

**Technical Review Committee
Conference Call Directions
September 8, 2021 Meeting**

To members of the public dialing in:

- Call **(410) 632-9400**
- You will be prompted for the conference ID: **03#**
- You will then be prompted for the PIN: **123456#**

At approximately 1:00 PM, the Chair will call the meeting to order, and take roll call of all staff present, using the typical order found on each TRC packet cover sheet. Those persons should also identify any additional staff present with them on the call. We will follow the normal procedure for introduction of the project, identification of each of the applicants on the line, and will go through the review comments by department.

If you are listening in but are not participating in the discussion, please mute the call on your end to avoid disruptions.

For Minor Site Plan Review Projects:

The Technical Review Committee is the approving authority for minor projects. If your project qualifies, you will need to address the staff comments outlined in the packet, and submit plan sets to staff for follow-up review. Final signature approval will follow the normal review and email approval process. Once the revised plans have been approved, the zoning staff will direct you to submit the final copies for signature approval, along with any additional information. You may then proceed to permitting.

For Major Site Plan Review Projects:

The Planning Commission is the approving authority for major projects. If your project qualifies, you will need to address the staff comments outlined in the packet, and submit 10 sets of the plans for review by the Planning Commission. We will continue to adhere to our regular application submittal deadline in the event that the restrictions are lifted or modified, or until other solutions are identified.

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

Wednesday, September 8, 2021 at 1:00 p.m.

**Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

*****In Person with Call-In Option*****

Masks are recommended for those whom have not been vaccinated.
Social distancing is also encouraged.

- I. Call to Order
- II. Sketch Plan Review
 - a. **Hardee's**
Located on the southern side of US Route 50 (Ocean Gateway) at the east side of the intersection with Kreiling Way (east entranceway to Ocean Landings shopping center), Tax Map 26, Parcels 455, Lot 4, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner, OTAC, Inc. / Fred Mattes, applicant
- III. Site Plan Review (§ ZS 1-325)
 - a. **Zoom Car Wash**
Located on the southern side of US Route 50 (Ocean Gateway) at the west side of the intersection with Kreiling Way (east entranceway to Ocean Landings shopping center), Tax Map 26, Parcels 455, Lot 3B, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner / J. W. Salm Engineering, Inc., engineer
- IV. Residential Planned Community (§ ZS 1-315)
 - a. **Snug Harbor West – 9 lot single family minor RPC subdivision step 1 review**
Located on the north side of Snug Harbor Road at the intersection with MD Route 611, Tax Map 33, Parcel 298, Tax District 10, R-2 Suburban Residential District.
- V. Adjourn

Under the terms of ZS 325(f)(1), please note that all minor site plans are those in which the square footage of all structural improvements does not exceed 10,000 square feet in area. The Technical Review Committee shall have the authority to forward a minor site plan application to the Planning Commission when it is determined the site plan shall have a broad impact on the County or where otherwise deemed appropriate.

Please review the attached page following the agenda that outlines the call number and procedures for the meeting

TRC PROJECT REVIEW TRANSMITTAL
Sketch Plan Submission (September 8, 2021 TRC Meeting)

To: Technical Review Committee (TRC)
From: Department of Development Review and Permitting
Date: August 20, 2021

Hardee's (Tax Map 26, Parcel 455, Lot 4)
C-3 Highway Commercial; Tax District 3

Description: Proposed construction of a Hardee's restaurant

Location: Located on the southern side of US Route 50 (Ocean Gateway) at the **east side** of the intersection with Kreiling Way (east entranceway to Ocean Landings shopping center).

Owner:	Applicant:
Ocean City Partners Limited Partnership 601 E. Pratt Street Baltimore, MD 21202 410-752-5444 dkitchelt@cordish.com	OTAC, Inc. c/o Fred Mattes 528 College Parkway Annapolis, MD 21409 410-924-3343 fmattes@otacinc.net

***Please submit all comments in writing to the Department by Noon Friday, September 3, 2021.**

cc: Brooks Clayville, Planning Commission Representative
Bob Mitchell, Director, Environmental Programs
Paul Miller, Building Plans Reviewer III
Jeff McMahon, Fire Marshal
Joy Birch, Natural Resources Planner, DEP
Jenelle Gerthoffer, Natural Resources Administrator, DEP
Dave Mathers, Natural Resources Planner, DEP
John Ross, Deputy Director, Department of Public Works
Kevin Lynch, County Roads Superintendent
Dan Wilson, State Highway Administration
Kristen M. Tremblay, Zoning Administrator



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

September 8, 2021

Project: Hardee's (Sketch plan review). Proposed construction of a 2,563 square foot Hardee's restaurant. Located on the southern side of US Route 50 (Ocean Gateway) at the **east side** of the intersection with 'Kreiling Way' (east entranceway to Ocean Landings shopping center). Tax Map 26, Parcels 455, Lot 4, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner, OTAC, Inc. / Fred Mattes, applicant.

Prepared by: Stuart White, DRP Specialist

Contact: swhite@co.worcester.md.us or (410) 632-1200, extension 1139

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete Building Permit Application along with the initial fee of \$300 made payable to "Worcester County."
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Three (3) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-210	C-2 General Commercial District
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-323	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

***The applicants are strongly encouraged to view the aforementioned zoning sections prior to submission of a site plan for Technical Review Committee review.**

Some items that the applicant may wish to pay particular attention to are as follows (but is not limited to):

1. Please provide landscaping along western edge of site along Kreiling Way. See ZS1-322.
2. Please provide a bike rack capable of holding at least five (5) bikes. See Zs1-320(e)(12).
3. A loading zone will be required per section ZS1-321.
4. Please show parking calculations on the site plan. See ZS1-320.
5. Parking spaces must be 10' x 20' per ZS1-320(b).
6. Please provide vegetative break between sets of parking spaces greater than 10 consecutively.
7. Indicate what the circular blobs just south of the main building are on the site plan.
8. If lighting is to be proposed, please show on the site plan along with a lighting plan. See ZS1-322.
9. Show dumpster screening typical on the site plan set.

Other Agency Approvals:

1. Information relative to the water and wastewater facilities are required to be provided on the plans per §ZS 1-325(e)(3)(O&P). Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs and the Department of Public Works prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.



Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Worcester County Technical Review Committee

From: Joy S. Birch, Natural Resources Specialist III 

Subject: September 8, 2021 - Technical Review Committee Meeting

Date: August 23, 2021

- **Hardee's – For Discussion - Proposed construction located on the southern side of US Route 50 (Ocean Gateway) at the east side of the intersection with Kreiling Way (east entranceway to Ocean Landings shopping center), Tax map 26, Parcels 455, Lot 3B, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner, OTAC, Inc. / Fred Mattes, applicant.** This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**

Citizens and Government Working Together



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1003

SNOW HILL, MARYLAND 21863-1194

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: Hardee's

TRC #: 2021588

LOCATION: Tax Map 26; Parcel 455; Lot 4

CONTACT: Fred Mattes

MEETING DATE: September 8, 2021

COMMENTS BY: Matthew Owens

Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project

The proposed construction of a Hardee's restaurant.

General Comments

1. A water supply for fire protection shall be identified indicating the following:
 - a. Water Source
 - b. Engineering study for reliability of water source
 - c. Size (in gallons) of water source
 - d. Replenishment of water supply
 - e. Diameter of in ground pipe
 - f. Number of hydrants
 - g. Location of hydrants
 - h. Roadway width and surface types
 - i. Distance from hydrant to roadway
2. If public water source, approved plans by the public works department.
3. Water source plans must be approved prior to recording of plat.

4. Fire hydrants shall be located within 3 ft. of curb line. Placement of fire hydrants shall be coordinated with this office prior to installation.
5. Obstructions shall not be placed or kept near fire hydrants, fire department inlet connections, or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately visible and accessible.
6. All underground water mains and hydrants **shall be installed, completed, and in service** prior to construction work or as soon as combustible material accumulates, which ever comes first. A stop work order will be issued if fire hydrants are not in service prior to construction work start.
7. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
8. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

Specific Comments


1. Plans shall be provided to our office on the proposed kitchen hood systems and fire protection for these proposed hood systems.
2. Complete set of building plans shall be submitted and approved prior to start of construction.
3. No further comments at this time.



Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner 

Subject: Forest Conservation & Stormwater Management Review

Date: August 26, 2021

Date of Meeting: September 8, 2021

Project: Hardee's

Location: Kreiling Way; Tax Map: 26; Parcel: 455; Lot: 4

Owner/Developer: Ocean City Partners Limited Partnership

Applicant: OTAC, Inc.

This project is subject to the Worcester County Forest Conservation Law. This property is subject to Forest Conservation Plan #05-34 and Forest Conservation Plan # 10-04. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of on-site Forest Conservation Easements. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements.

This project is subject to the Worcester County Stormwater Ordinance. The project will need Stormwater Concept Plan approval prior to Technical Review Committee Site Plan Review.

All projects with a limits of disturbance (LOD) over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together



DEPARTMENT OF
ENVIRONMENTAL PROGRAMS


Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS
FOREST CONSERVATION
COMMUNITY HYGIENE

MEMORANDUM

DATE: March 11, 2020
TO: Applicant
FROM: Jenelle Gerthoffer, Natural Resources Administrator 
SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

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Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Jenelle Gerthoffer, at (410) 632-1220, ext. 1147.



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

DALLAS BAKER JR., P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

FLEET MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

TO: Kristen Tremblay, Zoning Administrator
FROM: Kevin Lynch, Roads Superintendent
DATE: August 23, 2021
SUBJECT: TRC Meeting – September 8, 2021

.....
Sketch Plan Review

A. Hardee's

1. No comments at this time.

Section 1-325 Site Plan Review

A. Zoom Car Wash

1. No comments at this time.

Section 1-315 Residential Planned Community Review

A. Snug Harbor West – (9) Single Family – Step I

1. No comments at this time.

cc: Dallas Baker, Jr., P.E.

KL:ll

KAL 8/24/21

August 24, 2021

Ms. Kristen Tremblay, Zoning Administrator
Department of Developing, Review, and Planning
Worcester County Government Center
One West Market Street, Room 1201
Snow Hill MD 21863

Dear Ms. Tremblay:

Thank you for the opportunity to review the concept plan for the proposed Hardee's development, located on the northeast corner of the intersection of Kreiling Way and Samuel Bowen Boulevard, in Worcester County. The Maryland Department of Transportation State Highway Administration (MDOT SHA) has reviewed the plans, and we are pleased to respond.

This site plan proposes the construction a new Hardee's restaurant with a new access point on Kreiling Way. District 1 has determined that the proposed access point has a corner clearance of approximately 150' from the intersection of Kreiling Way and US 50, measured from the Point of Tangent at US 50 to the Point of Curvature for the proposed access point. MDOT SHA requires a minimum of 200' of corner clearance from a primary roadway. For this reason, MDOT SHA is denying the request for an access point on Kreiling Way.

If you have any questions or require additional information please contact Mr. Daniel Wilson, Access Management Regional Engineer, at 410-677-4048, by using our toll-free number (in Maryland only) at 1-800-825-4742 (x4048), or via email at dwilson12@mdot.maryland.gov. He will be happy to assist you.

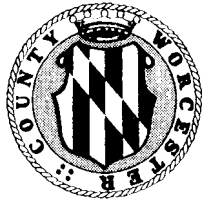
Sincerely,

Daniel Wilson / for

James W. Meredith
District Engineer

Attachment

cc: Mr. Jeff Fritts, D-1 Access Management Inspector, MDOT SHA
Mr. Tony Turner, Resident Maintenance Engineer, Snow Hill Shop, MDOT SHA
Mr. Daniel Wilson, D-1 Access Management Regional Engineer, MDOT SHA



WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Hardee's

Date: 9/8/2021

Tax Map: 26 Parcel: 455 Section: Lot: 4

STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead and other structural loads.
3. Soils report required at time of building permit application.
4. Compaction reports due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing and electrical plans are required.
6. Provide information for wind, snow, floor, roof and seismic loads.
7. Special inspections (Third party) required per IBC Chapter 17 for steel, concrete, masonry, wood, prepared fill, foundations and structural observations.
8. Provide plan for owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation. Design professional in responsible charge shall review and approve all shop drawings.
14. Please provide your design professional with a copy of these comments.

Site specific comments

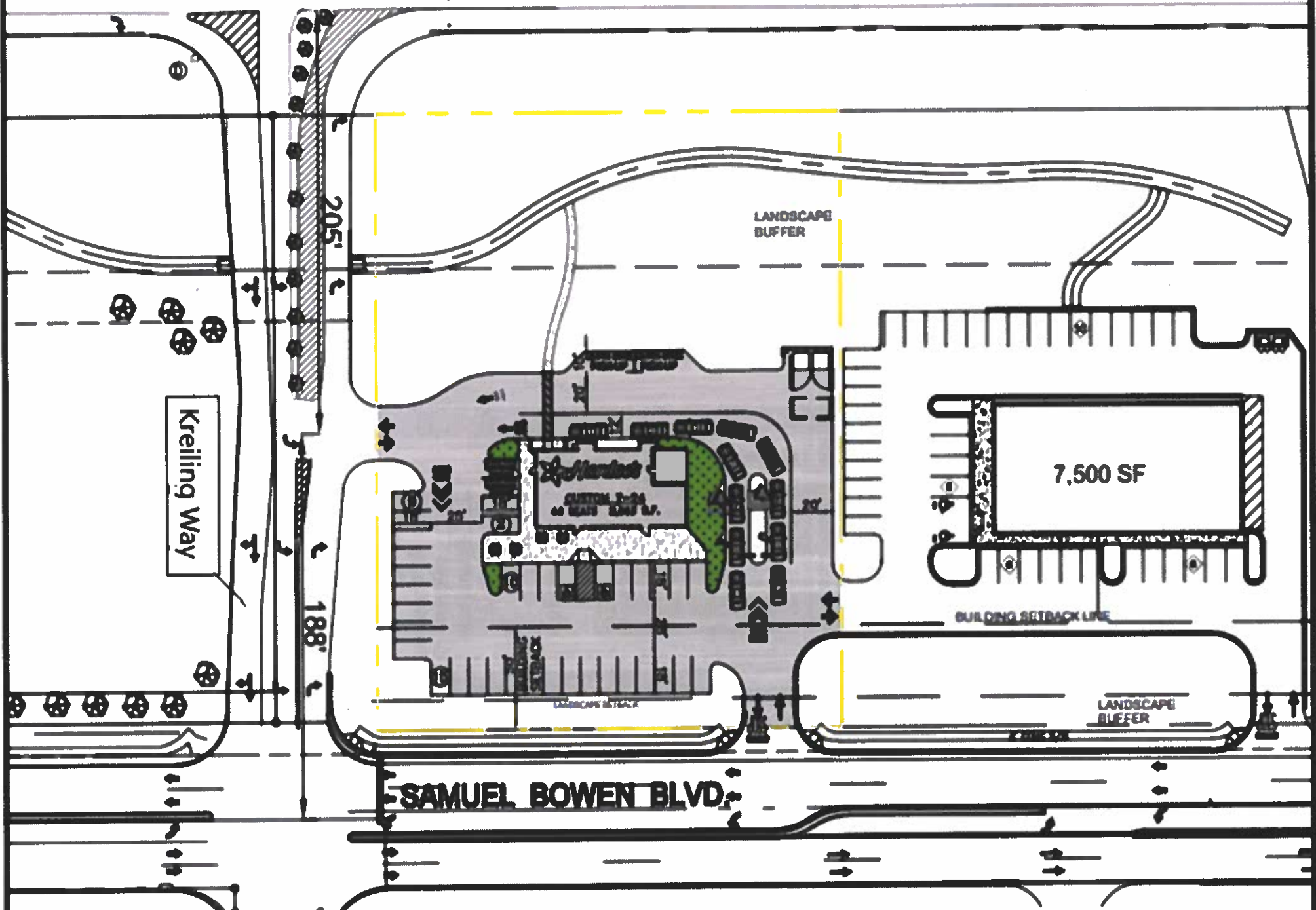
1. Current Codes: 2018 International Building Code
 2018 International Residential Code
 2018 International Energy Conservation Code
 2018 International Mechanical Code
 2017 NEC
 Maryland Accessibility Code
 2010 Standards for Accessible Designs
2. Wind speed: 126 MPH; Risk category: II; Exposure: C

There is not enough information provided at this time to provide additional comments.

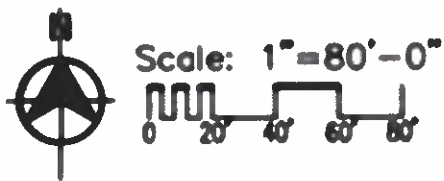
SCHEME 1

PRELIMINARY PURPOSE ONLY

ROUTE 50



APPROX. LOT SIZE 67,220 Sq Ft.



Preliminary Site Plan
36 PARKING SPACES
12 CAR STACKING

OPERATIONS:	DATE:	REAL ESTATE:	DATE:	CONSTRUCTION:	DATE:
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REVISIONS		
REV.	BY	DESCRIPTION
1	MJJ	REVISED LAYOUT PER FRANCHISEE REQUEST

THIS PLAN IS FOR FEASIBILITY PURPOSES ONLY AND WAS PREPARED WITHOUT ANY KNOWLEDGE OF ACTUAL SITE CONDITIONS, SETBACKS, GRADING ISSUES, OR CITY REQUIREMENTS. THESE ITEMS MUST BE VERIFIED PRIOR TO PLAN SUBMITTAL.

PREPARED FOR:
HARDEE'S FRANCHISE OTAC



CKE RESTAURANTS
DEVELOPMENT DEPARTMENT

SITE LOCATION: OCEAN LANDING (NEW PAD LOCATION) ROUTE 50 & HOLLY GROVE RD. BERLIN, MD		
DATE: 8-6-21	SCALE: 1" = 80'	
PREPARED BY: MJJ	REV: 1	CKE #:

TRC PROJECT REVIEW TRANSMITTAL
Major Site Plan Review (September 8, 2021 TRC Meeting)

To: Technical Review Committee (TRC)
From: Department of Development Review and Permitting
Date: August 20, 2021

Zoom Car Wash (Tax Map 26, Parcel 455, Lot 3B)
C-3 Highway Commercial; Tax District 3

Description: Proposed car wash and detail facility

Location: Located on the southern side of US Route 50 (Ocean Gateway) at the west side of the intersection with Kreiling Way (east entranceway to Ocean Landings shopping center).

Owner:	Engineer:
Ocean City Partners Limited Partnership 601 E. Pratt Street Baltimore, MD 21202 410-752-5444 dkitchelt@cordish.com	J.W. Salm Engineering, Inc. 9842 Main Street, Suite 3 P.O. Box 397 Berlin, MD 21811 410-641-0126 comments@jwse.com

Please submit all comments in writing to the Department by **Noon Friday, September 3, 2021.*

cc: Brooks Clayville, Planning Commission Representative
Bob Mitchell, Director, Environmental Programs
Paul Miller, Building Plans Reviewer III
Jeff McMahon, Fire Marshal
Joy Birch, Natural Resources Planner, DEP
Jenelle Gerthoffer, Natural Resources Administrator, DEP
Dave Mathers, Natural Resources Planner, DEP
John Ross, Deputy Director, Department of Public Works
Kevin Lynch, County Roads Superintendent
Dan Wilson, State Highway Administration
Kristen M. Tremblay, Zoning Administrator



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
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ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

September 8, 2021

Project: Zoom Car Wash (Major site plan review). Proposed construction of an automatic/self-service car cleaning facility. Located on the southern side of US Route 50 (Ocean Gateway) at the **west side** of the intersection with the east entranceway to Ocean Landings shopping center, Tax Map 26, Parcels 455, Lot 3B, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner / J. W. Salm Engineering, Inc., engineer.

Prepared by: Stuart White, DRP Specialist

Contact: swhite@co.worcester.md.us or (410) 632-1200, extension 1139

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete Building Permit Application along with the initial fee of \$300 made payable to "Worcester County."
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-211	C-3 Highway Commercial District
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-321	Off Street Loading Spaces
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-323	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

Basic Site Plan Corrections Required:

1. In accordance with §ZS 1-325(e)(3)(R), please add owner's and plan preparer signature blocks. Please include "As the property owner / developer, I am in full agreement with this site plan submitted herewith and I am responsible for the completion of the improvements as shown on the approved site plan, and I understand that I cannot allow the property or buildings to be occupied until the certificate of use and occupancy has been issued by the Department of Development, Review, and Permitting" in the owner's signature block.

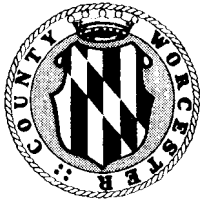
Landscaping:

1. In conjunction with §ZS1-322(f)(5), the applicant may wish to consider additional 'landscaping' along the north side of the property along MD Rt. 50 corridor in accordance with Section ZS1-322(e)(3). Please reach out to staff for clarification on where the buffer should be installed if uncertain. Also, landscaping should be provided along the western and eastern sides of the proposed project.
2. Please note the method of irrigation on the plan. See §ZS1-322(b)(7).
3. Please verify that the source of water for irrigation will be from an on-site irrigation well.
4. In accordance with §ZS 1-322(g), a maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will be required to be provided at permit stage to accurately determine the bond amount.
5. Is a total of 41 vacuum stations appropriate for this particular market?

6. The applicant may wish to reconsider the placement of the 5 parking locations immediately adjacent to the Samuel Bowen Blvd. entrance as this may cause difficulty with vehicles backing up.
7. Is there any particular plans for outdoor furniture/landscaping in the 'patio' area?
8. Please show dumpster enclosure typical.
9. For the voice activation of the members touch-pads, staff is curious as to the noise level that these machines produce.
10. Please consider adding stop signs to western portion of the site near the interparcel connector to Calvin B. Taylor Bank.
11. Show the dimensions of the loading zone.
12. Please indicate the contents of the vending machines.

Other Agency Approvals:

1. Information relative to the water and wastewater facilities are required to be provided on the plans per §ZS 1-325(e)(3)(O&P). Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs and the Department of Public Works prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.



WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Zoom Car Wash

Date: 9/8/2021

Tax Map: 26 Parcel: 455 Section: Lot: 3B

STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead and other structural loads.
3. Soils report required at time of building permit application.
4. Compaction reports due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing and electrical plans are required.
6. Provide information for wind, snow, floor, roof and seismic loads.
7. Special inspections (Third party) required per IBC Chapter 17 for steel, concrete, masonry, wood, prepared fill, foundations and structural observations.
8. Provide plan for owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation. Design professional in responsible charge shall review and approve all shop drawings.
14. Please provide your design professional with a copy of these comments.

Site specific comments

1. Current Codes: 2018 International Building Code
 2018 International Residential Code
 2018 International Energy Conservation Code
 2018 International Mechanical Code
 2018 International Plumbing Code
 2017 NEC
 Maryland Accessibility Code
 2010 Standards for Accessible Designs
2. Wind speed: 126 MPH (assumed); Risk category: II; Exposure: C
3. COMcheck wattage report required

There is not enough information provided at this time to provide additional comments.



Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Worcester County Technical Review Committee

From: Joy S. Birch, Natural Resources Specialist III 

Subject: September 8, 2021 - Technical Review Committee Meeting

Date: August 23, 2021

- **Zoom Car Wash** – Proposed construction located on the southern side of US Route 50 (Ocean Gateway) at the west side of the intersection with Kreiling Way (east entranceway to Ocean Landings shopping center), Tax map 26, Parcels 455, Lot 4, Tax District 3, C-3 Highway Commercial District, Ocean City Partners Limited Partnership, owner / J.W. Salm Engineering, Inc., engineer. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**

Citizens and Government Working Together



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1003

SNOW HILL, MARYLAND 21863-1194

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: Zoom Multi-Service Car Wash TRC #: 2021589
LOCATION: Tax Map 26; Parcel 455; Lot 3B
CONTACT: Ocean City Partners Limited Partnership
MEETING DATE: September 8, 2021 COMMENTS BY: Matthew Owens
Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project

The proposed construction of a car wash and detail facility.

General Comments

1. A water supply for fire protection shall be identified indicating the following:
 - a. Water Source
 - b. Engineering study for reliability of water source
 - c. Size (in gallons) of water source
 - d. Replenishment of water supply
 - e. Diameter of in ground pipe
 - f. Number of hydrants
 - g. Location of hydrants
 - h. Roadway width and surface types
 - i. Distance from hydrant to roadway
2. If public water source, approved plans by the public works department.
3. Water source plans must be approved prior to recording of plat.

4. Fire hydrants shall be located within 3 ft. of curb line. Placement of fire hydrants shall be coordinated with this office prior to installation.
5. Obstructions shall not be placed or kept near fire hydrants, fire department inlet connections, or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately visible and accessible.
6. All underground water mains and hydrants **shall be installed, completed, and in service** prior to construction work or as soon as combustible material accumulates, which ever comes first. A stop work order will be issued if fire hydrants are not in service prior to construction work start.
7. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
8. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

Specific Comments

1. Complete set of building plans shall be submitted and approved prior to start of construction.
2. No further comments at this time.



Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner *DM*

Subject: Forest Conservation & Stormwater Management Review

Date: August 26, 2021

Date of Meeting: September 8, 2021

Project: Zoom Car Wash

Location: Kreiling Way; Tax Map: 26; Parcel: 455; Lot: 3B

Owner/Developer: Ocean City Partners Limited Partnership

Engineer: J.W. Salm Engineering, Inc.

This project is subject to the Worcester County Forest Conservation Law. This property is subject to Forest Conservation Plan #15-15. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of on-site Forest Conservation Easements. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements.

This project is subject to the Worcester County Stormwater Ordinance. The project has obtained Stormwater Concept Plan approval. This project will need stormwater final plan approval prior to issuance of a Stormwater Management and Sediment Control Permit.

All projects with a limits of disturbance (LOD) over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together



DEPARTMENT OF
ENVIRONMENTAL PROGRAMS


Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS
FOREST CONSERVATION
COMMUNITY HYGIENE

MEMORANDUM

DATE: March 11, 2020
TO: Applicant
FROM: Jenelle Gerthoffer, Natural Resources Administrator 
SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

.....

Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Jenelle Gerthoffer, at (410) 632-1220, ext. 1147.



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

DALLAS BAKER JR., P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

FLEET MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

TO: Kristen Tremblay, Zoning Administrator
FROM: Kevin Lynch, Roads Superintendent
DATE: August 23, 2021
SUBJECT: TRC Meeting – September 8, 2021

.....
Sketch Plan Review

A. Hardee's

1. No comments at this time.

Section 1-325 Site Plan Review

A. Zoom Car Wash

1. No comments at this time.

Section 1-315 Residential Planned Community Review

A. Snug Harbor West – (9) Single Family – Step I

1. No comments at this time.

cc: Dallas Baker, Jr., P.E.

KL:ll

KAL 8/24/21

SITE PLAN, STORMWATER MANAGEMENT (SWM) PLAN AND, SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN ZOOM CAR WASH

LOT 3B, GRID 2, PARCEL 455, TAX MAP 26

THIRD TAX DISTRICT

BERLIN

WORCESTER COUNTY

MARYLAND

GENERAL NOTES:

1. ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED, IT IS CONSIDERED INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK. ITEMS LABELED "BY OTHERS" ARE NOT INCLUDED UNDER THIS WORK.
2. ALL EXISTING SITE CONDITIONS ARE BASED UPON THE BOUNDARY AND TOPOGRAPHICAL SURVEY PREPARED BY ATLANTIC GROUP ASSOCIATES & INC., DATED JULY 2021. THE UTILITY & SEDIMENT EROSION CONTROL PLAN BY DAVIS, BOWEN & FRIDEL, INC. DATED AUGUST 2017, AND THE SUBDIVISION PLAT BY VISTA DESIGN, INC. DATED NOVEMBER 2014, PROVIDED BY THE OWNER. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID PLAN(S) AND VISIT THE SITE IN ORDER TO DETERMINE TO THEIR SATISFACTION, THE QUANTITIES OF WORK TO BE PERFORMED.
3. UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN AND SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE PIPES ARE TOP OF PIPE ELEVATIONS.
4. THESE DRAWINGS SHOW INFORMATION REGARDING ABOVEGROUND AND UNDERGROUND UTILITIES WHICH EXIST OR MAY EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM RECORDS MADE AVAILABLE TO THE ENGINEER BY THE OWNER AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE DRAWINGS OR NOT. SHOULD ANY UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VERIFICATION OF ALL EXISTING SEWER INVERTS AND EXISTING STORM DRAIN INVERTS PRIOR TO THE START OF CONSTRUCTION.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF THE WORCESTER COUNTY, MARYLAND STATE HIGHWAY DEPARTMENT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT.
6. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED STRUCTURES AND SHALL BE STABILIZED WITH TOPSOIL, SEED AND MULCH, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE, RESEEDED AND REMULCHED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE SEED TYPE AS SPECIFIED.
7. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
8. THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION. THE OWNER SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL ONLY.
9. THE CONTRACTOR SHALL HYDRAULICALLY TEST ALL PIPES AND CHAMBERS IN THE PRESENCE OF THE ENGINEER. FORTY EIGHT HOURS NOTICE SHALL BE GIVEN TO THE ENGINEER PRIOR TO THE CONTRACTOR PERFORMING TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THIS TESTING. SHOULD ANY PORTION OF THE WORK FAIL TO MEET THE CRITERIA, THE CONTRACTOR SHALL TAKE CORRECTIVE MEASURES, AT HIS OWN EXPENSE, TO CONFORM TO THE TEST REQUIREMENTS.
10. THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
11. NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH-TO-GROUND WATER. GENERALLY, PIPING AND STRUCTURE CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DEWATERED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
12. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
13. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.
A) WORCESTER COUNTY, DRP (410) 632-1200
B) MISS UTILITY (800) 441-8355
C) J. W. SALM ENGINEERING, INC. (410) 641-0126
D) WORCESTER ROADS (410) 632-0020
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF AND/OR RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL STOCKPILES UPON COMPLETION OF WORK.
15. THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
16. TRENCH COMPACTION FOR ALL UTILITIES SHALL BE AS FOLLOWS:
A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2 % OF THE OPTIMUM MOISTURE CONTENT.
B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT
17. THIS SITE IS NOT LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREAS.
18. THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS REGARDING REGADING TO TIDAL WETLANDS. THERE ARE NO NON-TIDAL WETLANDS ON THIS SITE.
19. A MARYLAND DEPARTMENT OF ENVIRONMENT NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE. AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, AN INSPECTION MUST BE PERFORMED ONSITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ONSITE AT ALL TIMES.
20. THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF THE MARYLAND FOREST CONSERVATION ACT. FOREST CONSERVATION HAS BEEN PREVIOUSLY PLATTED FOR THIS SITE.

LEGEND:

EXISTING FEATURES

PARCEL LINE	
CONTOUR	
EASEMENT	
OVERHEAD ELECTRIC LINE AND UTILITY POLE	
CULVERT/STORM DRAIN PIPE	
EDGE OF PAVEMENT	
PUBLIC RIGHT-OF-WAY LINE	
BUILDING RESTRICTION LINE (BRL)	
TREELINE	
DITCH CENTERLINE	
DITCH TOP OF BANK	
GRAVITY SEWER, MANHOLE & CLEANOUT	
WATER MAIN, VALVE & HYDRANT	

PROPOSED FEATURES

PROPOSED BUILDING	
EDGE OF PAVEMENT	
SPREADER STRIP	
SIDEWALK	
CONTOUR	
SPOT ELEVATION	
GRAVITY SEWER, MANHOLE & CLEANOUT	
WATER MAIN, VALVE, HYDRANT & SERVICE	

SITE DATA:

PARCEL 455 ID# 03-788714 TOTAL SITE AREA : 3.14+/- AC.

EXISTING ZONING:

C2, GENERAL COMMERCIAL AND RP: RESOURCE PROTECTION
PROPOSED NEW PRINCIPAL USE: CAR WASH

SETBACKS (C2):

FRONT YARD: 25 FEET
SIDE YARD: 8 FEET
REAR YARD: 20 FEET
MINIMUM LOT AREA: 6,000 S.F.
MINIMUM LOT WIDTH: 60 FT

PROPOSED BUILDINGS:

TYPE	SIZE
CAR WASH : FIRST FLOOR AREA:	7,206 +/- S.F.
CAR WASH : SECOND FLOOR AREA:	614 +/- S.F.
MAXIMUM BUILDING HEIGHT:	22 FEET

PARKING DATA:

IN ACCORDANCE WITH SECTION ZS 1-320 (a) DRIVE THROUGH ONLY
REQUIRED

MIN: 2 PLUS 1 PER EMPLOYEE = 8
MAX: 2 PLUS 2 PER EMPLOYEE = 14

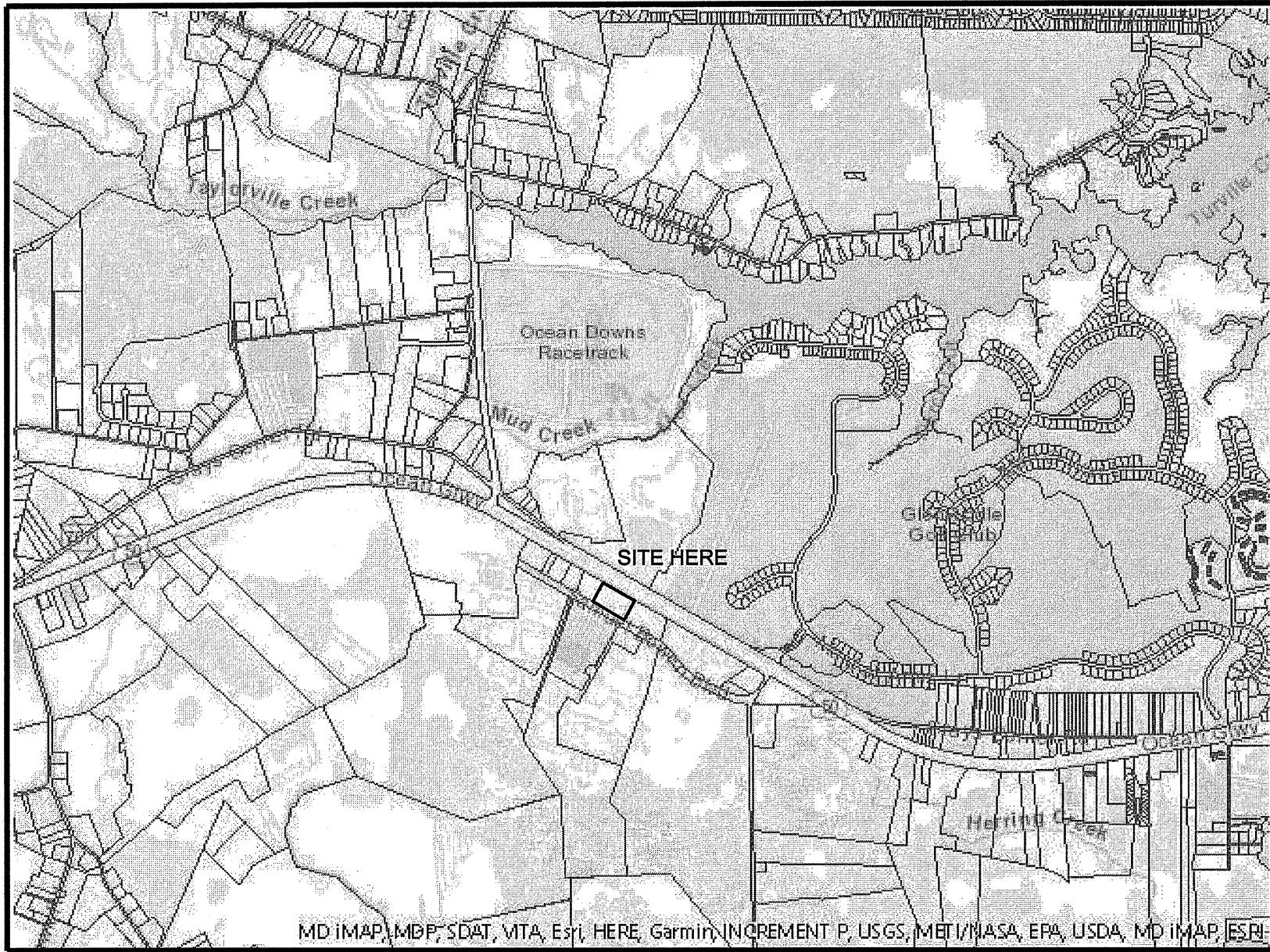
PROVIDED

8 STALLS, (ONE ACCESSIBLE)

WATER & SEWER:

WATER: PUBLIC, RIDDLE FARM SERVICE AREA
SEWER: PUBLIC, RIDDLE FARM SERVICE AREA
TUNNELS: 175 CARS PER DAY AT 9 GPD PER CAR = 4,025 GPD
EXPRESS: 75 CARS PER DAY AT 5 GPD PER CAR = 375 GPD
SELF-SERVE: 20 CARS PER DAY AT 5 GPD PER CAR = 100 GPD
EMPLOYEES: 6 EMPLOYEES AT 15 GPD PER EMPLOYEE = 90 GPD

2,095 GPD
6.98 EDUS
SAY 7 EDUS



VICINITY MAP

SCALE : 1 IN. = 2,000 FT.

INDEX OF DRAWINGS:

DRAWING NO.:	SHEET NO.:	TITLE
471-01-001	1 of 7	COVER SHEET, NOTES, INDEX & VICINITY MAP
471-01-002	2 of 7	EXISTING CONDITIONS PLAN
471-01-003	3 of 7	SITE & DEMOLITION PLAN
471-01-004	4 of 7	STORMWATER MANAGEMENT (SWM) PLAN
4571-01-005	5 of 7	SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC)
471-01-006	6 of 7	LANDSCAPE
471-01-007	7 of 7	NOTES & DETAILS

APPLICANT:

CAR WASH 50, LLC

8588 WHEATLAND RD
EASTON, MD 21601
PHONE : 443.783.0230

OWNER:

**OCEAN CITY PARTNERS
LIMITED PARTNERSHIP**

601 E PRATT ST STE 600
BALTIMORE, MD 21202-3111
PHONE : ?

ENGINEER/DESIGNER:

J. W. SALM ENGINEERING, INC.

P.O. BOX 397, 9842 MAIN STREET, SUITE 3
BERLIN, MD 21811
PHONE : 410.641.0126

ARCHITECT:

**IOTT ARCHITECTURE
& ENGINEERING, INC.**

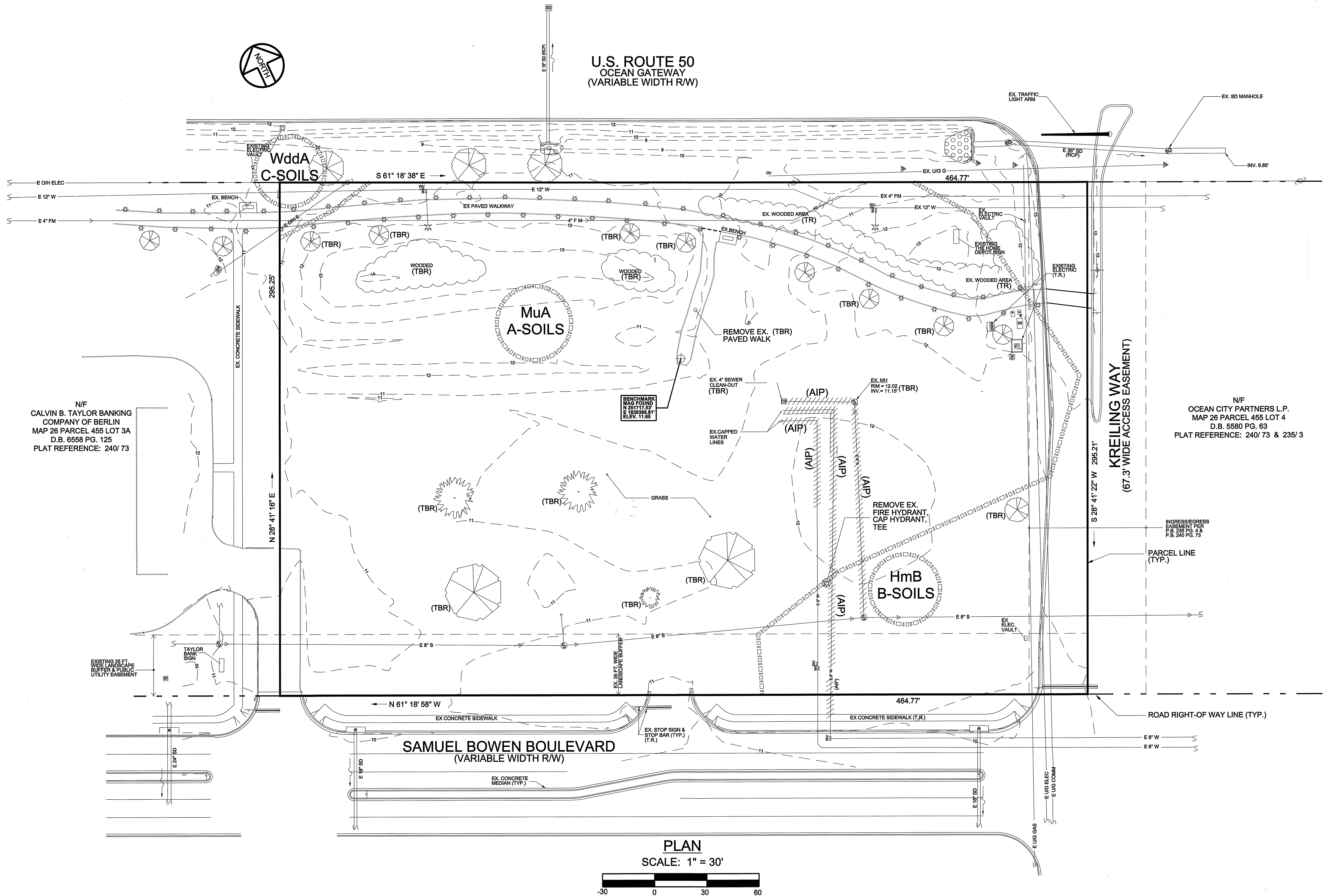
310 HAMMOND ST STE 100
SALISBURY, MD 21804
PHONE : 410.749.7229

SURVEYOR:

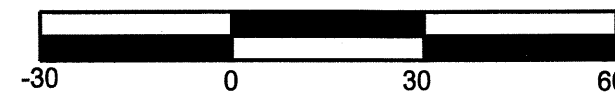
**ATLANTIC GROUP
& ASSOCIATES, INC.**

10044 OLD OCEAN CITY BLVD,
BERLIN, MARYLAND 21811
PHONE : 410.629.1160

	DESIGNED BY:	DRAWN BY:	CHECKED BY:	COVER SHEET, NOTES, INDEX & VICINITY MAP			
	JWS3	AMS	JWS3				
	JOHN W. SALM, III			REVISIONS			
				ZOOM CAR WASH LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT OCEAN PINES WORCESTER COUNTY MARYLAND J. W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			
SCALE:		DATE:		DRAWING No.:		SHEET No.:	
AS SHOWN		AUG. 2021		471-01-001		1 of 7	



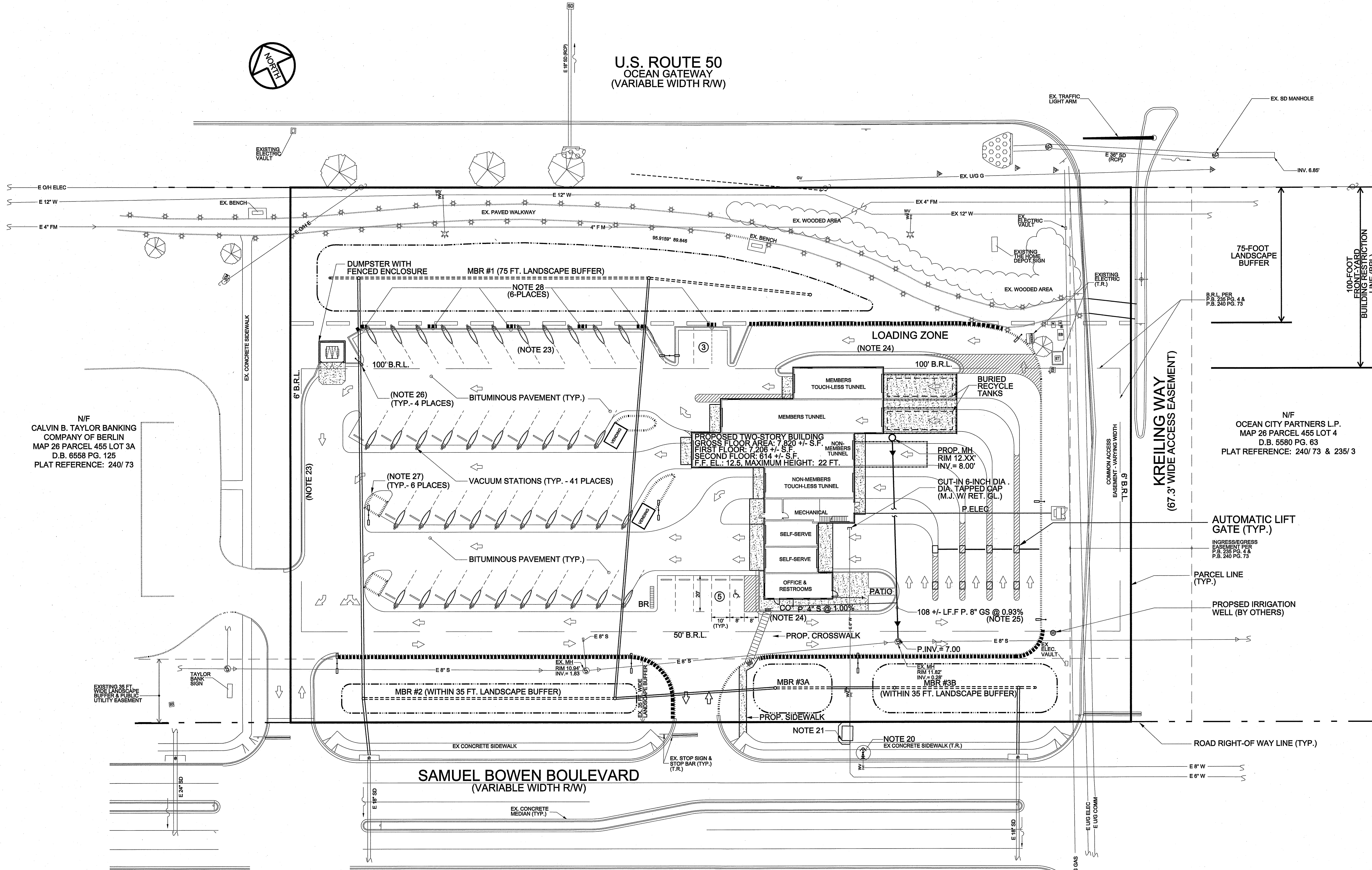
PLAN
SCALE: 1" = 30'



EXISTING CONDITIONS PLAN NOTES:

- 1) THE DEVELOPMENT PORTION OF THE SUBJECT PROPERTY (TAX MAP # 26, PARCEL # 455, LOT 3B) APPEARS TO FALL IN FLOOD ZONE "X" AS SHOWN ON FIRM MAP 2404702100H, EFFECTIVE 7/16/2016. FLOOD ZONE INFORMATION SHOWN HEREON IS NOT GUARANTEED AND WAS APPROXIMATELY SCALED FROM THE FLOOD INSURANCE RATE MAPS FOR THE COUNTY INDICATED. J.W. SALM ENGINEERING, INC. IS NOT A PARTY IN DETERMINING THE REQUIREMENTS FOR FLOOD INSURANCE ON THIS PROPERTY SHOWN. FOR FURTHER INFORMATION AND TO CONFIRM THE FLOOD ZONE FOR THIS PROPERTY, CONTACT THE LOCAL COMMUNITY FLOOD OFFICIAL. FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THIS PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE.
- 2) CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH WORCESTER COUNTY DPW PRIOR TO ABANDONING OR REMOVING ANY WORCESTER COUNTY WATER AND SEWER INFRASTRUCTURE.

<small>THIS DRAWING IS THE PROPERTY OF J.W. SALM ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF J.W. SALM ENGINEERING, INC. A FULLY LICENSED PROFESSIONAL ENGINEER UNDER LICENSE NO. 0071, EXPIRATION DATE: 06/30/2022.</small>	DESIGNED BY: MAD	DRAWN BY: AMS	CHECKED BY: JWS3	EXISTING CONDITIONS & DEMOLITION PLAN			
	JOHN W. SALM, III 19731			REVISIONS	ZOOM CAR WASH LOT 3B, GRID 2, PARCEL 455, TAX MAP 26		
					THIRD TAX DISTRICT: BERLIN WORCESTER COUNTY MARYLAND		
					J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811		
	SCALE: 1" = 30'	DATE: AUG. 2021	DRAWING No.: 471-01-002	SHEET No.: 2 of 7			



WATER AND SEWER NOTES:

- 1) ALL REFERENCES TO "STANDARD DETAILS" REFER TO WORCESTER COUNTY STANDARD SPECIFICATIONS FOR WATER MAINS AND SEWER MAINS, DATED NOVEMBER 1, 2017, LATEST REVISION.
- 2) ALL REFERENCES TO AWWA STANDARDS ARE TO THE LATEST REVISION.
- 3) CONCRETE ENCASUREMENT, IF REQUIRED, SHALL BE IN ACCORDANCE WITH STANDARD DETAIL S-1.
- 4) 2" WIDE METALLIC MARKING TAPE SHALL BE PLACED ABOVE ALL INSTALLED PIPING, BY OPEN CUT METHODS ONE FOOT BELOW GROUND. BLUE FOR WATER MAIN AND GREEN FOR GRAVITY SEWER. TRACER WIRE SHALL BE INSTALLED ON TOP OF THE PIPE FOR ALL WATER AND FORCE MAINS.
- 5) BACKFILL AROUND PIPES SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD DETAIL G-2 FOR PAVED AREAS AND G-3 FOR NON-PAVED AREAS. TRENCH BACKFILL FOR PVC MAINS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 6) WATER MAIN AND SERVICE ALIGNMENT SHALL HAVE A MINIMUM 10' HORIZONTAL SEPARATION FROM SEWER MAINS EXCEPT WHERE CROSSINGS ARE SHOWN ON THIS DRAWING. PROVIDE ALL TIES, HORIZONTAL AND VERTICAL BENDS AND OTHER FITTINGS OF THE APPROPRIATE DIAMETER, AS REQUIRED FOR PROPER ALIGNMENT. PIPE DEFLECTIONS SHALL STRICTLY CONFORM TO THE PIPE MINIMUM DEPTH OF COVER FOR WATER MAINS AND SERVICES. SHALL BE 9'-0" VERTICAL CLEARANCE BETWEEN STORM DRAIN AND OTHER UTILITIES SHALL BE 12" MIN.
- 7) FULL COPPER TRACER WIRE CONTINUOUS ALONG WITH ANY HORIZONTAL DRILLED PIPES. LAY COPPER TRACER WIRE WITH OPEN-CUT INSTALLED PIPE. PROVIDE DETECTOR TAPS FOR OPEN-CUT INSTALLED PIPE. PIPE TERMINATE COPPER WIRES AT GROUND LEVEL. IN VALVE BOXES OR OTHER LOCATION FOR CONVENIENT ACCESS.
- 8) ANY CONCRETE CURB AND GUTTER AND/OR ANY PAVEMENT DAMAGED SHALL BE REPLACED IN-KIND.

CONSTRUCTION SPECIFICATIONS:

- 1) IN GENERAL, UNLESS OTHERWISE NOTED, CONSTRUCTION SPECIFICATIONS SHALL CONFORM TO THE APPLICABLE PORTIONS OF THE NOVEMBER 1, 2017 WORCESTER COUNTY, STANDARD SPECIFICATIONS FOR WATER MAINS AND SANITARY SEWERS, LATEST REVISION.
- 2) GRAVITY SANITARY SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 3-A.
- 3) WATER MAINS AND SERVICE CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 3-B.
- 4) STRUCTURES AND MASONRY SHALL BE CONSTRUCTED IN CONFORMANCE WITH SECTION 3-C.

MATERIALS SPECIFICATION:

- 1) IN GENERAL, UNLESS OTHERWISE NOTED, MATERIAL SPECIFICATIONS SHALL CONFORM TO THE APPLICABLE PORTIONS OF THE NOVEMBER 1, 2017 WORCESTER COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR WATER MAINS AND SEWER MAINS, LATEST REVISION.
- 2) EXCAVATION AND BACKFILL SHALL CONFORM TO SECTION 02260.
- 3) AGGREGATES FOR PORTLAND CEMENT CONCRETE SHALL CONFORM TO SECTION 03300, 2.0 C-1-4.
- 4) CLEAN GRAVEL FOR BACKFILL SHALL CONFORM TO SECTION 02250, 3.0 C.
- 5) PORTLAND CEMENT CONCRETE SHALL CONFORM TO SECTION 04100, 2.0 C-2.
- 6) BRICK AND MASONRY SHALL CONFORM TO SECTION 04200.
- 7) PVC GRAVITY SEWER SHALL CONFORM TO AWWA C900 AND SECTION 02260, 2.0 E-2.
- 8) SCHEDULE IRON PIPE AND FITTINGS SHALL CONFORM TO SECTION 02050, 2.0 E-3.
- 9) VALVES SHALL CONFORM TO SECTION 02060. VALVE BOXES SHALL CONFORM TO SECTION 02062, 2.0 D-1-5.
- 10) FIRE HYDRANTS SHALL CONFORM TO SECTION 02064.
- 11) SERVICE CONNECTIONS SHALL CONFORM TO SECTION 02064. WATER SERVICE PIPE SHALL CONFORM TO SECTION 02064.
- 12) WATER METERS SHALL CONFORM TO SECTION 02064, 2.0 D-1-4 AND DETAILS W-9-W-11. CONTRACTOR TO REFER TO SECTION 02064 AND PART 4 PRIOR TO ORDERING METERS.
- 13) PVC GRAVITY SEWER AND LATERAL PIPE SHALL CONFORM TO SECTION 02270 2.0 E-1.
- 14) SERVICE SADDLES SHALL CONFORM TO PART 4 NUMBER 23.
- 15) MANHOLES SHALL CONFORM TO STANDARD 8500. ALL CASTINGS SHALL CONFORM TO STANDARD 8500, 2.0 D-4. MORTAR SHALL CONFORM TO STANDARD 04100.
- 16) CURB BOXES SHALL BE IN ACCORDANCE WITH PART 4, NUMBERS 12 AND 13. CURB STOPS SHALL BE IN ACCORDANCE WITH PART 4, NUMBER 26.
- 17) PVC LP SEWER FORCE MAINS, 3 INCHES IN DIAMETER AND LESS SHALL BE IPS PVC SDR 17 PUSH-ON JOINT. PVC LP SEWER FORCE MAINS 4 INCHES IN DIAMETER OR GREATER SHALL BE AWWA C-900 PVC. ALL FITTINGS, 3 INCHES IN DIAMETER AND GREATER SHALL BE MECHANICAL JOINT WITH RETAINER CLAMPS AND THRUST BLOCKS. GLUED FITTINGS WITH THRUST BLOCKS SHALL BE USED FOR 2 INCH DIAMETER AND LESS.

PLAN

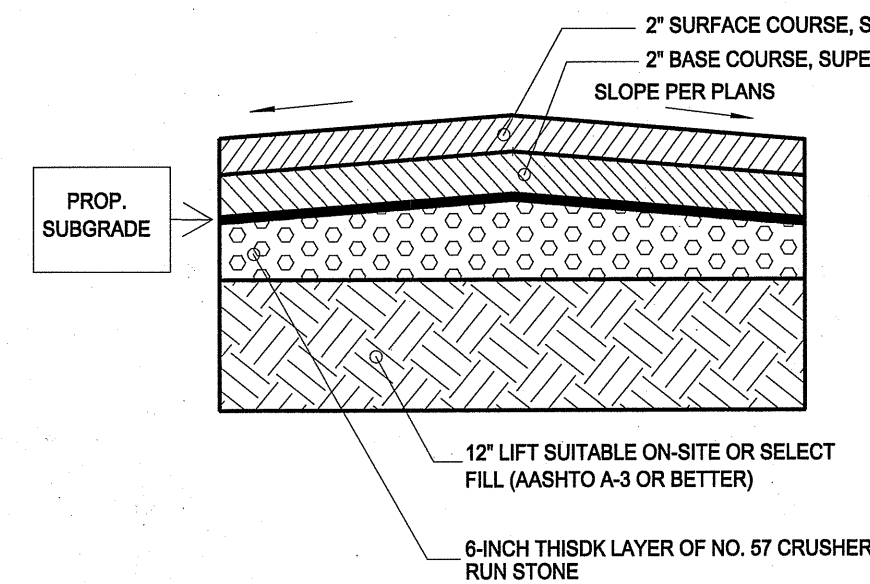
SCALE: 1" = 30'



SITE PLAN NOTES:

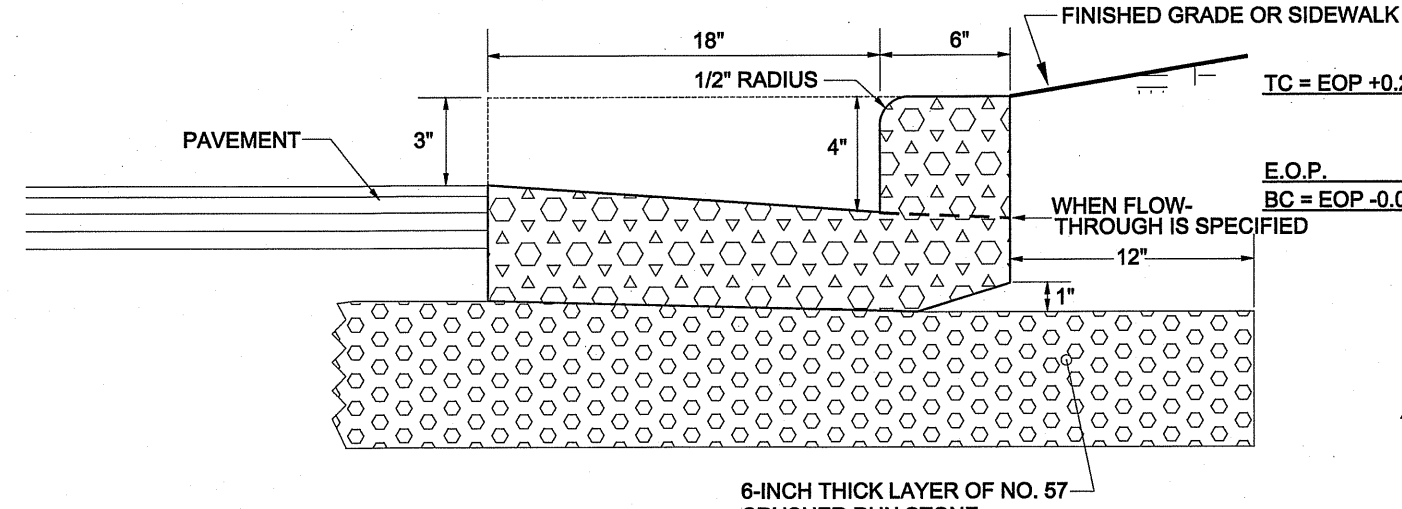
- 1) BUILDING LAYOUT WAS TAKEN FROM THE PROJECT ARCHITECTURAL PLANS PREPARED BY IOTT AND ASSOCIATES, INC., PROVIDED UNDER SEPARATE COVER.
- 2) ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. EXCLOSION MATTING SHALL BE USED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL OR STEEPER.
- 3) THIS PLAN SHOWS NO IMPACT TO NON-TIDAL WETLANDS OR THEIR BUFFERS.
- 4) NO AGRICULTURAL STRUCTURES EXIST WITHIN 200 FEET OF THIS PROJECT SITE.
- 5) INSTALL NOSE DOWN TYPE CURB AND ADA COMPLIANT RAMPS WHERE INDICATED ON PLANS. SEE DETAILS ON SHEET 12. COORDINATE WITH NOSEDOWN CURB LOCATION AND WHERE APPLICABLE PROVIDE RAISED.
- 6) EXTERIOR LIGHTING SHALL BE PROVIDED BY BUILDING MOUNTED LIGHTS SHOWN ON THE ARCHITECTURAL PLAN AND POLE MOUNTED LUMINAIRES SHOWN ON THE SEPARATE LIGHTING PLAN. LIGHTING SHALL BE ADJUSTED AND DIRECTED SO AS NOT TO CAUSE ANY OBJECTIONABLE GLARE ON PROPERTIES OR ROADWAYS. ALL LIGHTING, EXTERIOR LIGHTS, SIGNS, FLOODLIGHTS, PARKING LOT LIGHTING, STREET LIGHTS, AND LIGHTING NECESSARY FOR THE SAFETY AND PROTECTION OF PROPERTY, SHALL BE DIRECTED, CONTROLLED AND FOCUSED WITHIN THE SITE'S PROPERTY LINES TO MINIMIZE GLARE AND ILLUMINATION OF NEIGHBORING PROPERTIES AND SPECIFICALLY TO DIRECT THE LIGHT AWAY FROM ADJOINING LOTS OR ROADS. SEE LIGHTING PLANS PROVIDED UNDER SEPARATE COVER.
- 7) NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- 8) THERE SHALL BE ONE STREET TREE PROVIDED FOR EVERY 6 PARKING SPACES. THERE SHALL BE NO PAVEMENT, CURB, OR PARKING SURFACE WITHIN FOUR FEET OF ANY TREE TRUNK. LANDSCAPING SHALL BE MAINTAINED BY THE OWNER. WATER SHALL BE PROVIDED BY ON-SITE IRRIGATION WELL AND AUTOMATIC IRRIGATION SYSTEM.
- 9) FIRE LANES SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE NOT BE LESS THAN 20 FEET IN UNOBSTRUCTED WIDTH WITH A MINIMUM VERTICAL CLEARANCE OF 15'-6".
- 10) PUBLIC WATER AND PUBLIC SEWER SERVICE SHALL BE PROVIDED BY THE OCEAN PINES SANITARY SERVICE AREA.

- 11) PROVIDE 30" X 30" OCTAGONAL STOP SIGN WITH DIAMOND GRADE REFLECTIVE MATERIAL. MOUNT 7' FROM GRADE TO BASE OF SIGN. PROVIDE R1-1 AND 24" WIDE PAINTED STOP BAR.
- 12) MECHANICALS SHALL BE ROOF MOUNTED.
- 13) BIKE RACKS SHALL BE MODEL R824, BY DERO, ANCHORED TO THE GROUND.
- 14) PHOTO-CELL CONTROLLED, DARK-SKY, FULL CUT-OFF LED WALL PACK (8240 LUMENS MAX).
- 15) NO AGRICULTURAL STRUCTURES EXIST WITHIN 200 FEET OF THIS PROJECT SITE.
- 16) ALL NEW STANDARD PARKING STALLS SHALL BE 10' X 20' AND MARKED BY PAINTED LINES ON ALL NEW HANDICAP SPACES SHALL BE VAN ACCESSIBLE. SIGNAGE MARKINGS IN ACCORDANCE WITH ADA AND WORCESTER COUNTY REQUIREMENTS SHALL BE PROVIDED. HARD SURFACE LANDING AREAS SHALL BE PROVIDED FOR ACCESSIBLE.
- 17) WASTE REMOVAL SHALL BE BY DUMPSTER WITH SCREENING.
- 18) NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- 19) THIS SITE IS NOT LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
- 20) INSTALL 8" X 8" REDUCER, 8-INCH VALVE, 6" DIP RUNNOUT AND FIRE HYDRANT ASSEMBLY.
- 21) WATER METER CHAMBER, SEE DETAIL SHEET 7.
- 22) 2 FOOT WIDE DEPRESSIONED CURB LOCATION.
- 23) STANDARD CURB AND GUTTER.
- 24) REVERSE PAN CURB AND GUTTER.
- 25) CONNECT P, 8" GS TO EXISTING MANHOLE WITH INSIDE DROP CONNECTION. CORE DRILLED HOLES AND LINK SEALS REQUIRED.
- 26) SINGLE RAB ALED31150, TYPE A LUMINAIRE, 150W, 16,398 LUMENS, MOUNTING HEIGHT 25 FEET.
- 27) TWIN RAB ALED31150, TYPE A LUMINAIRE, 150W, 16,398 LUMENS, MOUNTING HEIGHT 25 FEET.
- 28) CONSTRUCT 3-FOOT LONG CURB CUT OUT SECTIONS. 5 FT. OF STONE SPREADER STRIP BEHIND. SEE DETAIL, SHEET 7.



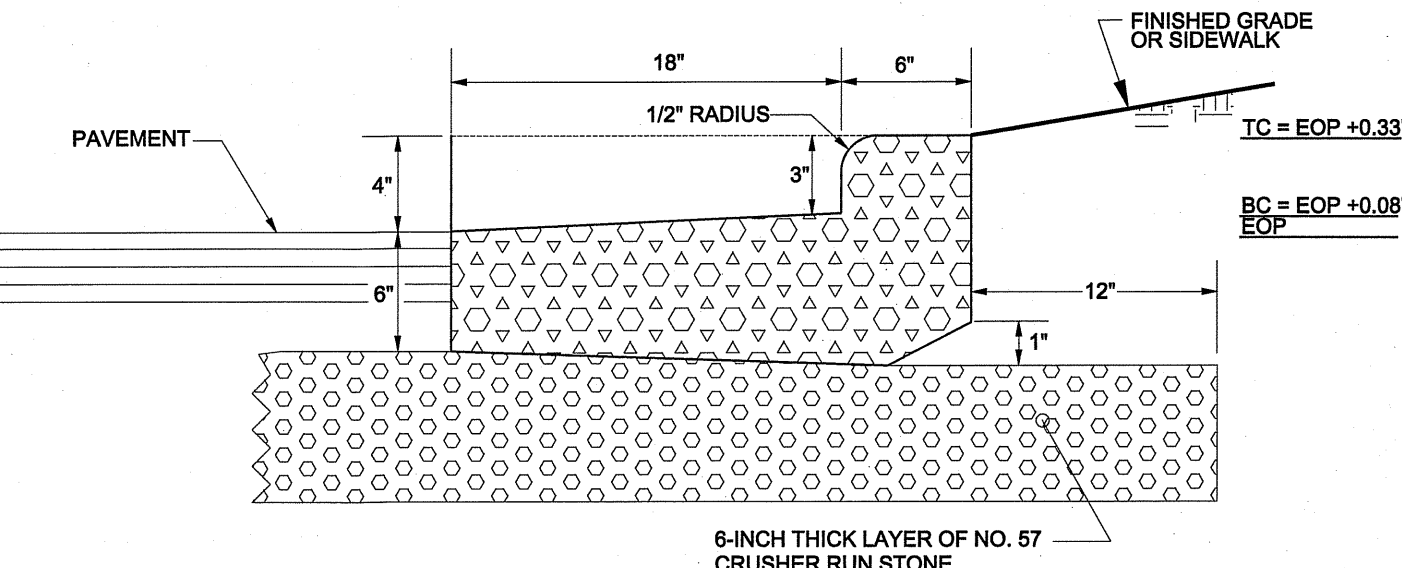
PAVEMENT SECTION DETAIL

NOT TO SCALE



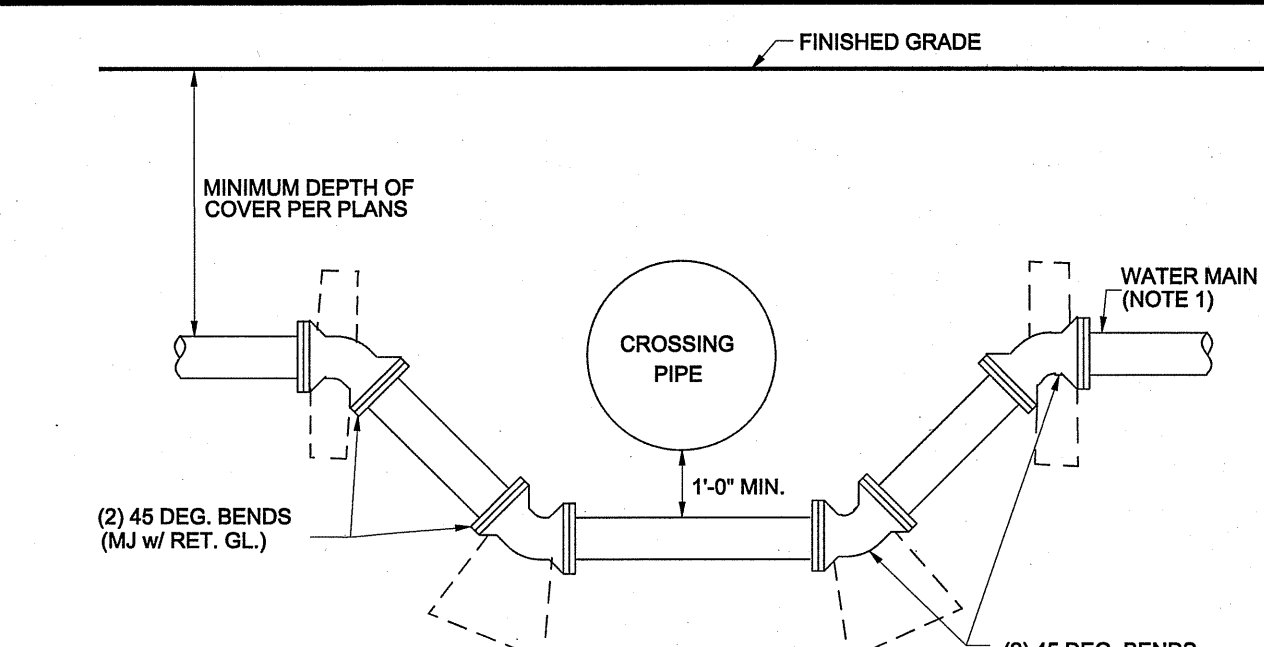
STANDARD CURB & GUTTER DETAIL

NOT TO SCALE



REVERSE PAN CURB & GUTTER DETAIL

NOT TO SCALE



PIPE CROSSING DETAIL

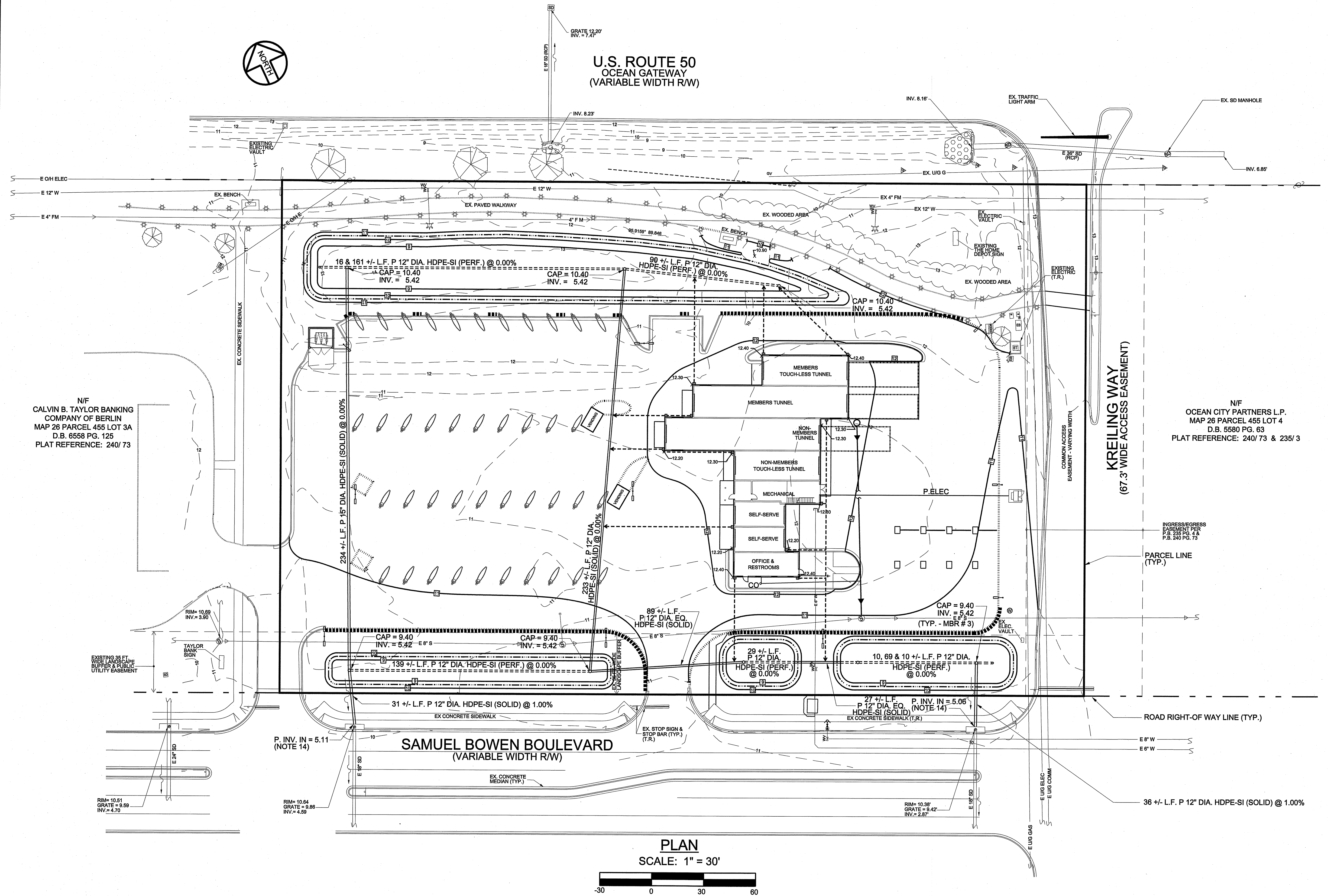
NOT TO SCALE

NOTES:

- 1) DIAMETER PER PLANS.
- 2) UNLESS OTHERWISE NOTED, WATER MAINS SHALL CROSS OVER GRAVITY SEWERS AND UNDER STORM DRAIN PIPES.

DESIGNED BY: JRJ
DRAWN BY: AMS
CHECKED BY: JWS3
REVISIONS:
JOHN W. S. S. III
19731
MARYLAND PROFESSIONAL ENGINEER LICENSE No. 19731

SITE PLAN
ZOOM CAR WASH
LOT 3B, GRID 2, PARCEL 455, TAX MAP 26
THIRD TAX DISTRICT BERLIN WORCESTER COUNTY, MARYLAND
J. W. S. S. III ENGINEERING, INC.
P.O. BOX 379, 9842 MAIN STREET, SUITE 3
BERLIN, MD 21811
SCALE: 1" = 30'
DATE: AUG. 2021
DRAWING No.: 471-01-003
SHEET No.: 3 of 7



PLAN
SCALE: 1" = 30'

EXISTING IMPERVIOUS AREA: 0.13 +/- AC.
PROPOSED IMPERVIOUS AREA: 1.72 +/- AC.
TOTAL IMPERVIOUS AREA: 1.82 +/- AC.

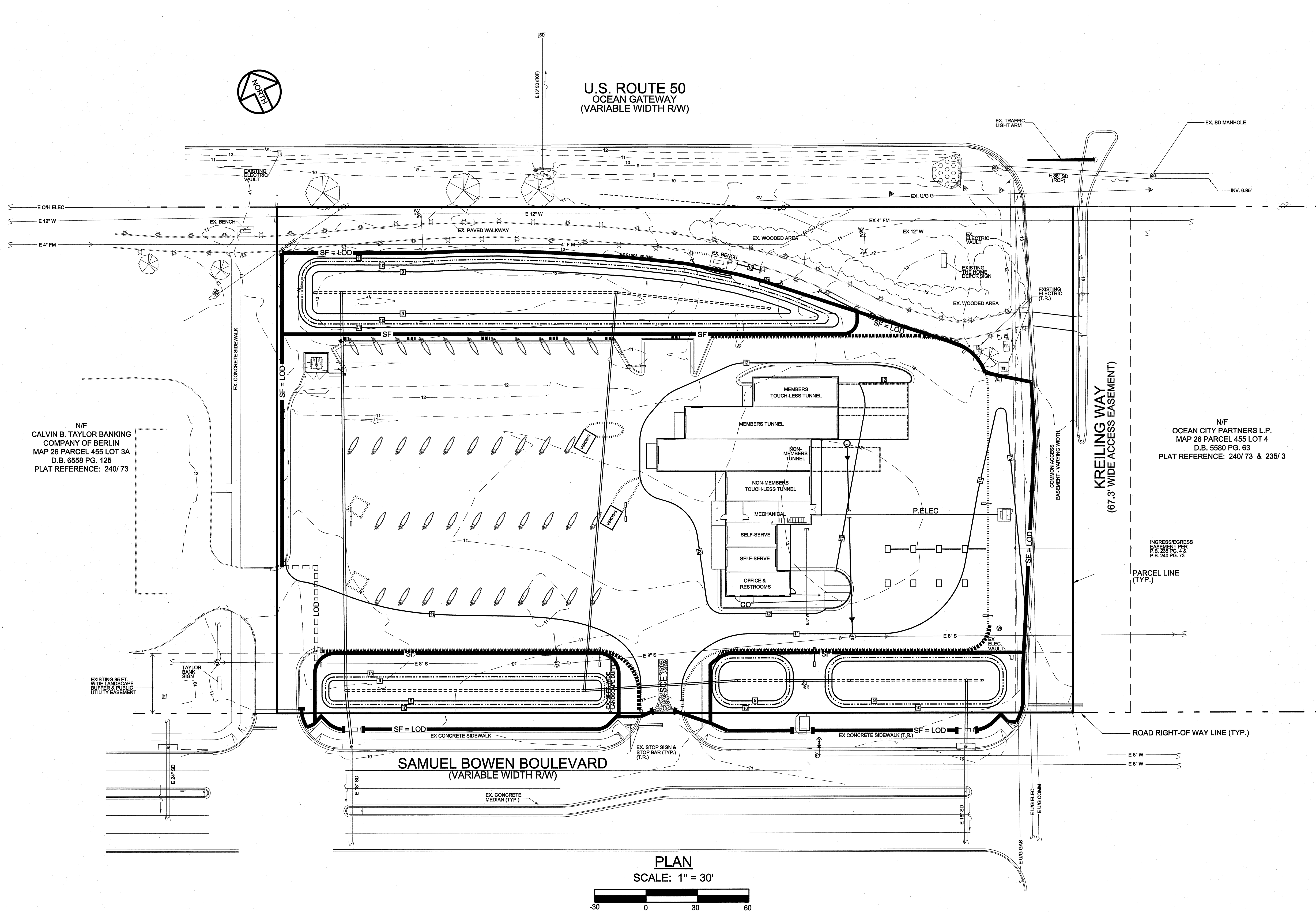
FLOW DIRECTION ARROWS

PIPE FLOW
SWALE/DITCH FLOW
ROOF FLOW
PAVEMENT SLOPE
SHEET FLOW
RAINDOWNSPOUT/DRAIN
GUTTER FLOW

NOTES:

- UNLESS OTHERWISE NOTED, ALL STORMDRAIN PIPE SHALL BE SMOOTH BORE, HDPE SI (SMOOTH INTERIOR), ADS N-12 OR EQUAL. UNLESS OTHERWISE SPECIFIED, TRANSITIONING BETWEEN DIFFERING PIPE MATERIALS SHALL BE MADE AT INLET STRUCTURES OR JUNCTION BOXES.
 - RCP: REINFORCED CONCRETE PIPE
 - BCOMP: BITUMINOUS COATED CORRUGATED METAL PIPE
 - HDPE-SI: HIGH DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR)
 - HDPE: CORRUGATED HIGH DENSITY POLYETHYLENE PIPE
 - PROVIDE OUTLET PROTECTION 12" THICK, 2.0 S.Y. RIPRAP PAD ON FABRIC, D50-7.
 - NO HIGHLY ERODIBLE SOILS EXIST ON THIS PROJECT.
 - SUBWATERSHED: 02130103 ISLE OF WIGHT BAY
 - FOREST CONSERVATION PROVISIONS HAVE ALREADY BEEN PROVIDED FOR AND PLATTED FOR THIS PROPERTY.
 - THERE ARE NO NON-TIDAL WETLANDS ON THIS SITE. THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS REGARDING IMPACT TO NON-TIDAL WETLANDS. NO WETLANDS ARE LOCATED WITHIN ANY WORK AREAS.
 - DUE TO HAVING MORE THAN 1.0 ACRE OF DISTURBED AREA, A SWM NOI IS REQUIRED.
 - ALL ROOF DRAINAGE NOT COLLECTED IN STORMDRAIN SYSTEM SHALL BE DIRECTED TO PAVED AREAS.
 - THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN THE STATE OF MARYLAND.
 - REVERSE PAN CURB AND GUTTER, SEE DETAIL SHEET 3.
 - STANDARD CURB AND GUTTER, SEE DETAIL SHEET 3.
 - FLOW THROUGH CURB CUT LOCATION.
 - THE OWNER WILL BE RESPONSIBLE FOR SWM MEASURE MAINTENANCE.
 - CONNECT PROPOSED STORMDRAIN PIPE TO BACK OF EXISTING INLET STRUCTURE WITH A CORE DRILL HOLE AND LINE SEAL.
- SWM O AND M REQUIREMENTS/ INSPECTION SCHEDULE:**
- PRIVATELY OWNED PRACTICES SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - MICRO-BIORETENTION BASINS SHALL BE INSPECTED MONTHLY AND CLEANED ANNUALLY. MEDIA AND PLANTINGS REPLACEMENT SHALL BE IN ACCORDANCE WITH THE ORIGINAL PLANS AND SPECIFICATIONS.

DESIGNED BY: JJR	DRAWN BY: AMS	CHECKED BY: JWS3	STORMWATER MANAGEMENT (SWM) PLAN	
JOHN W. SALM, III 19731 MARYLAND PROFESSIONAL ENGINEER LICENSE NO.: 19731			ZOOM CAR WASH LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE: 1" = 30'	DATE: AUG. 2021	DRAWING No.: 471-01-004	SHEET No.: 4 of 7	



STANDARD SESC SYMBOLS / LEGEND	
EARTH DIKE	A-2 B-3
SWALE	A-2 B-3
PERIMETER DIKE/SWALE	POS-1
PIPE SLOPE DRAIN	POS-12 ROP
ROCK OUTLET PROTECTION	CD
STONE CHECK DAM	T808
STONE OUTLET STRUCTURE	T808
SILT FENCE	SF
LIMIT OF DISTURBANCE (LOD)	SF = LOD
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
MEDIAN INLET PROTECTION	MIP
LEVEL SPREADER	LS
GABION INFLOW PROTECTION	GM
RIP RAP INFLOW PROTECTION	RRP
STABILIZED CONSTRUCTION ENTRANCE	SCE
REMOVABLE PUMP STATION	RPS
PIPE PROTECTION	PP
SUMP PIT	SP
FILTER BAG	FB
CULVERT INLET PROTECTION	IP
TS: TEMPORARY SEEDING	TS
TSSMC: TEMPORARY SEEDING AND MATTING	TS

SOIL EROSION AND SEDIMENT CONTROL (SESC)

SEQUENCE OF CONSTRUCTION (SOC):

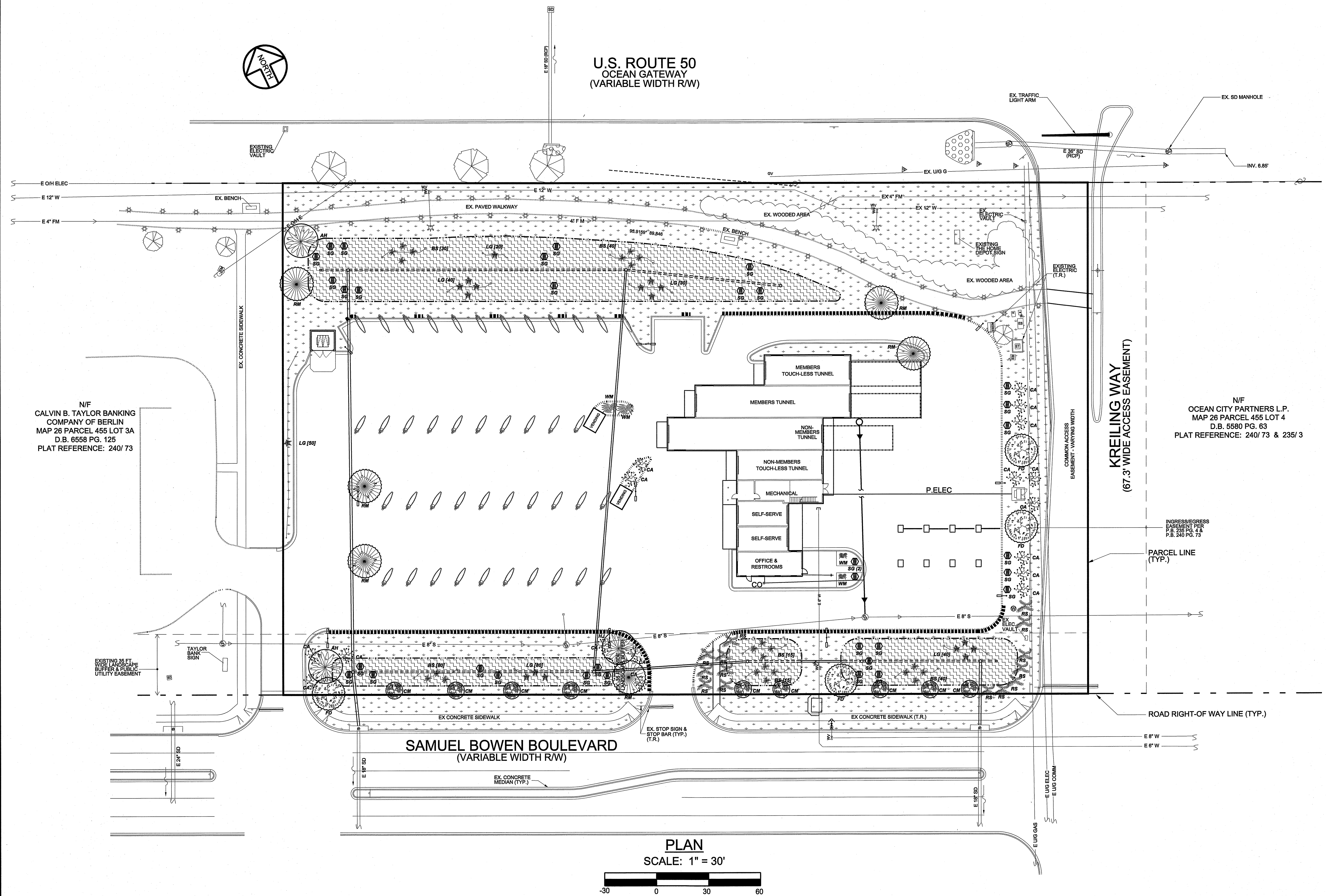
- SCHEDULE A PRE-CONSTRUCTION MEETING WITH WORCESTER COUNTY, DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER."
- INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) AND PERIMETER SILT FENCE. PAY SPECIAL ATTENTION TO AREAS OF ENVIRONMENTAL CONCERN. SILT FENCE INSTALLATION SHALL BE INSPECTED BY WORCESTER COUNTY, PRIOR TO PROCEEDING.
- STABILIZE AND INSTALL ALL TEMPORARY S.E.S.C. MEASURES, INCLUDING INTERIOR SILT FENCE.
- ROUGH GRADE THE SITE FOR PARKING AREAS AND BUILDING PADS. CONSTRUCT BUILDINGS, STOCKPILE FILL SOILS AND SOILS AS NEEDED AND SURROUND AREAS WITH SILT FENCE. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE 7/14 DAY RULE. STABILIZE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY SESC DEVICES.
- CONSTRUCT BUILDING FOUNDATION.
- INSTALL WATER, SEWER AND OTHER UTILITIES AS CONSTRUCTION CONTINUES.
- CONSTRUCT THE BUILDING.
- CONSTRUCT SIDEWALKS AND CURB & GUTTER. STABILIZE DISTURBED AREA AS WORK PROGRESSES.
- PLACE GRAVEL SUB-BASE.
- DETAILED DESCRIPTION OF SWM BMP CONSTRUCTION/PHASING: CONSTRUCT MBR BASINS LAST.
- PAVE THE SITE
- LANDSCAPE THE SITE.
- STABILIZE THE SITE.
- REMOVE TEMPORARY SESC DEVICES AFTER FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS GRANTED.






LOD = 2.56 +/- AC







SESC GENERAL NOTES:

- CONSTRUCT ALL STORMDRAINS AND INLET PIPES IN AN "UPSTREAM" DIRECTION: WORK FROM OUTLETS OR OUTFALLS TOWARDS CATCH BASINS OR INLETS. NO SEDIMENT LADEN WATER SHALL ENTER STORMDRAIN PIPES. COVER OPEN ENDS OF PIPES WITH PLYWOOD AND STONE AS NECESSARY.
- THE PROJECT SHALL BE IN COMPLIANCE WITH ALL SECTIONS OF THE ANNOTATED CODE OF MARYLAND, ENVIRONMENTAL ARTICLE, SUBTITLE 1, SEDIMENT CONTROL 4-101 THROUGH 4-116, COMAR 26.17.01.11 AND THE 2012 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DESIGNED BY: JWS3	DRAWN BY: JJR	CHECKED BY: JWS3	SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN	
JOHN W. SALM, III 19731 MARYLAND PROFESSIONAL ENGINEER LICENSE NO. 19731			REVISIONS	
ZOOM CAR WASH LOT 3B, GRID 2, PARCEL 455, TAX MAP 26 THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811				
SCALE: 1" = 30'	DATE: AUG. 2021	DRAWING No.: 471-01-005	SHEET No.: 5 of 7	



LANDSCAPING SCHEDULE				
LEGEND	QUANTITY	PLANTING		HEIGHT AT MATURITY
		HEIGHT	CALIPER/SIZE	
 RM RED MAPLE (<i>Acer rubrum</i>)	6	10'	1.5"	50'
 HJ HOLLYWOOD JUNIPER (<i>Juniperus chinensis Tortuosa</i>)	1	10'	1.5"	100'
 AH AMERICAN HOLLY (<i>Ilex opaca</i>)	1	10'	1.5"	50'
 FD FLOWERING DOGWOOD (<i>Cornus Florida</i>)	4	10'	1.5"	20'
 CM CREPE MYRTLE (<i>Lager Stroemia</i>)	9	10'	1.5"	35'

LANDSCAPING SCHEDULE					
LEGEND		QUANTITY	PLANTING		HEIGHT AT MATURITY
			HEIGHT	CALIPER/SIZE	
 RS	ROSES SHRUB (Rose Knockout)	14	1'	3 gal	2.5'
 WM	WAXMYRTLE (Myrica caribaea)	4	3'	3 gal	6'
 CA	COASTAL AZALEA (Rohdodendron Atlanticum)	17	2'	3 gal	15'
 SG	SWITCH GRASS (Panicum virgatum)	31	2'	tuft	6'
 BS	BILUEWOODS SEDGE (Carex flacca spornia)	220	6"	tuft	12"
 LG	LIRIOPE GRASS (Liriope Spicata)	240	8"	1 gal	12"

1. LIMITS OF SOIL DISTURBANCE, GRADING, PAVING AND/OR SEEDING/STABILIZATION INCLUDE ALL CONSTRUCTION AREAS AND ADJACENT SITES WITHIN THE LIMITS AS SHOWN.
2. THE CONTRACTOR SHALL CONTACT THE WORCESTER COUNTY DEVELOPMENT REVIEW AND PERMITTING AT 410-832-1220, AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO CONTACT WORCESTER COUNTY MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SEDIMENT CONTROL AND STORMWATER MANAGEMENT MEASURES ARE INSTALLED AS SPECIFIED HEREIN, PRIOR TO START OF ANY GRADING OF THE SITE OR ANY OTHER CONSTRUCTION ACTIVITIES.
4. SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED PRIOR TO GRADING. THEY SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE 2011, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS AND THE WORCESTER COUNTY REQUIREMENTS.
5. STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SOIL EROSION CONTROL BASINS AND SILT FENCES OR OTHER CONTROL ITEMS WHICH MAY BE REQUIRED SHALL BE CONSTRUCTED AS DETAILED HEREIN.
6. ALL SEDIMENT CONTROL DEVICES SHALL BE CLEANED PERIODICALLY DURING CONSTRUCTION TO INSURE THEIR INTEGRITY AND PROPER FUNCTION.
7. EACH AREA SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED WHEN SITE DEVELOPMENT WORK, GRADING OR OTHER EARTH DISTURBANCE ACTIVITIES CEASE TO BE CONTINUOUS FOR MORE THAN 7 DAYS.
8. ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED UPON OPERATION UNTIL CONSTRUCTION PROJECT IS FULLY STABILIZED BY VEGETATION OR PAVING AND FREE FROM SEDIMENT.
9. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES MUST BE PROVIDED TO INSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED.
10. DURING THE LAYOUT OF SEDIMENT CONTROL DEVICES SHOWN ON PLANS, FIELD ADJUSTMENTS SHALL BE MADE TO INSURE THAT PROPER PLACEMENT HAS BEEN MADE TO ARREST AND CONTROL ANY SEDIMENT THAT COULD LEAVE THE CONSTRUCTION SITE.
11. ALL OUTFALLS ARE TO BE PROTECTED FROM EROSION VELOCITIES.
12. PUBLIC ROADS AND OTHER RIGHT-OF-WAYS SHALL BE KEPT FREE OF SEDIMENT DEPOSITS LEFT FROM HEAVY TRUCK TRAFFIC LEAVING THE CONSTRUCTION SITE.
13. PERMANENT STABILIZATION OF ALL AREAS NOT TO BE SODDED OR PAVED SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THESE DRAWINGS.
14. IMMEDIATELY AFTER FINAL GRADES ARE OBTAINED, ALL AREAS TO BE PAVED, SHALL BE PAVED.
15. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY SITE STABILIZATION SHALL BE COMPLETED WITHIN:
 - A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
 - B) SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
16. ALL TEMPORARY STOPCILES THAT ARE TO BE LEFT UNDISTURBED SHALL, IMMEDIATELY AFTER PLUNG, BE FERTILIZED, LINED AND COVERED WITH MULCH AT A RATE OF 1 LB. PER 1,000 SF. ALL TEMPORARY STABILIZATION SHALL BE AS FOLLOWS:
 - A) IF STOPCILE SLOPES ARE GREATER THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT 3 DAYS OR LONGER, IF SLOPES ARE LESS THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT TO BE UNDISTURBED 7 DAYS OR LONGER.
 - B) PULVERIZED DOLOMITIC LIMESTONE APPLIED AT A RATE OF 2,000 LBS. PER ACRE OR 45 LBS. PER 1,000 SF.
 - C) FERTILIZER (5-5-5) APPLIED AT A RATE OF 500 POUNDS PER ACRE OR 11.5 LBS. PER 1,000 SF.
 - D) RYE GRASS APPLIED AT A RATE OF 40 LBS. PER ACRE AND MULCH WITH STRAW AT 1.5 TONS PER ACRE.
17. ANYTIME AN EROSION OR SEDIMENT PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CORRECT IT.
18. THE SOIL CONSERVATION DISTRICT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT RESERVE THE RIGHT TO ADD, MODIFY OR OTHERWISE ALTER THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN AS NECESSARY TO PROVIDE ADEQUATE PROTECTION. IF THIS PLAN IS REVISED, THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEER FOR RESUBMITAL TO THE SOIL CONSERVATION DISTRICT.

The diagram illustrates the Erosion Control Blanket System (ECBS) through three views: Perspective View, Top View, and Cross Section.

Perspective View: Shows the ECBS installed on a slope. Key dimensions include a 12" maximum center-to-center spacing between fence posts, a 30" minimum length for the fence post driven a minimum of 16" into the ground, a 16" minimum height of the geotextile class F, and an 8" minimum depth in the ground. Arrows indicate the flow direction.

Top View: Shows the layout of the ECBS on the ground. It includes labels for "EMBED GEOTEXTILE CLASS F A MINIMUM OF 8" VERTICALLY INTO THE GROUND", "POSTS", "SECTION A", "SECTION B", and "STAPLE".

Cross Section: Shows the vertical profile of the ECBS. It includes labels for "30" MINIMUM FENCE POST LENGTH", "FILTER CLOTH", "FLOW", "FENCE POST SECTION MINIMUM 20" ABOVE GROUND", "GROUND", "FENCE POST DRIVEN A MINIMUM OF 16" INTO THE GROUND", and "UNDISTURBED".

Standard Symbol: A rectangular symbol with a horizontal line and a vertical line, representing the ECBS. The dimension 8" is indicated below the symbol.

Joining Two Adjacent Silt Fence Sections: The diagram shows two adjacent silt fence sections joined by a staple. The staple is shown as a horizontal line connecting the two sections.

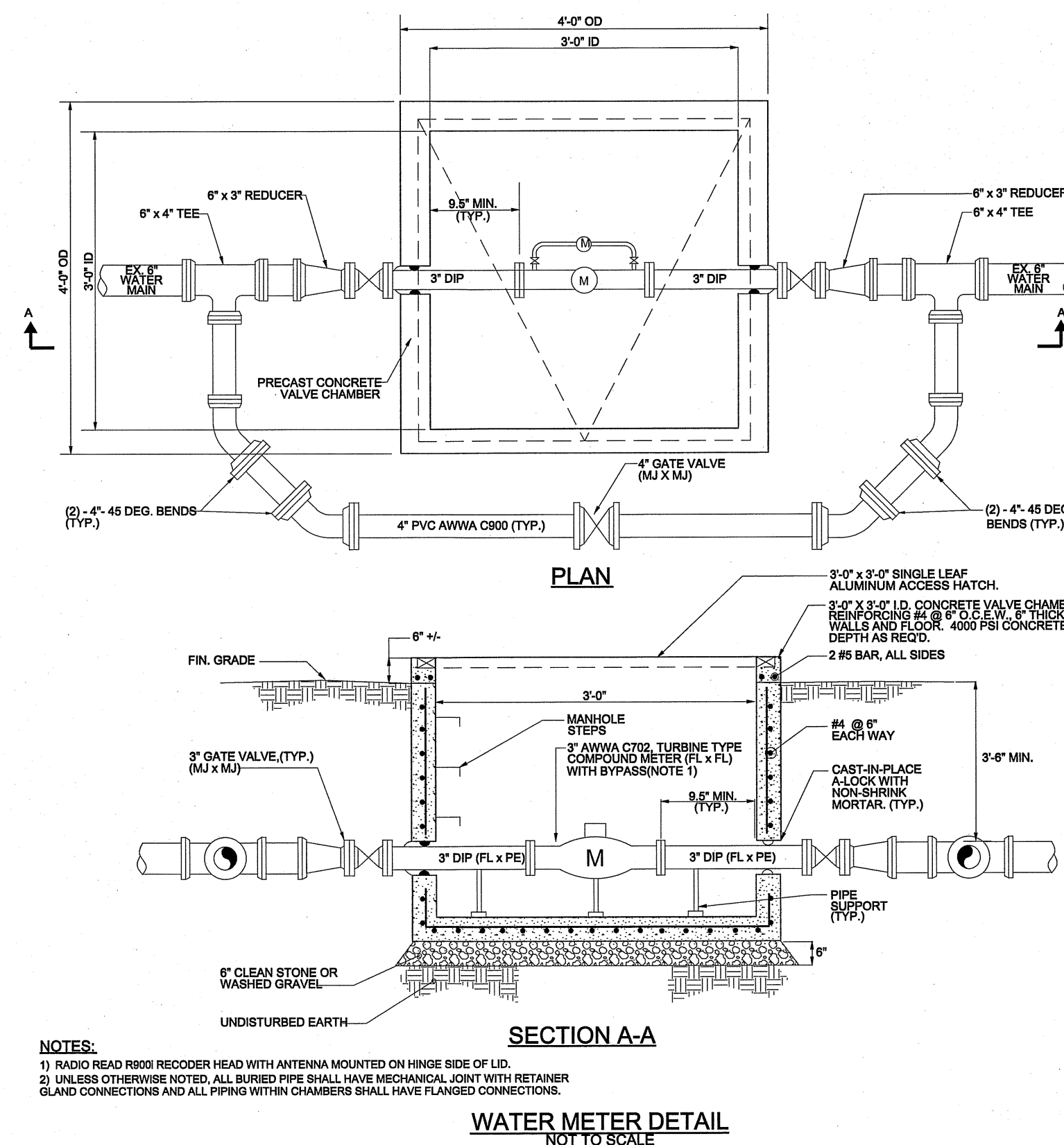
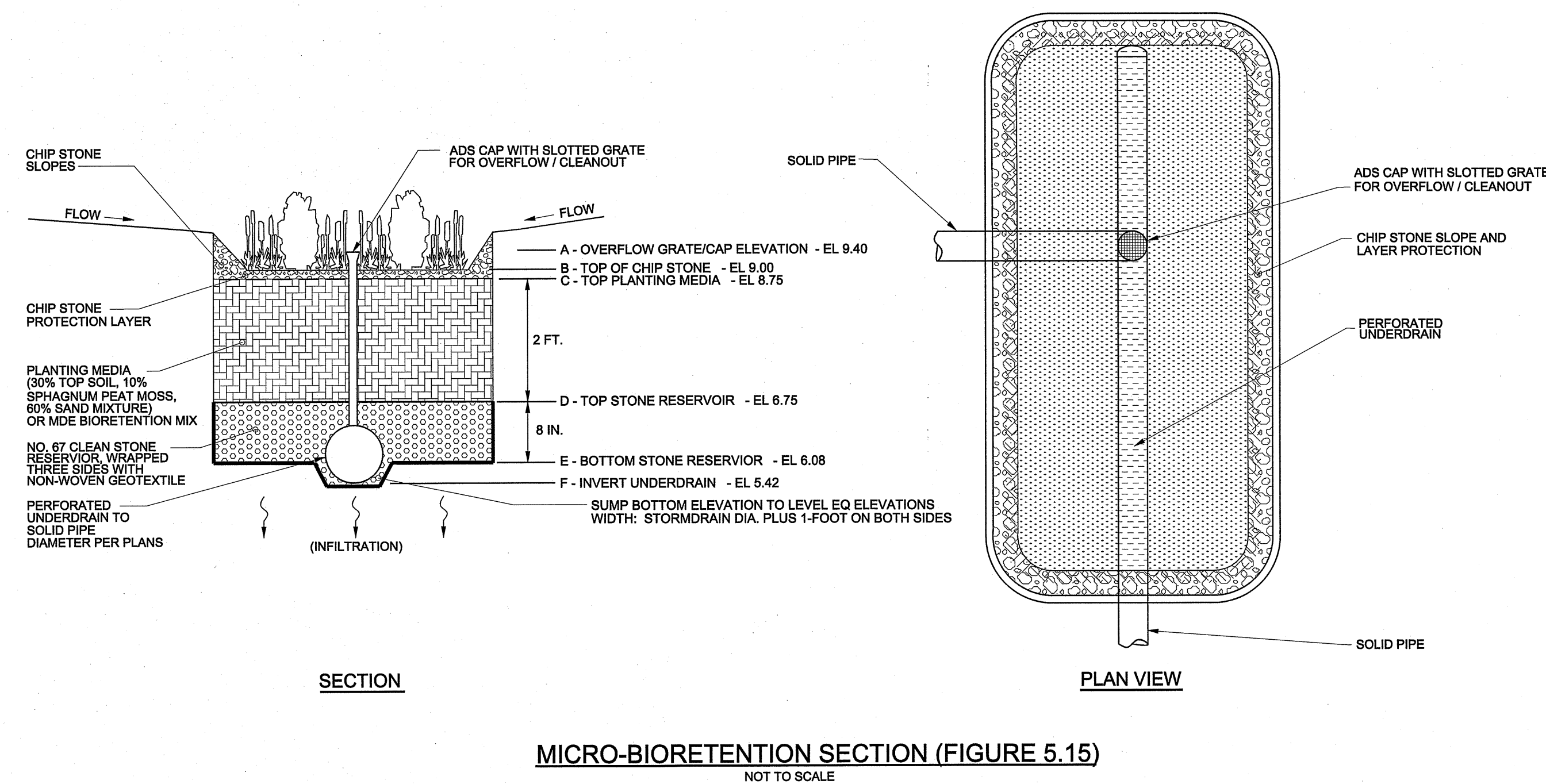
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) and, or 1 3/4" diameter (maximum). Concrete posts shall be 4" diameter (minimum) and shall be standard T or U section lightweight not less than 1.000 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top end mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 609
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 609
Flow Rate	0.3 gal ft / minute (max.)	Test: MSMT 332
Filtration Efficiency	75% (min.)	Test: MSMT 332
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent seepage/bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when the fabric has been eroded or when it has not reached 90% of the fabric height.

Seed Mixture (Hardness Zone 7b) (From Table 26)					Fertilizer Rate (10-10-10)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth		
1.	RYE	140	2/1 - 4/30 8/15 - 11/30	1"-2"	600 lb/ac (15 lb/1000 sf)	2 tons/ac (100 lb/1000 sf)
2.						
3.						

Seed Mixture (For Hardiness Zone 7b - (From Table 25))					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	N	P2O5	K2O	
	Tall Fescue Hard Fescue	120 30	3/1 - 5/15 8/15 - 11/15	1"-2"	90 lb/ac (2.0 bu/ 1000 sf)	175 lb/ac (4 bu/ 1000 sf)	175 lb/ac (4 bu/ 1000 sf)	2 tons/ac (1000 bu)
12.								

1. Length - minimum of 50' (*30' for single resistance lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. ***The plan approval authority may not require single family residences to use geotextiles.***
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing or to be diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipes installed through the stabilized construction entrance shall be protected with a minimum of 12" of stone with 2.5" and a minimum of 6" of stone over the pipe. Pipes shall be sized according to the drainage. When the SCE is located at a high spot and the entrance is not at the high spot, the pipe will be covered with 12" of stone and 6" of stone according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site shall travel on the stabilized entrance.



- 1) TAX MAP 26, P. 455, GRID 2, LOT 3B: DEED REF: 05680/00093
- 2) TOTAL TRACT: 3.14+/- AC
- 3) TOTAL DISTURBED AREA: 2.56 +/- AC
- 4) ONSITE SOILS CONSIST OF:
MUA - MATTAPLEX SILT LOAM
Wdda - WOODSTOWN SANDY LOAM
Hmb - HAMMONTOWN LOAMY SAND
- 5) CONTACT WORCESTER COUNTY AT 410.632.1220, PRIOR TO PERFORMING
ANY WORK ON THIS PROJECT. IN ORDER TO SCHEDULE A PRE- CONSTRUCTION CONFERENCE.
- 6) AN NOI IS REQUIRED DUE TO THE SITE HAVING MORE THAN 1.0 ACRES OF DISTURBED AREA.
- 7) APPLICANT/DEVELOPER:
CAR WASH 50, LLC
8688 WHEATLANDS RD
EASTON, MD 21601
PHONE: 443-783-0230

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS.

DATE _____

JOHN W. SALM, III
MARYLAND PROFESSIONAL
ENGINEER LICENSE No.: 19731

ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION. THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT AND INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE. ALL STRUCTURAL DEVICES FOR STORM WATER MANAGEMENT ARE BASED ON THE TESTED AND APPROVED SOIL TYPES AND SLOPE CONDITIONS. DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION, ON ANY SITES (EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS):

1. THE DEPARTMENT OF THE ENVIRONMENT AND NATURAL RESOURCES, NOTICE OF CONSTRUCTION (NOC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, THE DEPARTMENT OF THE ENVIRONMENT AND NATURAL RESOURCES CAN BE NOTIFIED.

DATE _____

ZOOM CAR WASH
LOT 3B, GRID 2, PARCEL 455, TAX MAP 26
 THIRD TAX DISTRICT, BERLIN, WORCESTER COUNTY, MARYLAND
J. W. SALM ENGINEERING, INC.
 P. O. BOX 397, 9842 MAIN STREET, SUITE 3
 BERLIN, MD 21813

SCALE:	DATE:	DRAWING No.:	SHEET No.:
AS SHOWN	AUG. 2021	471-01-007	7 of 7

UNTIE & FOLD BACK BURLAP 1/3 BALL HEIGHT. IF SYNTHETIC BALL WRAPPING IS USED REMOVE FROM BALL.

HEIGHT OF BALL AT TIME OF PLANTING TO ALLOW FOR SETTLING

3" BARK MULCH

EXISTING SUBSOIL

BACKFILL MIX

COMPACT SOIL UNDER ROOT BALL

Diagram illustrating the planting method for a tree using a synthetic ball. The tree is shown with its root ball wrapped in a synthetic material. The diagram indicates the height of the ball at the time of planting, which should be 1/3 of the ball's height. The ball is to be untied and folded back, or the synthetic wrapping removed. The tree is planted in a hole, and the surrounding soil is backfilled with a mix of existing subsoil and compacted soil under the root ball. A 3-inch bark mulch layer is applied around the base of the tree.

The diagram illustrates a tree planting technique. A tree is shown with its trunk wrapped in a material labeled "TREE WRAP". Two vertical "2" X 4" STAKES" are positioned on either side of the trunk. A "RUBBER HOSE" or "CABLE OR WIRE - 2 PER TREE MIN EQUALLY SPACED" is used to secure the trunk between the stakes. The height of the ball at the time of planting is indicated as "HEIGHT OF BALL AT TIME OF PLANTING TO ALLOW FOR SETTLING". The trunk is wrapped in "3" BARK MULCH". The diagram also shows the "EXISTING SUBSOIL", "BACKFILL MIX", and "COMPACT SOIL UNDER ROOT BALL". A dimension of "12'" is shown for the width of the backfill area. A note on the left states: "UNTIE & FOLD BACK BURLAP 1/3 BALL HEIGHT. IF SYNTHETIC BALL WRAPPING IS USED REMOVE FROM BALL." A vertical dimension of "6'" is shown for the height of the backfill mix above the root ball.

ALL DEVELOPMENT AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE "1984 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL." THE OWNER AUTHORIZES THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION OF THE WORCESTER SOIL CONSERVATION DISTRICT, MASSACHUSETTS, THE ENVIRONMENTAL OR EROSION CONTROL DISTRICT, AND THE MARYLAND DEPARTMENT OF CONSTRUCTION OR DERIVATIVE OF THESE AGENCIES TO CONDUCT PERIODIC INSPECTIONS OF THE PROJECT. THE RESULTS OF THESE INSPECTIONS WILL BE DONE PURSUANT TO THIS PLAN. (2) ALL RESPONSIBLE PERSONNEL (ONE MINIMUM) INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. (3) THE OWNER OR DEVELOPER SHALL CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION OF THE PROJECT TO THE MARYLAND DEPARTMENT OF CONSTRUCTION AND/OR THE ENVIRONMENTAL OR EROSION CONTROL DISTRICT, MASSACHUSETTS, THE WORCESTER SOIL CONSERVATION DISTRICT, MASSACHUSETTS, AND/OR THE MARYLAND DEPARTMENT OF CONSTRUCTION OR DERIVATIVE OF THESE AGENCIES.

SIGNATURE/OWNER

PRINTED NAME/OWNER

DATE _____

ANYTIME A SOIL EROSION OR SEDIMENT CONTROL PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES WILL BE TAKEN BY THE OWNER AND/OR CONTRACTOR TO CORRECT THE PROBLEM. ALL PHASES OF CONSTRUCTION WILL ADHERE TO ALL SEDIMENT AND EROSION CONTROL MEASURES AS SET FORTH IN THE APPROVED SEDIMENT AND EROSION CONTROL PLAN FOR THIS SITE.

SIGNATURE/OWNER

PRINTED NAME/OWNER

DATE _____

HEREBY CERTIFY THAT THESE DOCUMENTS WERE
REPAIRED OR APPROVED BY ME, AND THAT I AM
DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 19731 EXPIRATION DATE: 08/01/2022

DESIGNED BY:

JWS3

JOHN W

MARYLAND
ENGINEER L

DRAWN BY:
JJR
V. SALM, III
19731
PROFESSIONAL
LICENSE No.: 19731

[illegible]

TRC PROJECT REVIEW TRANSMITTAL
Residential Planned Community (September 8, 2021 TRC Meeting)

To: Technical Review Committee (TRC)
From: Department of Development Review and Permitting
Date: August 20, 2021

Snug Harbor West (Tax Map 33, Parcel 298)
R-2 Suburban Residential; Tax District 10

Description: Nine (9) lot single-family 'minor' RPC subdivision - Step 1 Review

Location: Located on the north side of Snug Harbor Road at the intersection with MD Route 611

Owner:	Engineer:
Eugene R. Parker c/o Mitch Parker 12449 Selsey Road Ocean City, MD 21842 mitch@ticasfarm.com	R.D. Hand & Associates 12302 Collins Road Bishopville, MD 21813 410-352-5623 bob@rdhand.com

Please submit all comments in writing to the Department by **Noon Friday, September 3, 2021.*

cc: Brooks Clayville, Planning Commission Representative
Bob Mitchell, Director, Environmental Programs
Paul Miller, Building Plans Reviewer III
Jeff McMahon, Fire Marshal
Joy Birch, Natural Resources Planner, DEP
Jenelle Gerthoffer, Natural Resources Administrator, DEP
Dave Mathers, Natural Resources Planner, DEP
John Ross, Deputy Director, Department of Public Works
Kevin Lynch, County Roads Superintendent
Dan Wilson, State Highway Administration
Kristen M. Tremblay, Zoning Administrator



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

September 8, 2021

Project: Snug Harbor West – Nine (9) lot single-family ‘minor’ RPC subdivision – Step I Review (Tax Map 33, Parcel 298), located on the north side of Snug Harbor Road at the intersection with MD Route 611.

Prepared by: Kristen M. Tremblay

GENERAL PROCEDURE:

- (1) **Technical Review Committee (TRC):** The TRC shall review the application and meet with the applicants to provide comments for correction or discussion. The applicants are responsible for submitting ten (10) copies of a Step I plan and updated narrative that addresses the TRC’s concerns. Following the meeting, the TRC shall then prepare a report to be forwarded to the Planning Commission for review within 90 days.
- (2) **Planning Commission:** **The Planning Commission shall make findings of fact relative to the application and its consistency with the Comprehensive Plan, the terms of the Zoning and Subdivision Control Article, and all other applicable laws and regulations.** The seven (7) findings of the TRC must also be addressed by the Planning Commission in their report to the County Commissioners. The Planning Commission shall make a recommendation (favorable or unfavorable) relative to the application which may address the items outlined in the TRC Report or other items as appropriate within 90 days.
- (3) **County Commissioners:** The County Commissioners shall then review the application, the TRC Report, the Planning Commission’s findings, and subsequently hold a public hearing within 90 days of the receipt of the Planning Commission’s recommendation. Notice of the public hearing shall have the same procedural formalities as a map amendment. Failure of the County Commissioners to reach a decision to approve or disapprove the application within six (6) months of the public hearing shall constitute a denial. Any approval by the County Commissioners must be unconditionally accepted as approved in writing within 90 days.

Step I approval shall be valid for one year and shall automatically terminate if the Step II approval has not yet been obtained. The County Commissioners may grant a maximum of one (1) additional year, provided that the request is made a minimum of 60 days in advance of the expiration of the Step I approval and granted prior to the expiration.

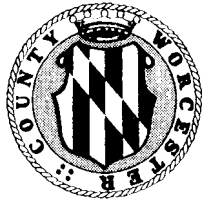
Staff Comments:

1. Please label the revised site plan as: ‘Step I Minor Residential Planned Community (RPC).’
2. Please label the western portion of the proposed undeveloped areas as open space if that is desired.
3. During the Step II approval process, it is recommended that the applicants supply a landscaping plan indicating the number any type of species that will be used for landscaping.
4. Also, during the Step II approval process, please indicate the maximum heights of the dwellings in accordance with ZS1-315(h).
5. **Please note that the Planning Commission shall determine the lot requirements as part of their Step II review.*

Technical Review Committee (TRC) Findings: The TRC shall make findings relative to the items listed below. If any member has additional comments relative to regulations under their purview that they feel need to be further expounded upon, please notify me in writing no later than **Friday, September 24, 2021** so that the TRC Report may be prepared.

The following items must be addressed in the TRC Report to the Planning Commission:

Residential Planned Community (RPC) Technical Review Committee (TRC) Standards for Findings	
(1)	The RPC’s conformance with the goals, objectives and recommendations of the Comprehensive Plan, compliance with the zoning regulations and other established development policy guidelines, and with the Comprehensive Plan, zoning regulations, development policy guidelines and annexation policies of any municipality within one mile of the proposed project’s boundaries.
(2)	The general location of the site, a description of existing and anticipated land use in the immediate vicinity and the RPC’s compatibility with those land uses.
(3)	The availability and adequacy of public facilities, services and utilities to meet the needs of the RPC and the long-term implications the project would have on subsequent local development patterns and demand for public facilities and services.
(4)	The consistency of the RPC with the general design standards as contained in Subsections (j)(1) through (j)(5) hereof.
(5)	The relationship of the Residential Planned Community’s proposed construction schedule, including any phasing, and the demand for and timely provision of public facilities, services and utilities necessary to serve the project.
(6)	The capacity of the existing road network to provide suitable vehicular access for the residential planned community, the appropriateness of any existing or proposed improvements to the transportation network, the adequacy of the pedestrian and bicycle circulation, and the proposed means of connectivity of the project to surrounding residential, commercial and recreational development and uses.
(7)	The relationship of the proposed method of wastewater disposal and provision of potable water service with the goals, objectives and recommendations of the Comprehensive Plan, Comprehensive Water and Sewer Plan, and other established policy guidelines.



WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Snug Harbor West

Date: 9/8/2021

Tax Map: 33

Parcel: 298

Section:

Lot:

STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead and other structural loads.
3. Soils report required at time of building permit application.
4. Compaction reports due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing and electrical plans are required.
6. Provide information for wind, snow, floor, roof and seismic loads.
7. Special inspections (Third party) required per IBC Chapter 17 for steel, concrete, masonry, wood, prepared fill, foundations and structural observations.
8. Provide plan for owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation. Design professional in responsible charge shall review and approve all shop drawings.
14. Please provide your design professional with a copy of these comments.

Site specific comments

1. Current Codes: 2018 International Residential Code
 2018 International Energy Conservation Code
 2017 NEC
2. Soil and compaction reports to be submitted for all building pads.

There is not enough information provided at this time to provide additional comments.



Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Worcester County Technical Review Committee

From: Joy S. Birch, Natural Resources Specialist III 

Subject: September 8, 2021 - Technical Review Committee Meeting

Date: August 23, 2021

- **Snug Harbor West – Nine (9) lot Single-Family “minor” RPC Subdivision – Step 1** located on the north side of Snug Harbor Road the intersection with MD Route 611, Tax Map 33, Parcel 298, Tax District 10, R-2 Suburban Residential District. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**

Citizens and Government Working Together



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1003

SNOW HILL, MARYLAND 21863-1194

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: Snug Harbor West

TRC #: 2021590

LOCATION: Tax Map 33; Parcel 298

CONTACT: Mitch Parker

MEETING DATE: September 8, 2021

COMMENTS BY: Matthew Owens

Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project

The proposed construction of a nine lot single-family minor RPC subdivision – Step 1 Review.

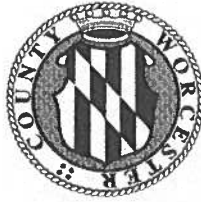
General Comments

1. A water supply for fire protection shall be identified indicating the following:
 - a. Water Source
 - b. Engineering study for reliability of water source
 - c. Size (in gallons) of water source
 - d. Replenishment of water supply
 - e. Diameter of in ground pipe
 - f. Number of hydrants
 - g. Location of hydrants
 - h. Roadway width and surface types
 - i. Distance from hydrant to roadway
2. If public water source, approved plans by the public works department.
3. Water source plans must be approved prior to recording of plat.

4. Fire hydrants shall be located within 3 ft. of curb line. Placement of fire hydrants shall be coordinated with this office prior to installation.
5. Obstructions shall not be placed or kept near fire hydrants, fire department inlet connections, or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately visible and accessible.
6. All underground water mains and hydrants **shall be installed, completed, and in service** prior to construction work or as soon as combustible material accumulates, which ever comes first. A stop work order will be issued if fire hydrants are not in service prior to construction work start.
7. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
8. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

Specific Comments


1. Single family units shall be protected by an automatic sprinkler system in accordance with NFPA 13D, *Standard for the Installation of Sprinkler Systems in One and Two Family Dwelling and Manufactured Homes*. Plans shall be submitted and approved by this office prior to the installation of such system.
2. No further comments at this time.



Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: Jenelle Gerthoffer, Natural Resources Administrator 

Subject: Natural Resources Project Review

Date: August 23, 2021

Date of Meeting: September 8, 2021

Project: Snug Harbor West- Minor RPC, Step I Review

Location: Snug Harbor Road; Tax Map: 33; Parcel: 298

Owner/Developer: Eugene R. Parker (c/o Mitch Parker)

Engineer/Surveyor: R.D. Hand & Associates

This site is subject to the Worcester County Forest Conservation Law. The owner/applicant and their surveyor have submitted a Forest Stand Delineation (FSD). The FSD must be approved prior to the Step II TRC meeting. Forest Conservation Plan (FCP) approval must be received prior to this project being reviewed by the Planning Commission during the Step II RPC review. With a R-2 zoning designation, the afforestation threshold is 15 percent and the reforestation threshold is 20 percent. According to plans, with a net tract area of 4.84 acres, 1.45 acres of existing forest, and .39 acres of clearing, the minimum area of retention required is the breakeven point, or 1.06 acres. FCP approval must be given by the Department prior to this project being reviewed by the Planning Commission.

This project is subject to the **Worcester County Stormwater Ordinance**. The project must obtain Stormwater Concept Plan approval prior to the Step II TRC meeting. Site Development Plan approval must be received prior to this project being reviewed by the Planning Commission during the Step II RPC review. All projects with a limits of disturbance (LOD) over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity

Citizens and Government Working Together

through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together

WORCESTER COUNTY GOVERNMENT CENTER 1 WEST MARKET STREET, ROOM 1306 SNOW HILL, MARYLAND 21863
TEL: 410-632-1220 FAX: 410-632-2012



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

DALLAS BAKER JR., P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

FLEET MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

TO: Kristen Tremblay, Zoning Administrator
FROM: Kevin Lynch, Roads Superintendent
DATE: August 23, 2021
SUBJECT: TRC Meeting – September 8, 2021

.....
Sketch Plan Review

A. Hardee's

1. No comments at this time.

Section 1-325 Site Plan Review

A. Zoom Car Wash

1. No comments at this time.

Section 1-315 Residential Planned Community Review

A. Snug Harbor West – (9) Single Family – Step I

1. No comments at this time.

cc: Dallas Baker, Jr., P.E.

KL:ll

KAL 8/24/21

**SNUG HARBOR WEST
A RESIDENTIAL PLANNED COMMUNITY**

**TAX MAP 33, PARCEL 298
TENTH ELECTION DISTRICT
WORCESTER COUNTY, MARYLAND**

**PREPARED FOR
EUGENE R. PARKER, JR. ESTATE
C/O MITCH PARKER
12449 Selsey Road
Ocean City, Maryland 21842**

**PREPARED BY
R.D. HAND AND ASSOCIATES, INC.
12302 Collins Road
Bishopville, MD 21813
410-352-5623**

August 17, 2021

Snug Harbor West is a proposed Minor Residential Planned Community (RPC) consisting of 9 Single Family lots. This project represents a modification of the original RPC submitted and reviewed in 2018. The project has been reduced from 12 lots to 9.

The total site area is 4.84 acres gross. There are +/- 0.02 acres of non-tidal wetlands onsite.

This Project is consistent with the goals and objectives of the Worcester County Comprehensive plan in that the project is surrounded by Existing Developed Area designation of the Comprehensive plan. The Existing Developed Area (EDA) designation calls for infill development consistent with the character of the surrounding EDA.

This Project is zoned R-2 Suburban Residential. The R-2 zoning allows single family uses by right. The R-2 density allows 4 units per acre. This Project proposes 1.86 units per net acre.

This Project's design is consistent with minor RPC and zoning code criteria and requirements. The design proposes smaller lots to cluster the residential uses while conserving open space. There are no open space requirements for minor RPC's. The Project proposes 0.82 acres of open space and will set aside 1.10 acres of existing forest in a perpetual protective easement. In addition, the project will retain 3 specimen trees.

This Project is located on the north side of Snug Harbor Road at the intersection with Maryland Route 611. The project proposes one commercial entrance to Snug Harbor Road and the entrance will be built to Worcester County road standards. The interior roads will be designed and approved to meet the Worcester County RPC road standards.

There are numerous small lot subdivisions in the neighborhood including Snug Harbor, Mystic Harbour, Deer Point and Whispering Woods. The project is adjacent to the Bayside major RPC and proposes lot sizes of similar size. This Project will be an infill development and will compliment and be consistent with the character of the surrounding neighborhood.

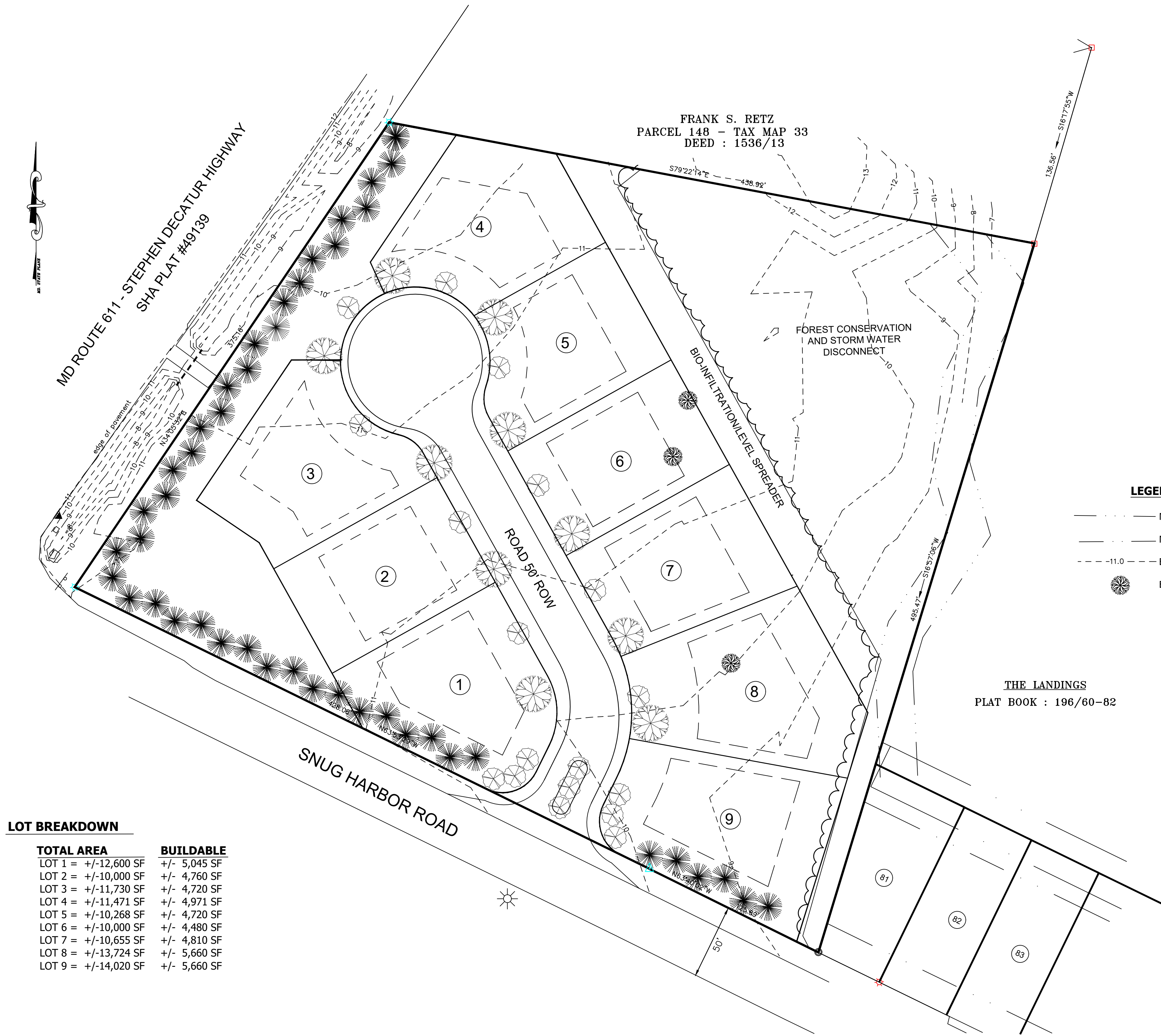
Sewer and water will be provided via the Mystic Harbour service area facilities which have sufficient capacity for the project. The project will require 9 water and sewer EDU's which are currently available in the service area. The developer will need to petition and buy the EDU's from the county. Sewer and water design and construction will meet county requirements.

This Project's design has identified key environmental features and avoided disturbances to non tidal wetlands, floodplains, critical, and/or special habitat and aquifer recharge areas. The project clusters residential uses in a pedestrian friendly scale.

The clustered design of This Project minimizes the consumption of land, optimizes and maximizes open space while reducing impervious surfaces.

This Project construction is anticipated to begin in the spring of 2018. Phasing will consist of construction of all sewer, water and cart ways for the project and subsequent recordation of the plat. Construction of the single-family units will be based on market demand.

THE INFORMATION CONTAINED ON THESE PLANS, PLATS OR OTHER DOCUMENTS IS PROVIDED FOR THE EXCLUSIVE USE OF THE CLIENT NAMED HEREON, AND IS SUBJECT TO THE CLIENT AND FOR WORK PRODUCT PRIVILEGE. ANY AMENDMENTS, COPYING OR DISTRIBUTION IS STRICTLY PROHIBITED UNLESS AUTHORIZED IN WRITING BY RD. HAND AND ASSOCIATES, INC.



LOT BREAKDOWN

TOTAL AREA	BUILDABLE
LOT 1 = +/-12,600 SF	+/- 5,045 SF
LOT 2 = +/-10,000 SF	+/- 4,760 SF
LOT 3 = +/-11,730 SF	+/- 4,720 SF
LOT 4 = +/-11,471 SF	+/- 4,971 SF
LOT 5 = +/-10,268 SF	+/- 4,720 SF
LOT 6 = +/-10,000 SF	+/- 4,480 SF
LOT 7 = +/-10,655 SF	+/- 4,810 SF
LOT 8 = +/-13,724 SF	+/- 5,660 SF
LOT 9 = +/-14,020 SF	+/- 5,660 SF

SITE DATA

PARCEL DESCRIPTION

TAX MAP 33, PARCEL 298
TENTH TAX DISTRICT
ACCOUNT # 10768834
WORCESTER COUNTY, MARYLAND

PROPERTY OWNER

ESTATE OF EUGENE R. PARKER, JR
C/O MITCH PARKER
12449 SELSEY ROAD
OCEAN CITY, MARYLAND 21842
410-251-0401

EXISTING SITE AREA

± 0.02 ACRES NON TIDAL WETLAND
± 4.82 ACRES UPLAND
± 4.84 ACRES NET LOT AREA

EXISTING ZONING

R-2, SUBURBAN RESIDENTIAL DISTRICT

PROPOSED USE

MINOR RESIDENTIAL PLANNED COMMUNITY
9 SINGLE FAMILY LOTS
DENSITY = ±1.86 UNITS PER ACRE

LOT REQUIREMENTS

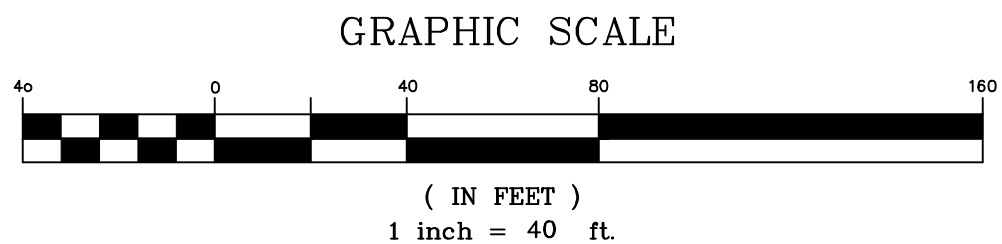
LOT WIDTH = 80'
LOT AREA = 10,000 SF MINIMUM
SETBACKS = FRONT 25'
SIDE 8'
REAR 30'

AREA BREAKDOWN

+/- 2.39 ACRES LOTS = ±50.6% OF SITE
+/- 0.53 ACRES ROADS = ±10.9% OF SITE
+/- 1.10 ACRES FOREST = ±22.7% OF SITE
+/- 0.82 ACRES OPEN SPACE = ±17% OF SITE

FLOOD ZONE

THIS SITE IS LOCATED IN FLOOD ZONE
ZONE X PER FEMA COMMUNITY PANEL
24047C0170H DATED 7-16-15



CONCEPT PLAN

TAX MAP 33, PARCEL 298
WORCESTER COUNTY, MARYLAND

RD. HAND AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE, SITE PLANNING AND FEASIBILITY
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§ ZS 1-315. RPC residential planned communities.

- (a) Purpose and intent. Residential planned communities are intended to encourage the best possible design of building forms and site planning for tracts of land under a unified plan of development. Holistic control over an entire development, rather than lot-by-lot regulation, and flexibility in requirements is intended to produce a well-designed development that will provide a variety of housing types, preserve open space and natural vegetation for scenic and recreational uses, reduce impervious surfaces, and have a beneficial effect upon the health, safety and general welfare of the people of the County. The regulations established in this section allow flexibility and thus permit and encourage more imaginative and environmentally sensitive development. To ensure that a residential planned community shall conform to the character and nature of the district in which it is located, achieve a maximum of coordination between the residential planned community and neighboring land uses, promote the intent and purposes of this Title and encourage the most appropriate use of land within the area of the residential planned community, specific and additional standards are established as set forth in this section.
- (b) Classification, location and area requirements. Residential planned communities shall be reviewed and approved by the pertinent body and shall be designated as either minor or major. Major residential planned communities shall be established as floating zones by the County Commissioners. Minor residential planned communities shall be defined as those having twenty or fewer residential units while major residential planned communities shall be those having more than twenty residential units. A series of separate minor residential planned communities created from the same parcel as it existed on the effective date hereof shall be considered a major residential planned community when the cumulative effect of such separate residential planned communities meets the criteria of a major residential planned community. Residential planned communities may be permitted in accordance with the provisions hereof in the E-1, V-1, R-1, R-2, R-3 and R-4 Districts. Land zoned RP which is within the boundaries of the property subjected to a residential planned community may be included within the residential planned community boundaries. Land within the boundaries of the residential planned community which is located in any C or CM District may be included in the residential planned community if the area of the C or CM District does not exceed five percent of the gross area of a minor residential planned community or fifteen percent of the gross area of a major residential planned community. Furthermore, each major residential planned community containing land in the C or CM District shall utilize a minimum of fifty percent of the gross acreage of the C or CM zoned land for retail or service uses as permitted in the C-2 General Commercial District somewhere in the project. **[Amended 8-15-2017 by Bill No. 17-8]**
- (c) Permitted uses and structures. The following uses and structures may be permitted in a residential planned community:
 - (1) Minor residential planned communities: Permitted principal uses and structures shall be limited to the permitted principal uses and accessory uses

allowed by the district regulations of the underlying zoning district. Any use allowed by special exception is permitted in a minor residential planned community, provided the approval of the Board of Zoning Appeals is obtained. Commercial use up to the maximum percentage cited herein shall be limited to the permitted principal uses cited in the C-1 Neighborhood Commercial District regulations.

- (2) Major residential planned communities: Permitted principal uses and structures shall be the permitted principal uses, special exception uses and accessory uses allowed by the R-4 General Residential District, regardless of the underlying zoning district. Residential units may be located in, over or as a part of buildings or structures also used for commercial purposes. Commercial use up to the maximum percentage cited herein shall be limited to the permitted principal and special exception uses cited in the C-2 General Commercial District regulations. Uses cited as special exceptions uses shall not require approval by the Board of Zoning Appeals.
- (3) Any use or structure which is determined by the County Commissioners to be of the same general character as the above-permitted uses or accessory uses not specifically mentioned in another district but is deemed by the County Commissioners to be compatible with the character and intent of the residential planned community.
- (d) Area limitations for uses. Within a residential planned community, the following percentages of the total gross lot area [as defined in § ZS 1-305(a) hereof] but excluding state wetlands [as defined in § ZS 1-103(b) hereof] shall be devoted to the following uses:
 - (1) For minor residential planned communities:
 - A. Retail and service uses: a maximum of five percent and limited to the permitted principal uses cited in the C-1 District regulations. No retail or service uses are permitted in a residential planned community in the E-1 District.
 - B. Common use open space and recreational areas: While a minimum percentage is not required, common use open space and recreational areas are encouraged. Where possible, those areas contained in the one-hundred-year floodplain should be dedicated as open space or recreational areas.
 - C. Residential uses: There is no maximum percentage. Residential use shall be limited to single-family and two-family dwellings, multi-family dwellings, townhouses, manufactured homes and planned senior developments. Land devoted to residential use shall be deemed to include those streets, alleys and parking and service areas which abut and service primarily the residences or groups of residences.
 - (2) For major residential planned communities:

- A. Retail and service uses: a maximum of twenty percent and limited to the permitted principal and special exception uses cited in the C-2 District regulations. No retail or service uses are permitted in a residential planned community in the E-1 District.
- B. Common use open space: a minimum of thirty percent and in accordance with the following provisions and requirements:
 - 1. Open space shall be limited to areas for recreation or the growing of trees, vegetable, field or nursery crops or for purposes of conservation of natural resources. Where possible, those areas contained in the one-hundred-year floodplain should be dedicated as open space.
 - 2. Recreational areas shall be limited to public and private noncommercial social and recreational areas, public and private (commercial and noncommercial) golf courses, private (noncommercial) marinas and playgrounds.
 - 3. The terms "open space" and "recreational areas" shall not include space devoted to roads and parking. Except as provided in Subsection (d)(2)B2 hereof, open space shall be free of residential, service, business or industrial structures and uses.
 - 4. Reasonable restrictions and fees may be placed upon the use of active recreation areas.
 - 5. Requirements for open space shall be as follows:
 - (i) A minimum of fifty percent of the required open space must be retained in its natural state and not used to satisfy the requirements for passive or active recreation. No more than fifty percent of this area may be private wetlands.
 - (ii) A minimum of ten percent of the required open space must be for active recreation.
 - (iii) A minimum of twenty percent of the required open space must be for passive recreation.
 - (iv) All open space and areas for active and passive recreation required by Subsection (d)(2)B5 hereof shall be dedicated, developed and perpetually protected to satisfy the requirements as contained herein.
 - 6. The Planning Commission may grant waivers to this subsection where it determines that conditions exist such that the full provisions for open space as required by this subsection are otherwise satisfied. The Planning Commission shall consider proximity to public open spaces, lot size and other appropriate factors.

- C. Residential uses: a maximum of seventy percent. Residential use shall be limited to single-family and two-family dwellings, multi-family dwellings, townhouses, manufactured homes and planned senior developments. Land devoted to residential use shall be deemed to include those streets, alleys and parking and service areas which abut and service primarily the residences or groups of residences but may not include usable open space or recreational areas.
- (e) Residential density. The maximum number of residential units which may be permitted in a residential planned community in areas other than those designated as Growth Areas by the Land Use chapter of the Comprehensive Plan shall be as follows. Major fractions of units may be counted as a full unit.
 - (1) In the E-1 District, one unit per two acres of the total gross lot area exclusive of any land in the RP, C or CM Districts.
 - (2) In the V-1 District, five units per one acre of the total gross lot area exclusive of any land in the RP, C or CM Districts.
 - (3) In the R-1 District, one unit per one acre of the total gross lot area exclusive of any land in the RP, C or CM Districts.
 - (4) In the R-2 District, four units per one acre of the total gross lot area exclusive of any land in the RP, C or CM Districts.
 - (5) In the R-3 District, six units per one acre of the total gross lot area exclusive of any land in the RP, C or CM Districts.
 - (6) In the R-4 District, eight units per one acre of the total gross lot area exclusive of any land in the RP, C or CM Districts.
 - (7) Land in the RP, C or CM Districts may be included within the residential planned community in accordance with Subsection (b) hereof but the acreage of such land may not be included within the total lot area used for the calculation of permitted density.
- (f) Residential planned communities in areas designated as Growth Areas by the Land Use chapter of the Comprehensive Plan. Such projects shall promote mixed-use community centers with declining density toward the perimeter of the growth area, thus creating a center, an edge and a variety of housing types in between. The average residential density shall be no less than three and one-half dwelling units per acre of the total lot area used for residential, open space and recreation purposes. The core of the growth area should provide a maximum density of up to ten dwelling units per acre and mixed uses to provide commercial services to meet the residents' and visitors' needs and various housing types. Maximum lot sizes at the growth area's core shall not exceed five thousand square feet. Residential densities shall decrease as one moves away from the core of the growth area, to a perimeter density of not more than one dwelling unit per acre. Maximum lot sizes at the growth area's perimeter shall not exceed twenty thousand square feet. A surrounding natural forested or agricultural greenway should be the outermost

perimeter of the growth area in order to blend into the surrounding landscape. The densities cited herein are applicable to the growth area as a whole, not to individual parcels within the growth area. Individual projects should be reviewed relative to their placement within the growth area and how their proposed design helps achieve the growth area's design principles and densities cited herein.

- (g) Lot, road and parking requirements. For individual structures, there shall be no minimum lot area, setback, bulk, lot width, area or road frontage requirements. Such standards shall be as approved by the Planning Commission. No structure or group of structures, such as semidetached dwellings or a row of townhouses, shall be erected within ten feet of any other structure or group of structures. The supplemental regulations contained in Subtitle ZS1:III hereof shall apply. All roads, parking areas and access points shall meet County standards. However, in those areas designated for commercial uses, the parking space dimensions of not less than sixty percent of the required parking shall measure not less than ten feet in width and eighteen feet in length. The parking space dimensions of not more than forty percent of the required parking shall measure not less than nine feet in width and eighteen feet in length.
- (h) Height regulations. Buildings and structures within two hundred feet of the development perimeter shall be limited to the maximum height permitted by the underlying zoning district. All other buildings in the residential planned community shall be limited to a maximum height of six stories and seventy feet. No accessory structure shall exceed either two stories or twenty-five feet in height.
- (i) Other regulations. In regulating the development of a residential planned community, the provisions of this section shall first apply. When a matter is not specifically regulated by this section, the other provisions of this Title and of the underlying zoning district in which the residential planned community is located shall apply.
- (j) General design standards. In order to provide for more efficient use of land, protection of the environment, more livable communities, and consistency with the Comprehensive Plan, the following design standards shall apply to all residential planned communities:
 - (1) All development plans shall first identify key environmental features and then design the development plan in such a manner as to protect and avoid disturbance of these resources. Special consideration shall be given to wetlands, forested areas, existing significant trees, floodplains, source water and aquifer recharge protection areas, areas of critical or special habitat, water bodies on the state's impaired waters list or having an established total maximum daily load requirement and other important environmental features.
 - (2) Particularly for major residential planned communities, provide clustered, mixed use (where appropriate), pedestrian-scale development, preferably taking its design guidance in terms of scale, layout, uses, architectural style and landscaping from existing County towns and villages, to allow convenient access to products and services, improve community vitality and diminish the

need for vehicle trips.

- (3) Cluster residential and commercial land uses to minimize the consumption of vacant lands, maximize open space and reduce impervious surfaces.
 - (4) Limit the use of culs-de-sac and dead-end streets and instead promote street, trail and sidewalk connectivity to reduce vehicle miles traveled and improve community walkability.
 - (5) Preserve existing forested areas and natural areas as greenways within and around developments for environmental and recreational purposes and to blend the man-made and natural environments.
- (k) Review and approval procedure.
- (1) For minor residential planned communities: Review and approval shall take place in two steps. The first step must be completed in its entirety, including the obtaining of all necessary approvals, prior to initiating the second step.
 - A. Step I concept plan approval. In this step the applicant shall submit adequate plans and other pertinent documents sufficiently addressing the required elements for review by the Technical Review Committee and Planning Commission and this submission shall constitute the residential planned community application.
 - 1. The Step I concept plan shall include the following:
 - (i) A sketch plan at a readable scale. The submitted plan shall show contours at five-foot intervals, except where the average slope is less than three percent, in which case two-foot contours are required, all existing natural and man-made features, existing zoning, a vicinity map, and the Chesapeake or Atlantic Coastal Bays Critical Area boundary and designation, if applicable.
 - (ii) A preliminary determination of sensitive areas, including but not limited to a preliminary delineation of any tidal or nontidal wetlands, a delineation of the one-hundred-year floodplain, and a forest stand delineation, particularly existing significant trees.
 - (iii) A conceptual schematic plan generally identifying the type, location, densities and acreage of all proposed land uses.
 - (iv) A requested land use density for the total project.
 - (v) A schematic plan generally identifying the proposed drainage pattern and potential stormwater management measures.
 - (vi) The proposed method and adequacy of wastewater disposal and potable water supply.

(vii) A written statement addressing the residential planned community's consistency with the Comprehensive Plan, zoning regulations and other established development policy guidelines, its topography and relationship to existing natural and man-made features, both on site and in the immediate vicinity, efforts to adequately protect sensitive areas, the availability and suitability of vehicular access, and the availability and adequacy of water and sewer facilities.

(viii) Such other information as the Technical Review Committee or Planning Commission may require.

2. The Technical Review Committee shall meet with the applicant to review the Step I concept plan and shall subsequently in writing identify areas of concern and issues to be addressed by the Planning Commission. The Technical Review Committee may solicit other agency comments prior to making its recommendation and may require additional information, studies or reports.

3. The Planning Commission shall then meet with the applicant to review the Step I concept plan and the Technical Review Committee's comments and recommendations. The Planning Commission shall address the areas identified by the Technical Review Committee and such other areas of concern and such requirements as it may deem necessary and appropriate. The Planning Commission shall take action to either approve, with or without conditions, or disapprove the Step I concept plan and thus the residential planned community application. Alternatively, the Planning Commission may remand the residential planned community application back to the Technical Review Committee for further review and refinement and then subsequently consider and act upon the revised application. The Planning Commission's findings and decision shall be made in writing and made a part of the record. Once the Planning Commission has approved the Step I concept plan, the applicant may proceed with seeking approval of the Step II implementation plan.

B. Step II implementation plan. This step shall guide the project through the customary subdivision process as prescribed in Title 2 of this Article or the site plan review process as prescribed in § ZS 1-325 hereof, as appropriate.

1. The Step II implementation plan consists of detailed subdivision plats or site plans which shall be submitted for review and approval in the manner specified in the subdivision and site plan regulations as applicable. All such plats or plans shall conform to Step I concept plan approvals. The Technical Review Committee or Planning Commission may request such information and details on the plats

or plans as is determined necessary. Any construction shall comply with the approved Step II implementation plan.

2. Requirements relative to action by the Planning Commission on the Step II implementation plan shall be those specified in the subdivision or site plan regulations as applicable.
 3. Expiration of subdivision plats or site plans approved as part of the Step II implementation plan shall be as prescribed in Title 2 of this Article or in § ZS 1-325 hereof, respectively. In the event of the expiration of the Step II approval, all previous residential planned community approvals, including the Step I concept plan approval, are rendered null and void.
- (2) For major residential planned communities: Review and approval shall take place in three sequential steps. Each step must be completed in its entirety, including the obtaining of all necessary approvals, prior to initiating the next step.
- A. Step I concept plan approval. In this step the applicant shall submit adequate plans and other pertinent documents sufficiently addressing the required elements for review by the Technical Review Committee, Planning Commission and the County Commissioners and this submission shall constitute the residential planned community application.
1. The Step I concept plan shall include the following:
 - (i) A sketch plan at a readable scale. The submitted plan shall show contours at five-foot intervals, except where the average slope is less than three percent, in which case two-foot contours are required, all existing natural and man-made features, existing zoning, a vicinity map, and the Chesapeake or Atlantic Coastal Bays Critical Area boundary and designation, if applicable.
 - (ii) A preliminary determination of sensitive areas, including but not limited to a preliminary delineation of any tidal or nontidal wetlands, a delineation of the one-hundred-year floodplain, a forest stand delineation, greenways, areas of critical or special habitat, source water and aquifer recharge protection areas, and proposed methods for protection of important environmental features.
 - (iii) A conceptual schematic plan generally identifying the type, location, densities and acreage of all proposed land uses.
 - (iv) A requested land use density for the total project.
 - (v) A schematic plan generally identifying the proposed drainage