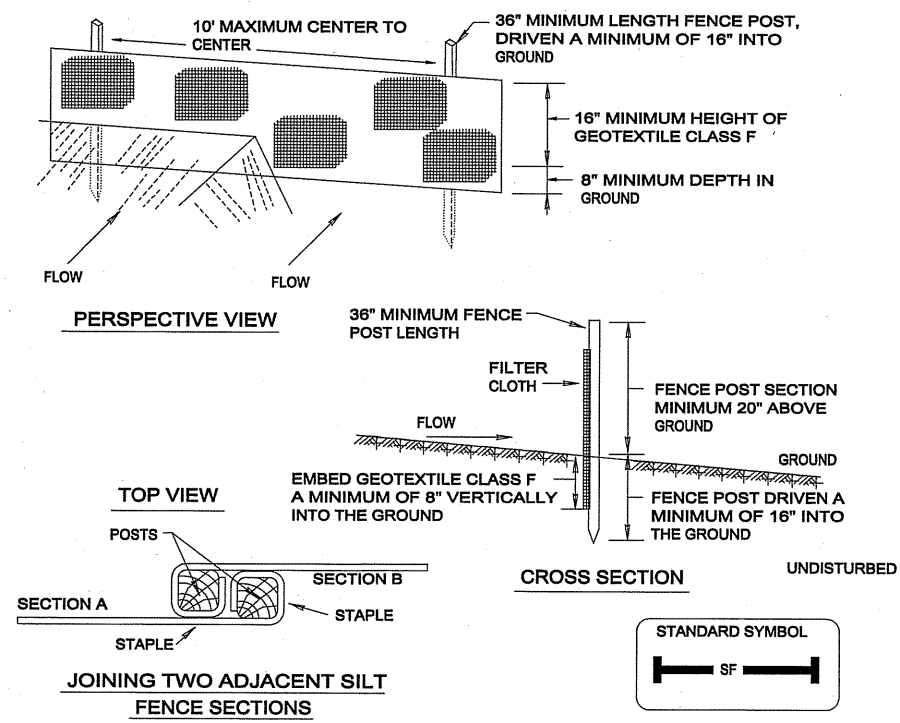
DESIGNED BY: JJR	DRAWN BY: JJR	CHECKED BY: JWS3	<b>LANDSCAPE PLAN</b>	
			<b>REVISIONS</b> 09/13/21	
<b>JOHN W. SALM, III</b> REGISTERED PROFESSIONAL ENGINEER STATE OF MARYLAND LICENSE NO. 19731			<b>LANDSCAPE PLAN</b> <b>ZOOM CAR WASH</b> <b>LOT 3B, GRID 2, PARCEL 455, TAX MAP 26</b> THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND <b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE: 1" = 30'	DATE: AUG. 2021	DRAWING No.:	SHEET No.:	
		471-01-006	6 of 7	



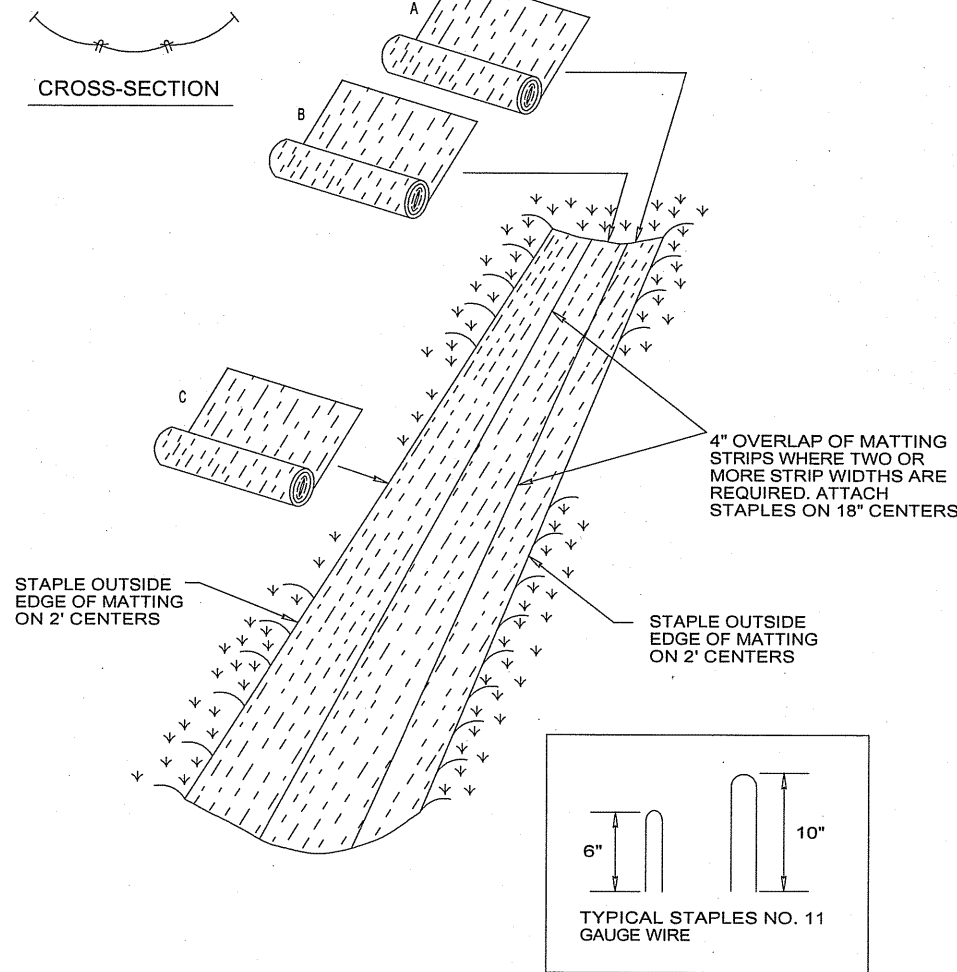
**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

- LIMITS OF SOIL DISTURBANCE, GRADING, PAVING AND/OR SEEDING/STABILIZATION INCLUDE ALL CONSTRUCTION AREAS AND ADJACENT SITES WITHIN THE LIMITS AS SHOWN.
- THE CONTRACTOR SHALL CONTACT THE WORCESTER COUNTY DEVELOPMENT REVIEW AND PERMITTING AT 410-832-1220, AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO CONTACT WORCESTER COUNTY MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SEDIMENT CONTROL AND STORMWATER MANAGEMENT MEASURES ARE INSTALLED AS SPECIFIED HEREIN, PRIOR TO START OF ANY GRADING OF THE SITE OR ANY OTHER CONSTRUCTION ACTIVITIES.
- EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO GRADING. THEY SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS AND THE WORCESTER COUNTY REQUIREMENTS.
- STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SOIL EROSION CONTROL BASINS AND SILT FENCES OR OTHER CONTROL ITEMS WHICH MAY BE REQUIRED SHALL BE CONSTRUCTED AS DETAILED HEREIN.
- ALL SEDIMENT CONTROL DEVICES SHALL BE CLEANED PERIODICALLY DURING CONSTRUCTION TO INSURE THEIR INTEGRITY AND PROPER FUNCTION.
- EACH AREA SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED WHEN SITE DEVELOPMENT WORK, GRADING OR OTHER EARTH DISTURBANCE ACTIVITIES CEASE TO BE CONTINUOUS FOR MORE THAN 7 DAYS.
- ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN OPERATION UNTIL CONSTRUCTION PROJECT IS FULLY STABILIZED BY VEGETATION OR PAVING AND FREE FROM SEDIMENT.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES MUST BE PROVIDED TO INSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED.
- DURING THE LAYOUT OF SEDIMENT CONTROL DEVICES SHOWN ON PLANS, FIELD ADJUSTMENTS SHALL BE MADE TO INSURE THAT PROPER PLACEMENT HAS BEEN MADE TO ARREST AND CONTROL ANY SEDIMENT THAT COULD LEAVE THE CONSTRUCTION SITE.
- ALL OUTFALLS ARE TO BE PROTECTED FROM ERODIVE VELOCITIES.
- PUBLIC ROADS AND OTHER RIGHT-OF-WAYS SHALL BE KEPT FREE OF SEDIMENT DEPOSITS LEFT FROM HEAVY TRUCK TRAFFIC LEAVING THE CONSTRUCTION SITE.
- PERMANENT STABILIZATION OF ALL AREAS NOT TO BE SODDED OR PAVED SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THESE DRAWINGS.
- IMMEDIATELY AFTER FINAL GRADES ARE OBTAINED, ALL AREAS TO BE PAVED, SHALL BE PAVED.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY SITE STABILIZATION SHALL BE COMPLETED WITHIN:
  - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
  - SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL TEMPORARY STOCKPILES THAT ARE TO BE LEFT UNDISTURBED SHALL, IMMEDIATELY AFTER PILING, BE FERTILIZED, LIMED AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 1 LB. PER 1,000 SF. ALL TEMPORARY STABILIZATION SHALL BE AS FOLLOWS:
  - IF STOCKPILE SLOPES ARE GREATER THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT 3 DAYS OR LONGER, IF SLOPES ARE LESS THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT TO BE UNDISTURBED 7 DAYS OR LONGER.
  - PULVERIZED DOLOMITIC LIMESTONE APPLIED AT A RATE OF 2,000 LBS. PER ACRE OR 45 LBS. PER 1,000 SF.
  - FERTILIZER (5-5-5) APPLIED AT A RATE OF 500 POUNDS PER ACRE OR 11.5 LBS. PER 1,000 SF.
  - RYE GRASS APPLIED AT A RATE OF 40 LBS. PER ACRE AND MULCH WITH STRAW AT 1.5 TONS PER ACRE.
- ANYTIME AN EROSION OR SEDIMENT PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CORRECT IT.
- THE SOIL CONSERVATION DISTRICT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT RESERVE THE RIGHT TO ADD, MODIFY OR OTHERWISE ALTER THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN AS NECESSARY TO PROVIDE ADEQUATE PROTECTION. IF THIS PLAN IS REVISED, THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEER FOR RESUBMITAL TO THE SOIL CONSERVATION DISTRICT.

**SILT FENCE (SF)**



**DETAIL 30 - EROSION CONTROL MATTING**



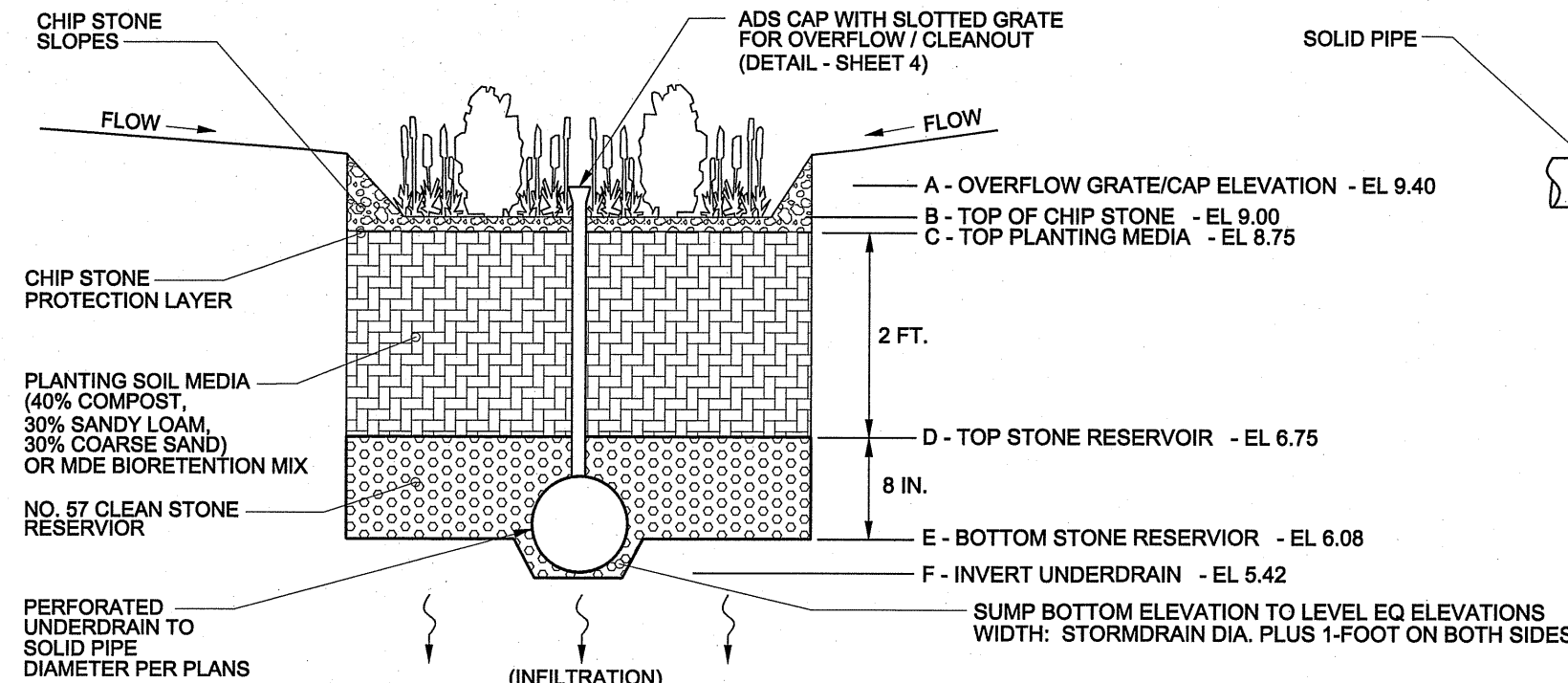
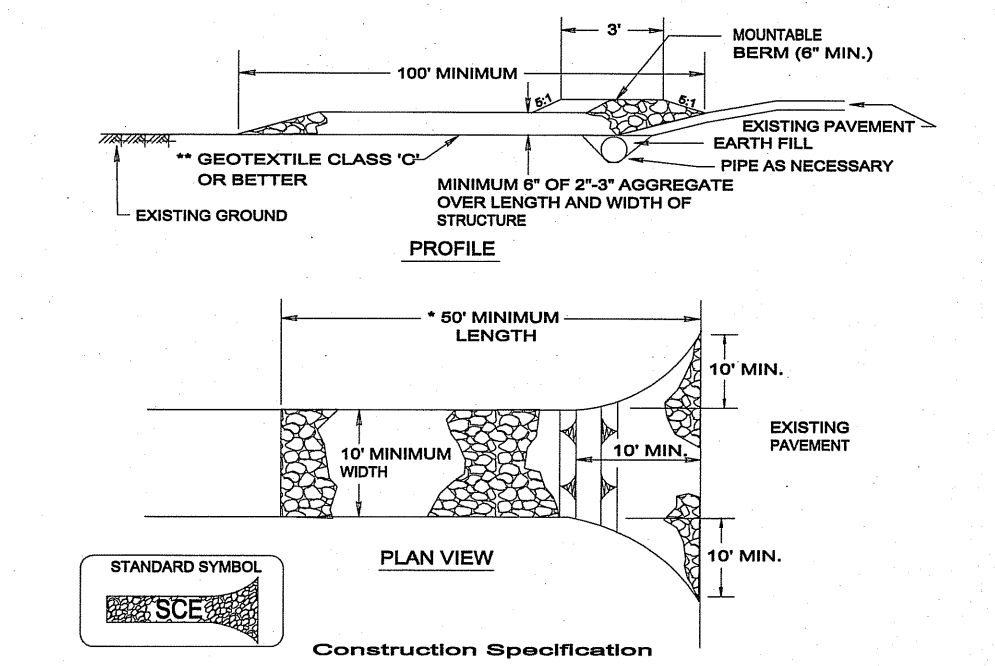
**Temporary Seeding Summary**

Seed Mixture (Hardness Zone 7b) (From Table 28)					Fertilizer Rate (10-10-10)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth		
1.	RYE	140	2/1 - 4/30 8/15 - 11/30	1"-2"	800 lb/ac (15 lb/1000 sf)	2 tons/ac (100 lb/1000 sf)
2.						
3.						

**Permanent Seeding Summary**

Seed Mixture (For Hardness Zone 7b) (From Table 28)					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	N	P205	K20	
10.	Tall Fescue	120	3/1 - 5/15	1"-2"	90 lb/ac (2.0 lb/ 1000 sf)	175 lb/ac (4 lb/ 1000 sf)	175 lb/ac (4 lb/ 1000 sf)	2 tons/ac (100 lb/ 1000 sf)
11.	Hard Fescue	30	8/15 - 11/15	1"-2"				
12.								

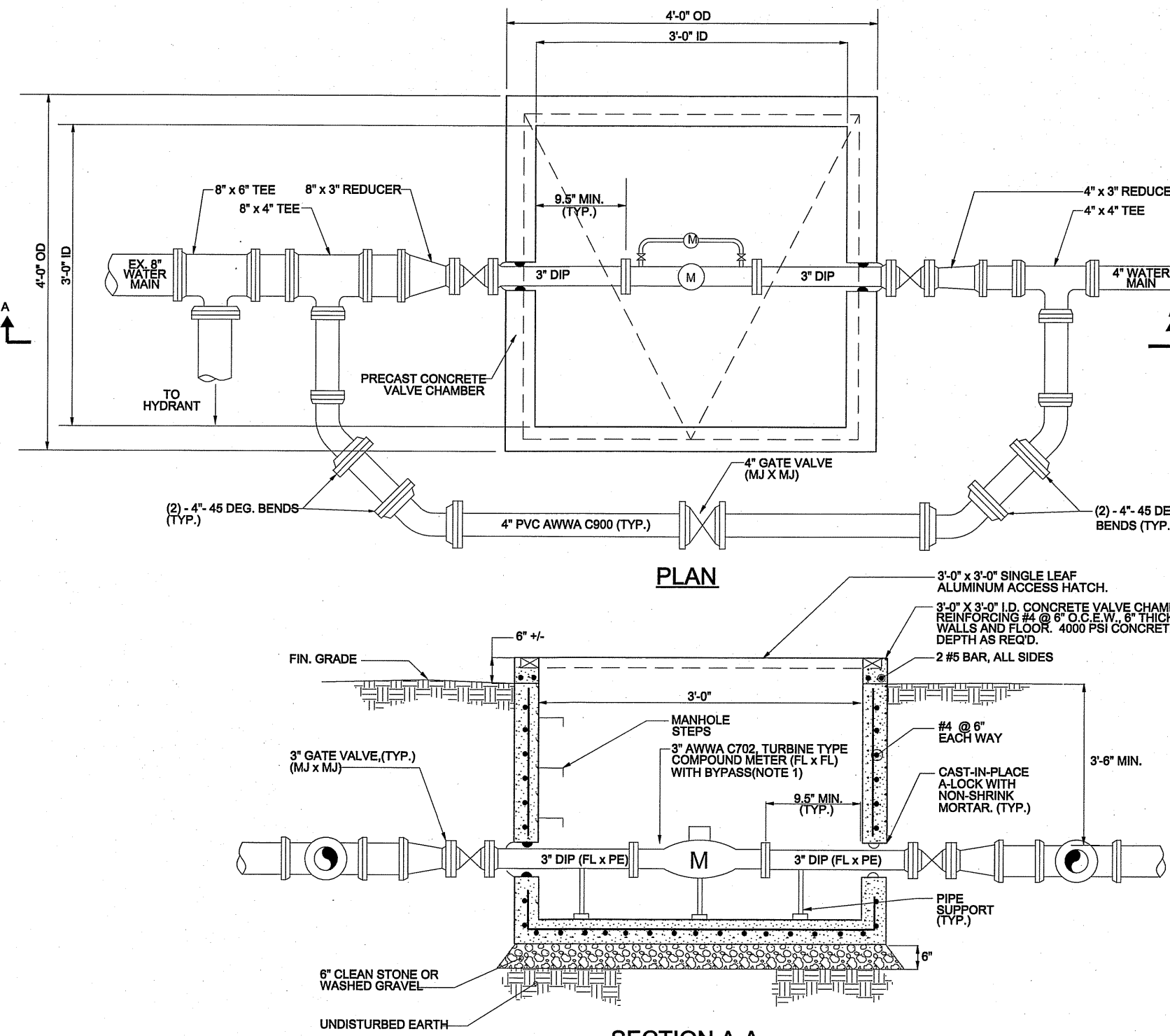
**STABILIZED CONSTRUCTION ENTRANCE (SCE)**



**MICRO-BIORETENTION SECTION (FIGURE 5.15)**

NOT TO SCALE

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2" to 4" deep] Per Plans	loamy sand (60-65%) & compost (35-40%) or sandy loam (30%) coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Chip Stone	pea gravel: ASTM-D-448	1 1/4" to 3/8"	Washed, crushed stone
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile	n/a	n/a	n/a
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGRREGATE (3/8" to 3/4")	
Underdrain piping	Per Plans	Per Plans	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with silt sock
Poured in place concrete (if required)	MSHA Mix No. 3, f'c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.0R-99, vertical loading (H-10 or H-20); allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



**NOTES:**

- RADIO READ R8001 RECORDER HEAD WITH ANTENNA MOUNTED ON HINGE SIDE OF LID.
- UNLESS OTHERWISE NOTED, ALL BURIED PIPE SHALL HAVE MECHANICAL JOINT WITH RETAINER GLAND CONNECTIONS AND ALL PIPING WITHIN CHAMBERS SHALL HAVE FLANGED CONNECTIONS.

ALL DEVELOPMENT AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE "1994 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," THE OWNER AUTHORIZES THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE WORCESTER SOIL CONSERVATION DISTRICT, MARYLAND DEPARTMENT OF THE ENVIRONMENT OR THEIR AUTHORIZED AGENTS: (1) ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN. (2) ALL RESPONSIBLE PERSONNEL (ONE MINIMUM) INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. (3) THE OWNER OR DEVELOPER SHALL CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ENFORCEMENT AUTHORITY AND/OR MDE.

ANYTIME A SOIL EROSION OR SEDIMENT CONTROL PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES WILL BE TAKEN BY THE OWNER AND/OR CONTRACTOR TO CORRECT THE PROBLEM. ALL PHASES OF CONSTRUCTION WILL ADHERE TO ALL SEDIMENT AND EROSION CONTROL MEASURES AS SET FORTH IN THE APPROVED SEDIMENT AND EROSION CONTROL PLAN FOR THIS SITE.

SIGNATURE/OWNER \_\_\_\_\_ PRINTED NAME/OWNER \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE/OWNER \_\_\_\_\_ PRINTED NAME/OWNER \_\_\_\_\_ DATE \_\_\_\_\_

**SITE DATA:**

- TAX MAP 26, P. 465, GRID 2, LOT 3B; DEED REF.: 05580/00063
- TOTAL TRACT: 3.14+- AC
- TOTAL DISTURBED AREA: 2.56 +- AC
- ONSITE SOILS CONSIST OF:  
MUA - MATTAPEX SILT LOAM  
W6SA - WOODSTOWN SANDY LOAM  
H1B - HAMMONTON LOAMY SAND
- CONTACT WORCESTER COUNTY AT 410.832.1220, PRIOR TO PERFORMING ANY WORK ON THIS PROJECT IN ORDER TO SCHEDULE A PRE- CONSTRUCTION CONFERENCE.
- AN NOI IS REQUIRED DUE TO THE SITE HAVING MORE THAN 1.0 ACRES OF DISTURBED AREA.
- APPLICANT/DEVELOPER:  
CAR WASH 50, LLC  
8568 WHEATLANDS RD  
EASTON, MD 21601  
PHONE: 443-783-0230

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS.

SIGNATURE: *[Signature]* DATE: 9/14/21

JOHN W. SALM, III  
MARYLAND PROFESSIONAL ENGINEER LICENSE NO.: 19731

ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND STORMWATER MANAGEMENT PLAN FOR THIS SITE. ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE. ALL STRUCTURAL DEVICES FOR STORM WATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION. ON ALL SITES (EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS): UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

SIGNATURE/APPLICANT \_\_\_\_\_ PRINTED NAME/APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

DESIGNED BY: JWS3  
 DRAWN BY: JJR  
 CHECKED BY: JWS3

REVISIONS

JOHN W. SALM, III  
 MARYLAND PROFESSIONAL ENGINEER  
 LICENSE NO. 19731

**NOTES AND DETAILS**

**ZOOM CAR WASH**  
 LOT 3B, GRID 2, PARCEL 455, TAX MAP 26  
 THIRD TAX DISTRICT, BERLIN, WORCESTER COUNTY, MARYLAND

**J. W. SALM ENGINEERING, INC.**  
 P. O. BOX 397, 9842 MAIN STREET, SUITE 3  
 BERLIN, MD 21813

SCALE: AS SHOWN DATE: AUG. 2021 DRAWING No.: 471-01-007 SHEET No.: 7 of 7

CONTACT INFORMATION	
<b>LANDOWNER</b>	
CALVIN B TAYLOR BANKING COMPANY OF BERLIN MD 24 NORTH MAIN STREET BERLIN, MD 21811 PHONE: 410-641-1700	
<b>CONSULTANT</b>	
IOTT ARCHITECTURE & ENGINEERING, INC. 310 HAMMOND STREET, SUITE 100 SALISBURY, MD, 21804 PHONE: (410) 749-7229 FAX: (410) 749-0001 E-MAIL: kiott@iottarchitecture.com	

PROJECT DATA
DEED REF: 06558/ 00125 PLAT REF: 24073 PARCEL No: 0455 LOT No.: 003A COUNTY: Worcester TAX MAP: 0026 GRID: 0002 PLAT No.: 240073 SUBDIVISION: OCEAN LANDINGS

# ZOOM MULTI-SERVICE CAR WASH OCEAN LANDINGS

## TAX MAP 26, PARCEL 455, TAX I.D. 172880 WORCESTER COUNTY, MARYLAND

BUILDING CODE ANALYSIS	
APPLICABLE BUILDING CODES (JURISDICTION: WORCESTER COUNTY)	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL PLUMBING CODE 2017 NATIONAL ELECTRIC CODE MARYLAND ACCESSIBILITY CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGNS
APPLICABLE LIFE SAFETY CODE	2015 LIFE SAFETY CODE (NFPA 101)
CONSTRUCTION TYPE	TYPE III - B
BUILDING USE GROUP	USE GROUP B - BUSINESS
FLOOR AREA	8,194 SQUARE FEET
FIRST STORY	7,231 SQUARE FEET
MEZZANINE	396 SQUARE FEET
SECOND STORY	567 SQUARE FEET
ALLOWABLE FLOOR AREA	19,000 SQUARE FEET
SPRINKLER INCREASE	NONE
FRONTAGE INCREASE	NONE TAKEN
OCCUPANT LOAD	44 PERSONS
SERVICE BAYS (AGGREGATE)	874 S.F. / 200* = 5 PERSONS
AUTOMATIC BAYS (AGGREGATE)	5,160 S.F. / 200* = 26 PERSONS
BUSINESS AREA (OFFICE + RESTROOM)	558 S.F. / 150 = 4 PERSONS
SECOND FLOOR	483 S.F. / 150 = 4 PERSONS
MEZZANINE	396 S.F. / 300 = 2 PERSONS
MECHANICAL	640 S.F. / 300 = 3 PERSONS
	* CALCULATED ON BASIS OF PARKING GARAGE AS CLOSEST PARALLEL USAGE.
NUMBER OF STORIES	TWO (2)
ALLOWABLE NUMBER OF STORIES NO INCREASE TAKEN	THREE (3), DOES NOT EXCEED 55' HIGH
<b>FIRE RESISTIVE ELEMENTS:</b>	
OCCUPANCY (USE GROUP) SEPARATIONS	NOT APPLICABLE
TENANT SEPARATION	NOT APPLICABLE
STAIR ENCLOSURES	ONE HOUR RATED
SHAFT ENCLOSURES	ONE HOUR RATED
EXIT ACCESS CORRIDORS	NOT APPLICABLE
FLOOR CONSTRUCTION	NOT RATED
ROOF CONSTRUCTION	NOT RATED
EXTERIOR WALL CONSTRUCTION	NOT RATED
<b>BUILDING IS NOT SPRINKLERED.</b>	

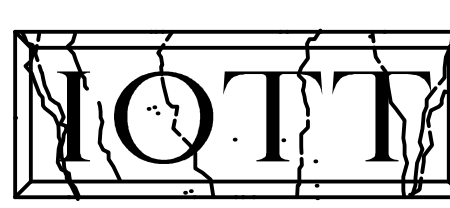
## SITE PLAN APPROVAL

SEPTEMBER 30, 2021

GENERAL NOTES
A. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
B. ANY ITEM WHICH IS NOT EXPRESSLY SHOWN BUT WHICH IS REASONABLY UNDERSTOOD TO BE REQUIRED FOR THE PROPOSED WORK SHALL BE ACCOUNTED FOR IN THE BID AND PROVIDED BY THE APPROPRIATE SUBCONTRACTOR OR SUPPLIER.
C. CONTRACTOR SHALL STORE, TRANSPORT, AND DISPOSE OF DEMOLITION AND CONSTRUCTION DEBRIS IN STRICT ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL CODES AND REGULATIONS.
D. THESE DRAWINGS ARE NOT PRESENTED AS FULL SERVICE DRAWINGS. THEY ARE PROVIDED TO ASSIST THE OWNER OR CONTRACTOR IN OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
E. IN THE EVENT THAT ADDITIONAL INFORMATION IS REQUIRED FOR BIDDING OR CONSTRUCTION, CONTACT THE ARCHITECT IN A TIMELY MANNER SO AS NOT TO ADVERSELY AFFECT THE PROSECUTION OF THE WORK.
F. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES AND FOR ALL SAFETY PRECAUTIONS AS THEY RELATE TO THIS PROJECT.
G. THE CONTRACTOR SHALL SECURE ALL PERMITS, APPROVALS, AND INSPECTIONS FOR THIS PROJECT AS REQUIRED BY MUNICIPAL, COUNTY, OR STATE REGULATIONS OR REQUIREMENTS.
H. CONSTRUCTION PERSONNEL SHALL PARK IN DESIGNATED AREAS.
I. THE SITE SHALL BE MAINTAINED IN CLEAN CONDITION DURING CONSTRUCTION. DEBRIS SHALL NOT BE STORED ON SITE. MATERIALS SHALL BE STORED OR STAGED IN AREAS DESIGNATED BY THE OWNER.
J. THE CONTRACTOR SHALL COORDINATE WITH OWNER AND MAKE NECESSARY ACCOMMODATIONS FOR COMPONENTS PROVIDED BY OWNER OR HIS SUBCONTRACTOR.

IOTT FILE NO. 21-028

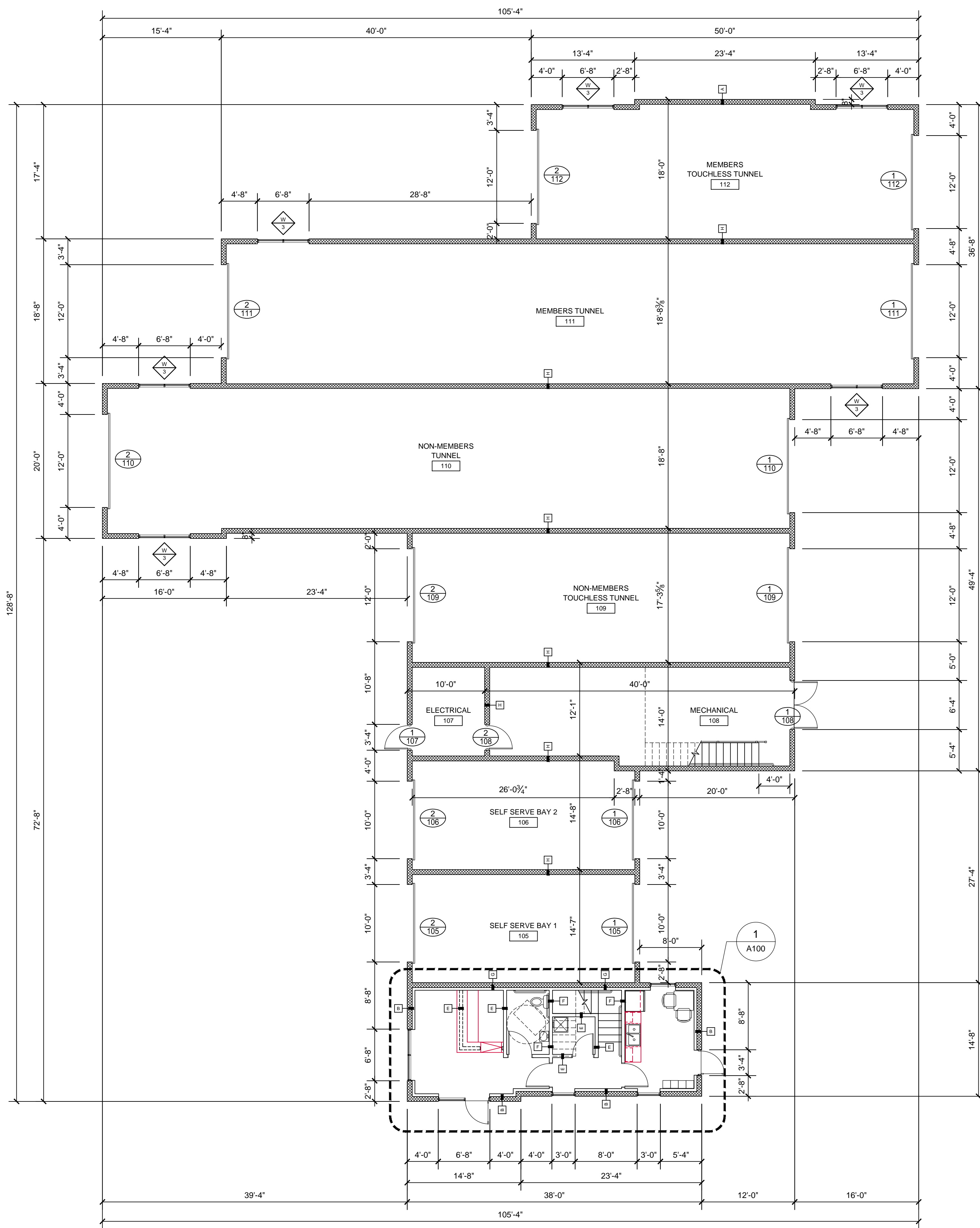
ARCHITECT'S CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
KEITH IOTT, LICENSE NO. 9057 EXPIRATION DATE: MARCH 25, 2022

	<b>ARCHITECTURE ENGINEERING INCORPORATED</b>
310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND (410) 749-7229 • FAX (410) 749-0001	

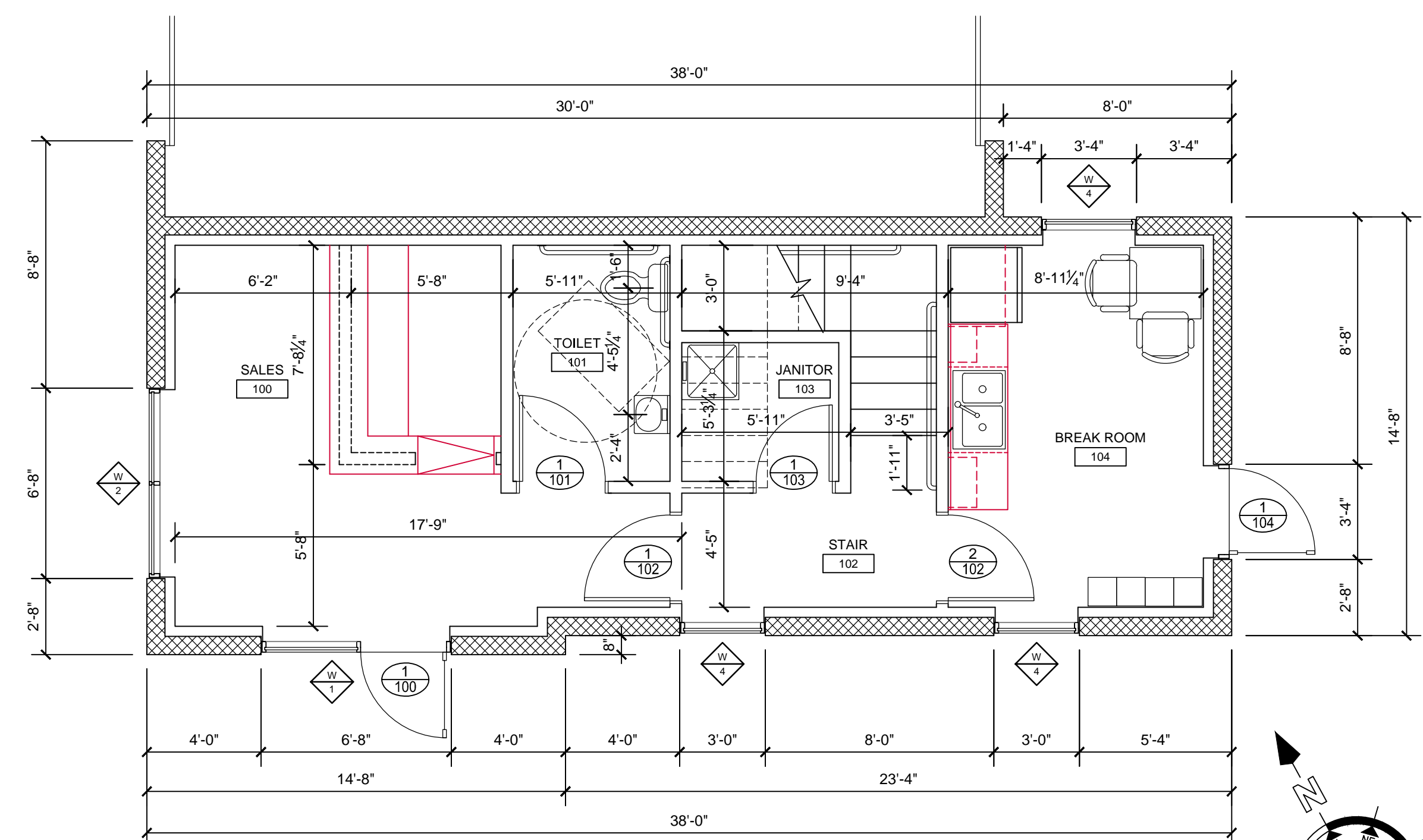
LIST OF DRAWINGS		ISSUE DATE	REV. DATE
CS1	COVER SHEET	10-22-2021	
ARCHITECTURAL			
A100	FIRST FLOOR PLANS	09-30-2021	
A101	SECOND FLOOR PLAN	09-30-2021	
A300	EXTERIOR ELEVATIONS	09-30-2021	
A301	EXTERIOR ELEVATIONS	09-30-2021	

ZOOM MULTI-SERVICE CAR WASH  
OCEAN LANDINGS  
TAX MAP 26, PARCEL 455  
WORCESTER COUNTY, MARYLAND

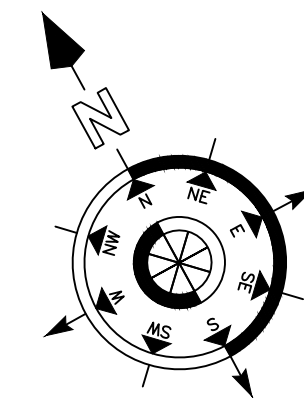




FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 ENLARGED FIRST FLOOR PLAN @ OFFICE  
SCALE: 1/4" = 1'-0"



DATE: AUG 15, 2021  
IOTT PROJ. NO.: 21-028  
DESIGN BY: KI  
DRAWN BY: KI  
SCALE: AS NOTED  
STAGE: SITE PLAN APPR.  
DWG. FILE: 21-028 A100

ZOOM MULTI-SERVICE CAR WASH  
OCEAN LANDINGS  
WORCESTER COUNTY, MARYLAND  
MAP 26, PARCEL 455, TAX I.D. 172880  
OVERALL AND ENLARGED FIRST FLOOR PLANS

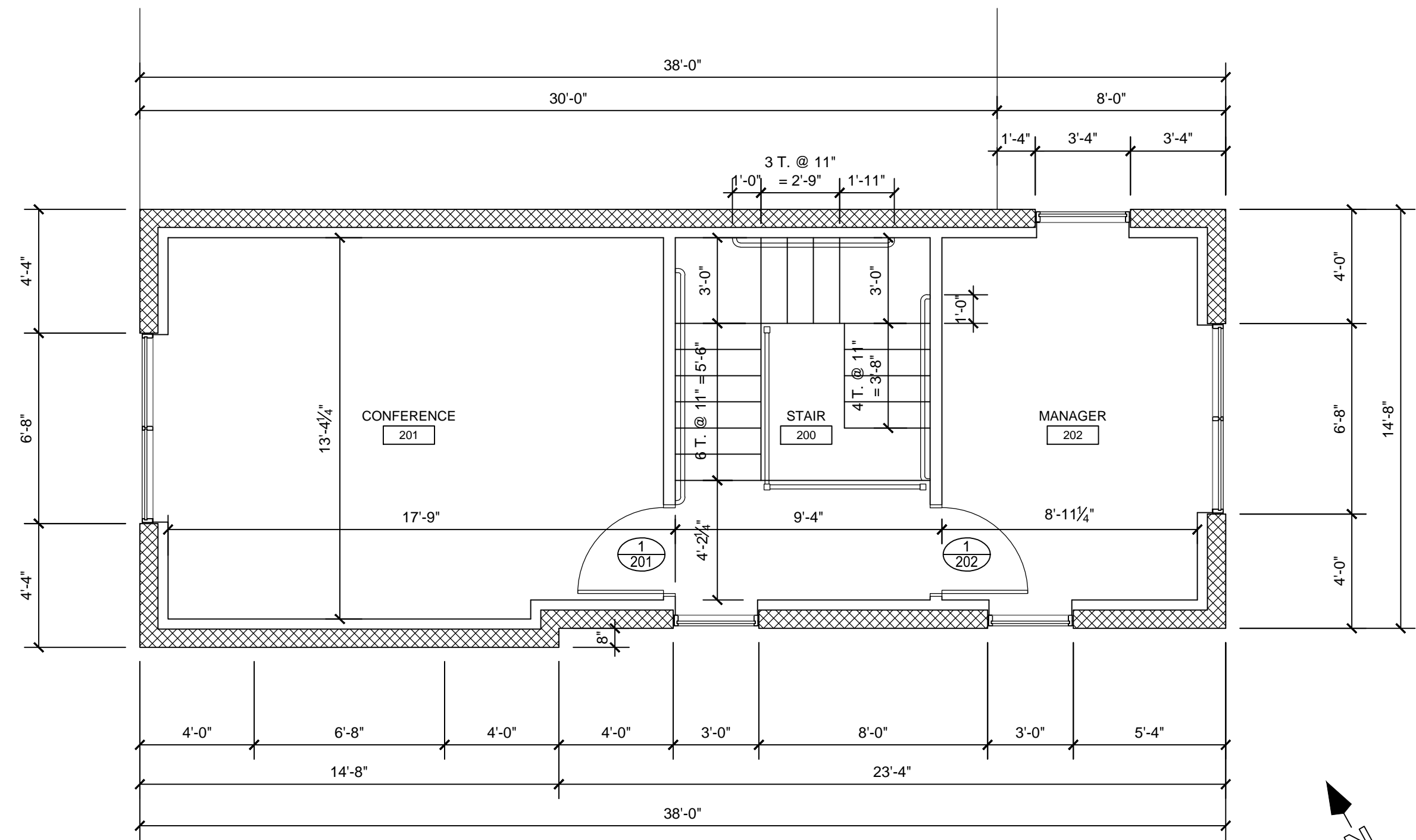
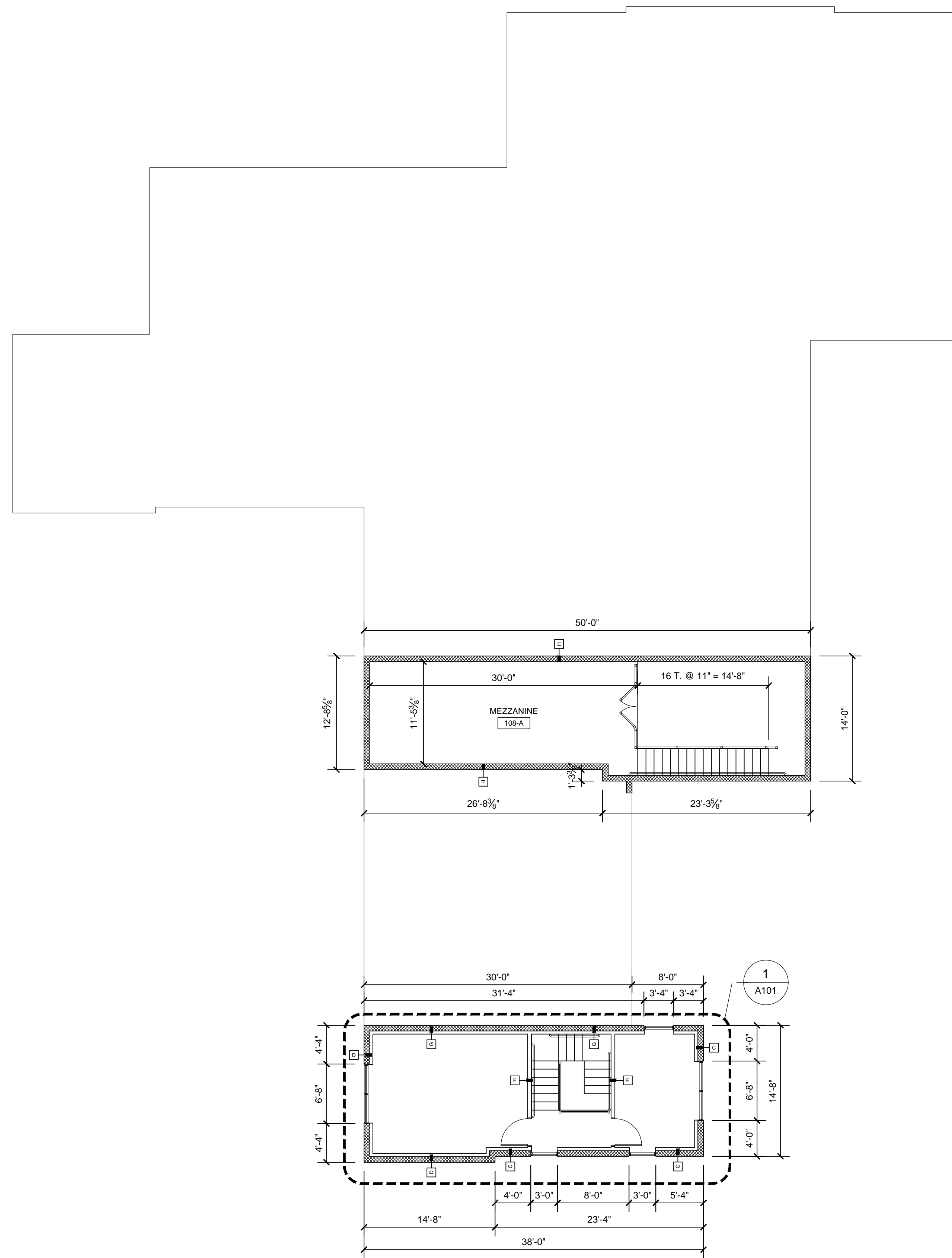
**IOTT**  
ARCHITECTURE  
ENGINEERING  
INCORPORATED  
310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND  
(410) 749-7229 • FAX (410) 749-0001

CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
METHUEN LICENSE NO. 0071  
EXPIRATION DATE: 3/31/2022

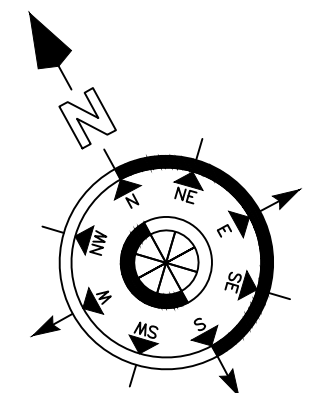
REVISIONS	
NO.	DATE

**A**  
**100**

SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 ENLARGED SECOND FLOOR PLAN @ OFFICE  
SCALE: 1/4" = 1'-0"



DATE: AUG. 15, 2021  
IOTT PROJ. NO.: 21-028  
DESIGN BY: KI  
DRAWN BY: KI  
SCALE: AS NOTED  
STAGE: SITE PLAN APPR.  
DWG. FILE: 21-028 A100

ZOOM MULTI-SERVICE CAR WASH  
OCEAN LANDINGS  
WORCESTER COUNTY, MARYLAND  
MAP 26, PARCEL 455, TAX I.D. 172880  
OVERALL AND ENLARGED SECOND FLOOR PLANS

**IOTT**  
ARCHITECTURE  
ENGINEERING  
INCORPORATED  
310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND  
(410) 749-7229 • FAX (410) 749-0001

CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, A LICENSED REGISTERED ARCHITECT UNDER THE PROFESSIONAL ACT OF THE STATE OF MARYLAND.  
KEITH IOTT, LICENSE NO. 0071  
EXPIRATION DATE: 3/31/2022

NO.	DATE	REVISIONS	REMARKS

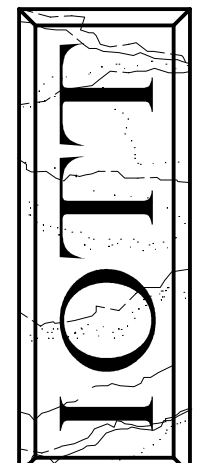
A  
101

ELEVATION KEYNOTE LEGEND	
1	ALUMINUM COPING SYSTEM - COLOR : BLACK
2	BUILT-UP FASCIA FABRICATED FROM COMPOSITE MATERIALS - COLOR : WHITE
3	2 x 8 FRIEZE BOARD WITH COMPOSITE CLADDING - COLOR : WHITE
4	FIBER CEMENT WALL PANEL WITH APPLIED 1 x 2 CEDAR BATTENS - COLOR : DEEP BLUE
5	FABRICATED ALUMINUM LOUVERS - COLOR : BLACK
6	2 x 8 TRANSITION BAND WITH COMPOSITE CLADDING - COLOR : MEDIUM GRAY
7	SPLIT-FACED CONCRETE MASONRY UNIT (C.M.U.) - COLOR No. 1
8	ALUMINUM STOREFRONT WITH 1" INSULATED GLASS - STOREFRONT COLOR : BLACK
9	SCORED-FACE C.M.U. BAND - COLOR : BLACK
10	SPLIT-FACED C.M.U. - COLOR No. 2
11	E.I.F.S. TOWER CLADDING - COLOR TO INCLUDE BRAND ORANGE AND BRAND BLUE ON A NEUTRAL FIELD
12	FIBER CEMENT SIGNAGE PANEL

REVISIONS	
NO.	DATE

CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME, A REGISTERED ARCHITECT UNDER THE BOARD OF ARCHITECTS OF THE STATE OF MARYLAND.  
 KEVIN IOTT LICENSE NO. 0074  
 EXPIRATION DATE: 3/31/2022

ARCHITECTURE  
ENGINEERING  
INCORPORATED



310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND  
(410) 749-7229 • FAX (410) 749-0001

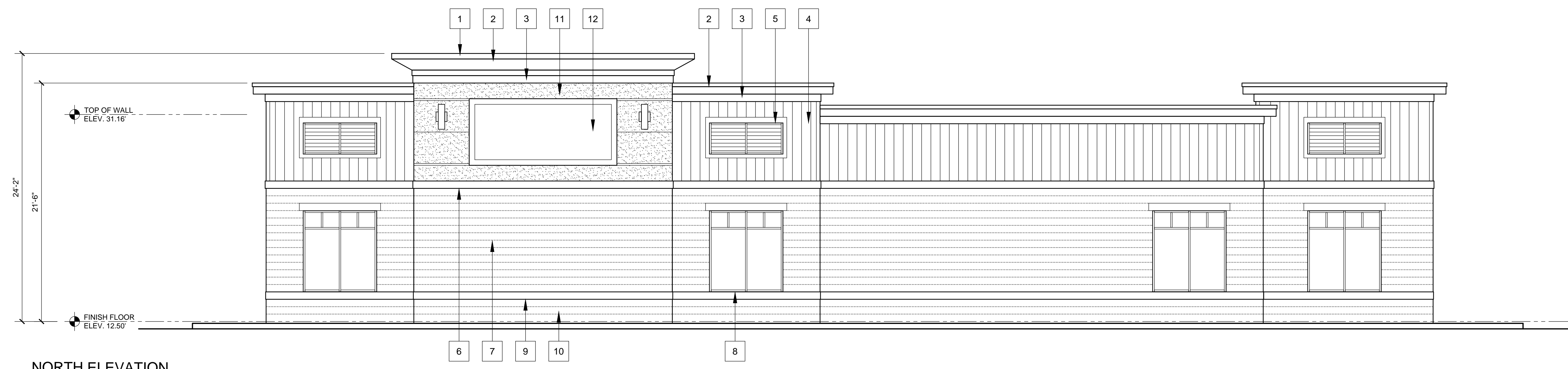
ZOOM MULTI-SERVICE CAR WASH  
OCEAN LANDINGS  
WORCESTER COUNTY, MARYLAND  
MAP 26, PARCEL 455, TAX I.D. 172880  
EAST AND NORTH ELEVATIONS

DATE: SEPT. 30, 2021  
 IOTT PROJ. NO.: 21-028  
 DESIGN BY: KI  
 DRAWN BY: KI  
 SCALE: 3/16" = 1'-0"  
 STAGE: SITE PLAN APPR.  
 DWG. FILE: 21-028 A300

**A**  
**300**



**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



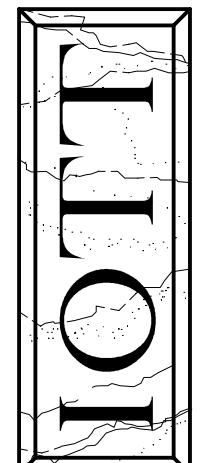
**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTE LEGEND	
1	ALUMINUM COPING SYSTEM - COLOR : BLACK
2	BUILT-UP FASCIA FABRICATED FROM COMPOSITE MATERIALS - COLOR : WHITE
3	2 x 8 FRIEZE BOARD WITH COMPOSITE CLADDING - COLOR : WHITE
4	FIBER CEMENT WALL PANEL WITH APPLIED 1 x 2 CEDAR BATTENS - COLOR : DEEP BLUE
5	FABRICATED ALUMINUM LOUVERS - COLOR : BLACK
6	2 x 8 TRANSITION BAND WITH COMPOSITE CLADDING - COLOR : MEDIUM GRAY
7	SPLIT-FACED CONCRETE MASONRY UNIT (C.M.U.) - COLOR No. 1
8	ALUMINUM STOREFRONT WITH 1" INSULATED GLASS - STOREFRONT COLOR : BLACK
9	SCORED-FACE C.M.U. BAND - COLOR : BLACK
10	SPLIT-FACED C.M.U. - COLOR No. 2
11	E.I.F.S. TOWER CLADDING - COLOR TO INCLUDE BRAND ORANGE AND BRAND BLUE ON A NEUTRAL FIELD
12	FIBER CEMENT SIGNAGE PANEL

REVISIONS	
NO.	DATE

CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A REGISTERED ARCHITECT UNDER THE PROFESSIONAL ARCHITECT ACT OF THE STATE OF MARYLAND.  
 KEVIN IOTT LICENSE NO. 00717  
 EXPIRATION DATE: 3/31/2022

ARCHITECTURE  
ENGINEERING  
INCORPORATED

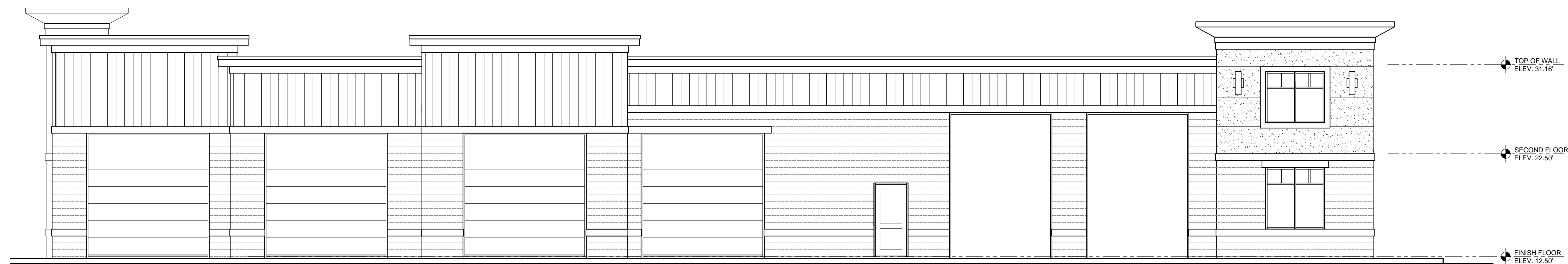


310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND  
(410) 749-7229 • FAX (410) 749-0001

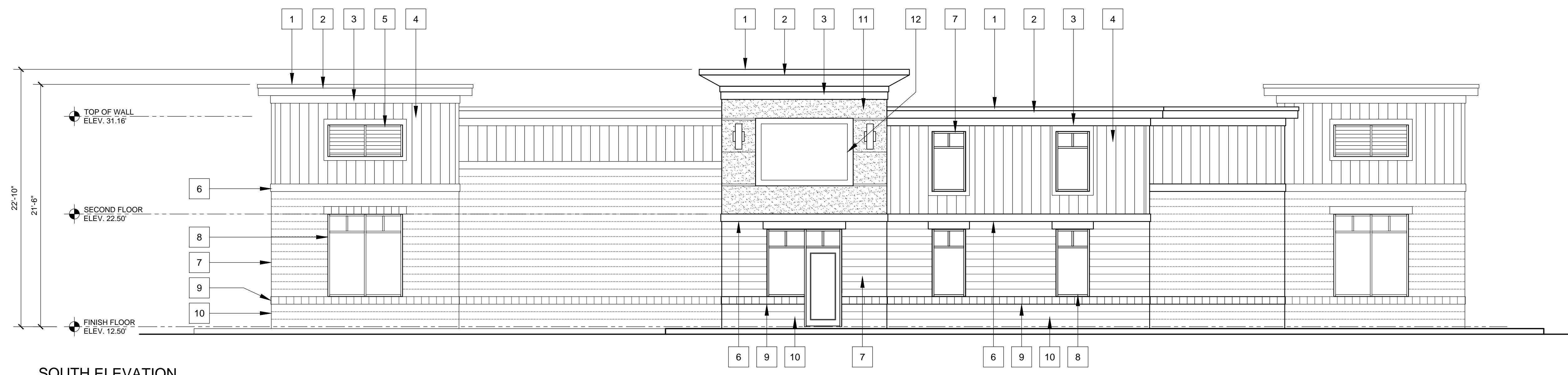
ZOOM MULTI-SERVICE CAR WASH  
OCEAN LANDINGS  
WORCESTER COUNTY, MARYLAND  
MAP 26, PARCEL 455, TAX I.D. 172880  
WEST AND NORTH ELEVATIONS

DATE: SEPT. 30, 2021  
 IOTT PROJ. NO.: 21-028  
 DESIGN BY: KI  
 DRAWN BY: KI  
 SCALE: 3/16" = 1'-0"  
 STAGE: SITE PLAN APPR.  
 DWG. FILE: 21-028 A300

A  
301



WEST ELEVATION  
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"