

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

Wednesday, February 10, 2021 at 1:00 p.m.

I. Call to Order

II. Site Plan Review (§ ZS 1-325)

a. EJF Real Estate - Office Building (Minor Site Plan Review)

Construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer

b. Bishopville Materials, LLC - Storage Areas (Minor Site Plan Review)

Construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 58,197 sf total, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC, Engineer

c. Main Street Storage - Self-Storage (Minor Site Plan Review)

Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

d. B & C Business Park – Contractor Shops (Minor Site Plan Review)

Construction of one (1) 9600 sf contractor shop building with 300 sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

III. Adjourn

Governor Larry Hogan has issued an Executive Order that limits public gatherings to no more than 10 persons in a further effort to reduce the spread of the COVID-19 virus. All in-person meetings have been suspended for the time being.

To facilitate the review of current projects, county staff will be holding a teleconference that will be open to the public during the regularly scheduled meeting time.

Please review the attached page following the agenda that outlines the call number and procedures for the meeting

**Technical Review Committee
Conference Call Directions
February 10, 2021 Meeting**

To members of the public dialing in:

- Call **(410) 632-9400**
- You will be prompted for the conference ID: **03#**
- You will then be prompted for the PIN: **123456#**

At approximately 1:00 PM, the Chair will call the meeting to order, and take roll call of all staff present, using the typical order found on each TRC packet cover sheet. Those persons should also identify any additional staff present with them on the call. We will follow the normal procedure for introduction of the project, identification of each of the applicants on the line, and will go through the review comments by department.

For ease of the discussion, zoning staff has numbered each page in the respective comment packet so that staff and the applicants can first refer to the page number, then the particular comment on that page. Please keep in mind that while everyone should have their site plans open and available, you will need to ensure that your method of conveying the comments is tailored to this new discussion format.

If you are listening in but are not participating in the discussion, please mute the call on your end to avoid disruptions.

For Minor Site Plan Review Projects:

The Technical Review Committee is the approving authority for minor projects. If your project qualifies, you will need to address the staff comments outlined in the packet, and submit plan sets to staff for follow-up review. Final signature approval will follow the normal review and email approval process. Once the revised plans have been approved, the zoning staff will direct you to submit the final copies for signature approval, along with any additional information. You may then proceed to permitting.

For Major Site Plan Review Projects:

The Planning Commission is the approving authority for major projects. If your project qualifies, you will need to address the staff comments outlined in the packet, and submit 10 sets of the plans for review by the Planning Commission. We will continue to adhere to our regular application submittal deadline in the event that the restrictions are lifted or modified, or until other solutions are identified.

TECHNICAL REVIEW COMMITTEE

STAFF PERSON: Kristen M. Tremblay DATE OF MEETING: February 10, 2021

PROJECT: **EJF Real Estate - Office Building (Minor Site Plan Review)**

Construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer

APPLICANT(S) IN ATTENDANCE: _____

TRC MEMBERS IN ATTENDANCE:

- _____ Tremblay, Zoning Administrator
- _____ Zirkle, DRP Specialist II
- _____ Miller, Building Plans Reviewer III
- _____ Mitchell, Environmental Programs
- _____ Marsh, Environmental Programs
- _____ Bradford, Environmental Programs
- _____ Birch, Environmental Programs
- _____ Gerthoffer, Environmental Programs
- _____ Mathers, Environmental Programs
- _____ Owens, Fire Marshal
- _____ Adkins, County Roads
- _____ Berdan, County Roads
- _____ Wilson, State Highway Admin.
- _____ Conner, State Highway Admin.
- _____ Ross, W & WW, DPW
- _____ Clayville, Planning Commission Rep.

~~~~~  
Under the terms of ZS 325(f)(1), this application is considered to be a minor site plan since the square footage of all structural improvements does not exceed 10,000 square feet in area. All minor site plans are reviewed and approved by the Technical Review Committee. The Technical Review Committee shall have the authority to forward an application to the Planning Commission when it is determined the site plan shall have a broad impact on the County or where otherwise deemed appropriate.



DEPARTMENT OF  
DEVELOPMENT REVIEW AND PERMITTING

## Worcester County

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1201  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1200 / FAX: 410.632.3008  
<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION  
BUILDING DIVISION  
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION  
CUSTOMER SERVICE DIVISION  
TECHNICAL SERVICES DIVISION

### WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

February 10, 2021

**Project:** Eric Fiori - Office Building (Minor site plan review). Construction of one (1) 5000 square foot building with two (2) office spaces. Each office space will be 2500 square feet. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJV Real Estate, LLC, Owner; Vista Design, Inc., Engineer

**Prepared by:** Stuart White, DRP Specialist

**Contact:** [swhite@co.worcester.md.us](mailto:swhite@co.worcester.md.us) or (410) 632-1200, extension 1139

#### **General Requirements:**

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
  - a. A complete Building Permit Application along with the initial fee of \$300 made payable to "Worcester County."
  - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
  - c. Three (3) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

**Project Specific Comments:** This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

|                 |                                             |
|-----------------|---------------------------------------------|
| <b>§ZS1-210</b> | <b>C-2 General Commercial District</b>      |
| <b>§ZS1-305</b> | Lot Requirements Generally                  |
| <b>§ZS1-306</b> | Access to Structures                        |
| <b>§ZS1-319</b> | Access and Traffic Circulation Requirements |
| <b>§ZS1-320</b> | Off-Street Parking Areas                    |
| <b>§ZS1-321</b> | Off-Street Loading Zones                    |
| <b>§ZS1-322</b> | Landscaping and Buffering Requirements      |
| <b>§ZS1-323</b> | Exterior Lighting                           |
| <b>§ZS1-324</b> | Signs                                       |
| <b>§ZS1-325</b> | Site Plan Review                            |
| <b>§ZS1-326</b> | Classification of Highways                  |

**Basic Site Plan Corrections Required:**

1. Adjust width of sidewalk to five feet (5') on sheet C200 to match detail on sheet C201.
2. Please make sure revision date is updated accordingly.

**Parking:**

1. All parking spaces and associated vehicular travelways provided above the minimum parking requirements shall be constructed with a pervious paving system (in accordance with §ZS1-320(f)(1)). There are 15 total spaces proposed. The minimum total required is 14.
2. Please designate a loading zone on the site plan (§ZS1-321(a)(1)).

**Other Requirements:**

1. A bike rack is required that may be placed in one of the areas designated as a parking space in order to not have to provide a pervious paving system for parking spaces over the minimum requirement. Also, please provide an appropriate bike rack detail meeting the requirements of §ZS1-320(a). The detail and anchoring information may be provided on a separate detail sheet.
2. Add demolition permit number to the site plan.

**Landscaping:**

1. In accordance with §ZS 1-322(g), a maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will be required to be provided at permit stage to accurately determine the bond amount.

Additional Comments:

1. What are the anticipated uses for the offices?

Other Agency Approvals:

1. Information relative to the water and wastewater facilities are required to be provided on the plans per §ZS 1-325(e)(3)(O&P). Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs and the Department of Public Works prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.
4. Approval from the Worcester County Health Department will be required at the permitting stage.

SITE DATA

OWNER
EJF Real Estate, LLC
8808 Hunting Hound Rd
Berlin, Maryland 21061
Contact: Mr. Eric Fiori
Ph: 443-497-3909
Email: eric@baysidejetdrive.com

CONSULTANT
Vista Design, Inc.
Contact: Steve Engel, R.L.A.
11634 Worcester Highway
Showell, Maryland 21862
Phone: (410) 352-3874
Fax: (410) 352-3875

SITE INFORMATION
Tax Map 0015
Parcels 0177
Zoning C-1 Neighborhood Commercial District & RP Resource Protection District
Existing Land Use Abandoned Convenient Store
Site Area ±3.78 AC
Max Bldg. Height 4 Stories or 45'

WATER & SEWER PROVIDER
Well and Septic

NON-TIDAL WETLANDS
Non-Tidal Wetlands are present on this parcel. The limits have been delineated by Environmental Resources, Inc. and are shown on this plan.

FLOOD ZONE
This property is Located Within Flood Zone A and Flood Zone X
Per FEMA Map # 24047C0040H Dated July 16, 2015

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW
This property is not located within the Worcester County Atlantic Coastal Bays Critical Area

PROPOSED LAND USE
SITE AREA
Total Site Area ±164,764 sf / ±3.78 Ac
Limits of Disturbance ±34,167 sf / ±0.78 Ac

EXISTING LAND USE
Existing Buildings ±3,195 SF
Existing Concrete/Drives ±1,552 SF
TOTAL EXISTING IMPERVIOUS ±4,747 SF

PROPOSED LAND USE
Office 1 & 2 ±5,000 SF (2,500 SF Each)
Asphalt Drive & Parking ±8,200 SF
Concrete Sidewalks ±524 SF
Open Space ±27,939 SF
Woodlands to Remain ±123,101 SF
TOTAL PROPOSED ±164,764 SF
TOTAL PROPOSED IMPERVIOUS ±13,724 SF

OFF STREET PARKING REQUIREMENTS
REQUIRED
General Office 1 per 350 sf (min) 1 per 200 sf (max)
5,000 sf 15 Spaces (min) 25 Spaces (max)

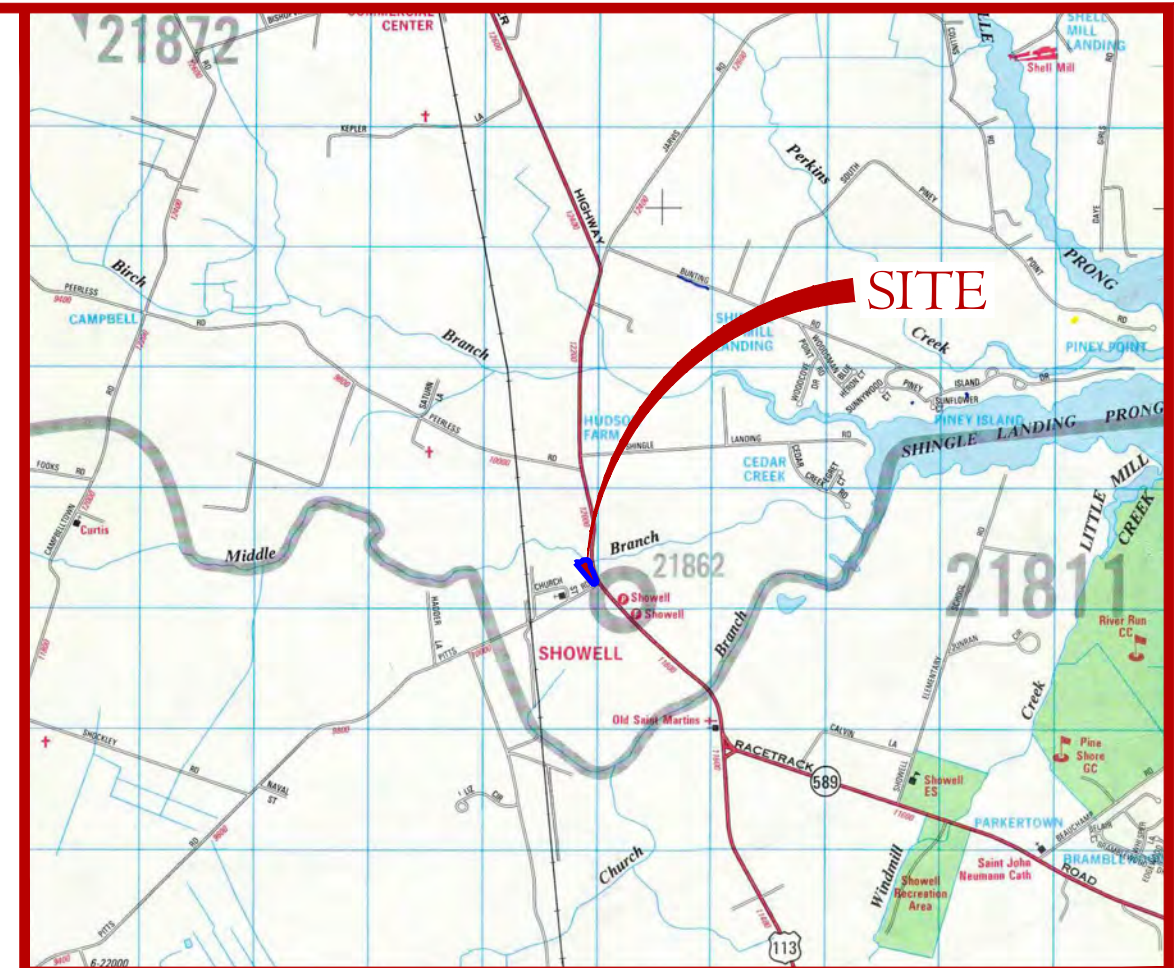
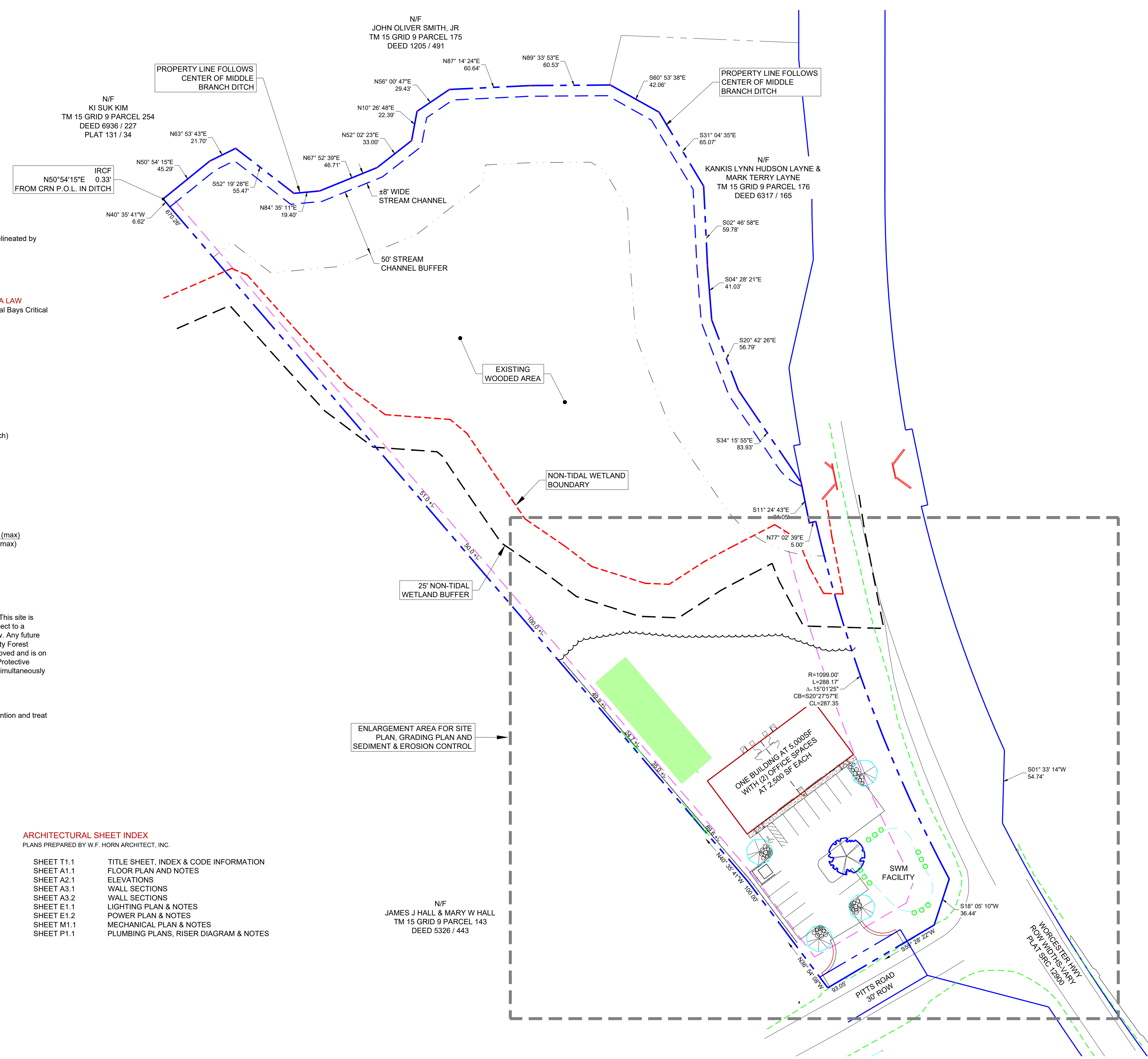
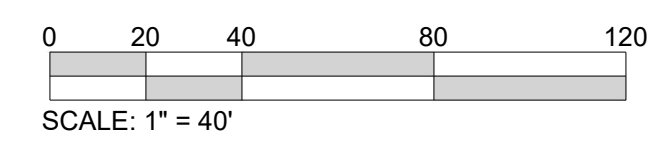
PROPOSED
10 x 20' (Min) Spaces 14 Spaces
ADA Space 01 Spaces
TOTAL 15 Spaces

FOREST CONSERVATION STATEMENT
This site is subject to the Worcester County Forest Conservation Law. This site is subject to forest conservation plan No. ... This site has been subject to a regulated activity under the Worcester County Forest Conservation Law. Any future approval of this site for a regulated activity shall be subject to the County Forest Conservation Law. A forest conservation easement plat has been approved and is on file with the Department of Environmental Programs. A and Perpetual Protective Agreement, Deed of Forest Conservation Easement, will be recorded simultaneously with this plat in the Land Records of Worcester County, Maryland.

WATER QUALITY TREATMENT NARRATIVE
This project proposes to meet water quality treatment via Micro-Bioretenion and treat runoff before discharges into Middle Branch

CIVIL SHEET INDEX table with columns for sheet number and description (COVER SHEET, EXISTING CONDITIONS, SITE PLAN, etc.)

ARCHITECTURAL SHEET INDEX table with columns for sheet number and description (TITLE SHEET, INDEX & CODE INFORMATION, FLOOR PLAN AND NOTES, etc.)



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- 1. All work required by these documents (drawings and specifications) shall be new. Wherever the word "proposed" is used it is considered to be interchangeable with the word "new" and is included in the required work.
2. The contractor shall examine a copy of said plan(s) and visit the site in order to determine, to his/her satisfaction the quantities of work required to be performed.
...
17. There are no springs, seeps or intermittent streams within the limits of disturbance.

CERTIFICATION STATEMENTS

- 1. All phases of Stormwater Management calculations, structure design and construction will adhere to current Worcester County Code and Stormwater Ordinance. Maryland standards and specifications for Stormwater Management plan for this site.
2. All information set forth in this plan accurately conveys this site's conditions to the best of my knowledge.
...
5. The Contractor and Owner shall provide supervision and certification of all construction of Stormwater Management practices that provide infiltration and filtering, by a Professional Engineer duly licensed in the State of Maryland.

Eric Fiori - EJF Real Estate, LLC DATE
Chairperson - Worcester County Planning & Zoning DATE

SIGNATURE PANEL

As the Property Owner/Developer, I am in full agreement with this site plan submitted herewith, and I am responsible for the completion of the improvements as shown on the approved Site Plan and I understand that I cannot allow the property of buildings to be occupied until I a Certificate of Use and Occupancy has been issued by the Department of Development Review and Permitting.
Eric Fiori - EJF Real Estate, LLC DATE
Chairperson - Worcester County Planning & Zoning DATE

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NOTE:
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PROGRESS PRINT / NOT FOR CONSTRUCTION

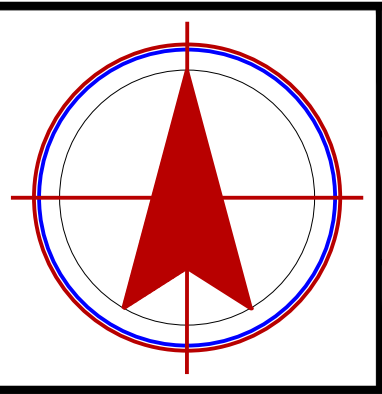
VISTA DESIGN, INC.
Engineers • Architects • Surveyors • Landscape Architects
Land Planning Consultants • GIS Services
11634 Worcester Hwy, Showell, MD 21862
Ph. 410-352-3874 • Fax 410-352-3875 • www.vistadesigninc.com

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COVER SHEET

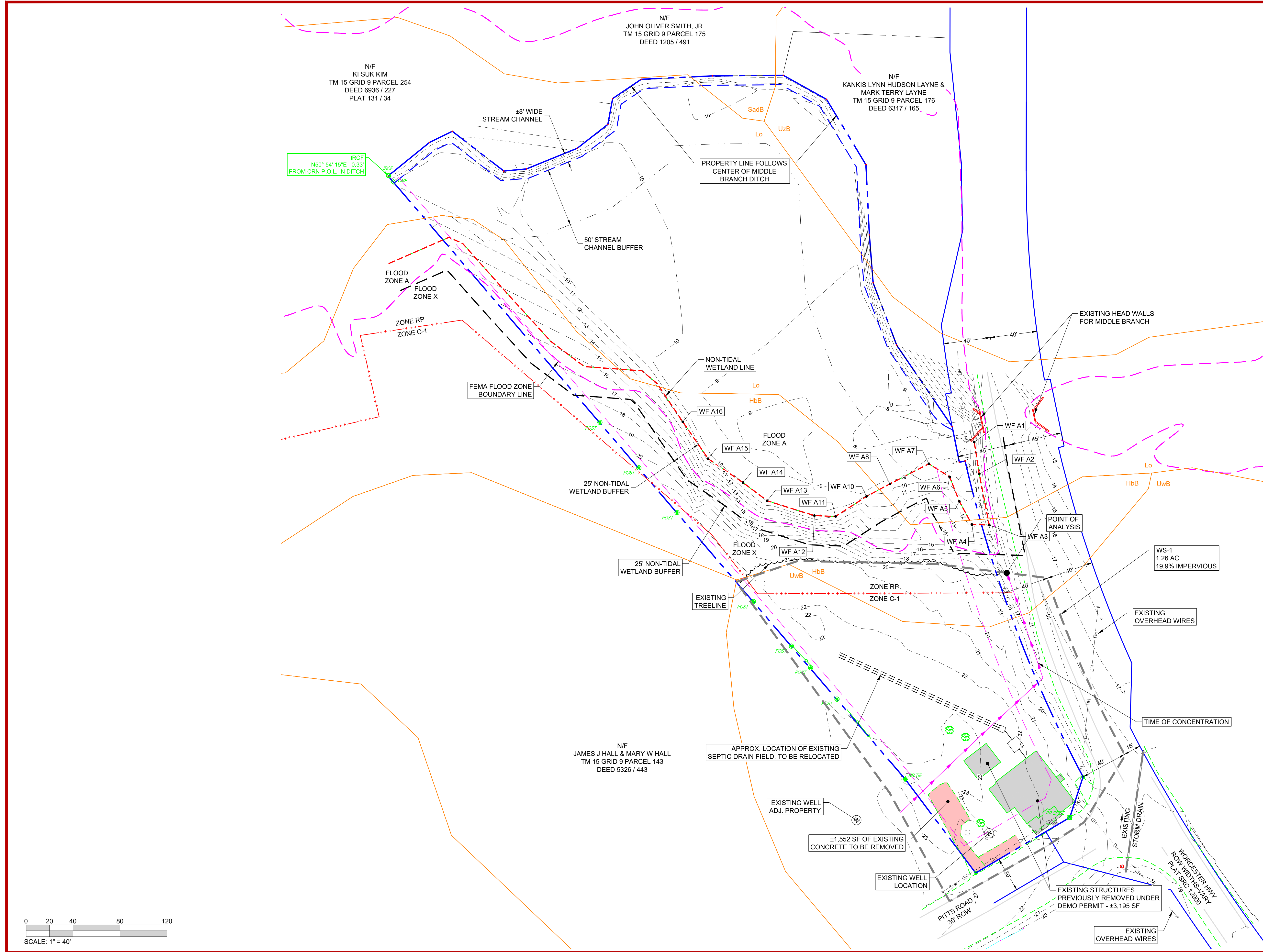
PROJECT DATA table with fields for Tax Map, Parcel, Drawn By, Date, Scale (1" = 40')

REVISIONS table with columns for revision number, description, and date.



Project No: 20-087
File Name: SP I10220.dwg
Sheet No: G 001





| SOILS     |                                                                           |                              |                 |
|-----------|---------------------------------------------------------------------------|------------------------------|-----------------|
| SOIL TYPE | SOIL DESCRIPTION                                                          | HYDROLOGIC SOIL GROUP RATING | PERCENT OF SITE |
| HdB       | Hambrook sandy loam, 2 to 5 percent slopes                                | B                            | 17.3%           |
| Lo        | Longmarsh and Intiantown soils, 0 to 1 percent slopes, frequently flooded | B/D                          | 43.8%           |
| SadB      | Sassafras sandy loam, 2 to 5 percent slopes, Northern Tidewater Area      | B                            | 14.9%           |
| UwB       | Urban land-Udorthents complex, 0 to 5 percent slopes                      | D                            | 23.1%           |
| UzB       | Udorthents, loamy, 0 to 5 percent slopes                                  | C                            | 1.0%            |

**EXISTING LAND USE**

**SITE AREA**

|                 |                        |
|-----------------|------------------------|
| Total Site Area | ±164,764 sf / ±3.78 Ac |
|-----------------|------------------------|

**EXISTING IMPERVIOUS COVER**

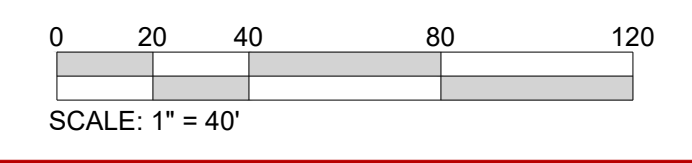
|                                  |                  |
|----------------------------------|------------------|
| Existing Buildings               | ±3,195 SF        |
| Existing Concrete/Drives         | ±1,552 SF        |
| <b>TOTAL EXISTING IMPERVIOUS</b> | <b>±4,747 SF</b> |

- DEMOLITION PERMIT**
- The Worcester County Department of Development Review and Permitting issued a Demolition Permit on November 2, 2020 (Application No. 20-1024)
  - The Worcester County Department of Environmental Programs issued the following:
    - SEC Only Permit for the Demolition, Permit #NR 20-327 on November 30, 2020
    - Stormwater Management Waiver on October 14, 2020.

**EXISTING WATERSHED FLOW RATES**

| 2-YEAR (CFS) | 10-YEAR (CFS) | 100-YEAR (CFS) |
|--------------|---------------|----------------|
| 1.02         | 2.28          | 5.03           |

- LEGEND**
- Property Line
  - Adjacent Property Line
  - Building Setback Line
  - Zoning Boundary
  - Existing Right of Way Line
  - Existing Structures
  - Existing Edge of Pavement
  - Existing Paint Stripes
  - Existing 1x Contour
  - Existing 5x Contour
  - Existing Storm Drain
  - Non-Tidal Wetlands
  - 25' Non-Tidal Wetland Buffer
  - Existing Treeline
  - Existing Overhead Wires
  - Flood Zone Boundary
  - Soils Boundary
  - Existing Well Location
  - Wetland Flags (WF)
  - Existing Buildings
  - Existing Concrete



**NOTE:**  
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**NOTE:**  
This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.

**PROGRESS PRINT / NOT FOR CONSTRUCTION**

**VISTA DESIGN, INC.**  
Engineers • Architects • Surveyors • Landscape Architects  
Land Planning Consultants • GIS Services  
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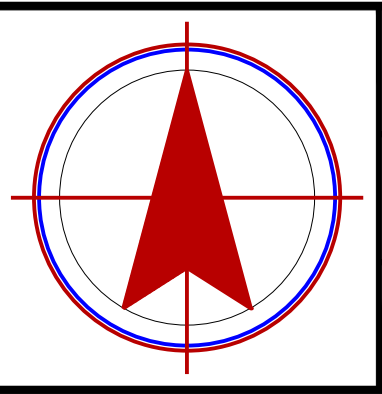
**EXISTING CONDITIONS**

**PROJECT DATA**

|                            |                 |
|----------------------------|-----------------|
| Tax Map: 0015              | Parcel: 0177    |
| SHORELL                    |                 |
| WORCESTER COUNTY, MARYLAND |                 |
| Drawn By: RZ               | Checked By: SDE |
| Date: 12/21/20             |                 |
| Scale:                     | <b>1" = 40'</b> |

**REVISIONS**

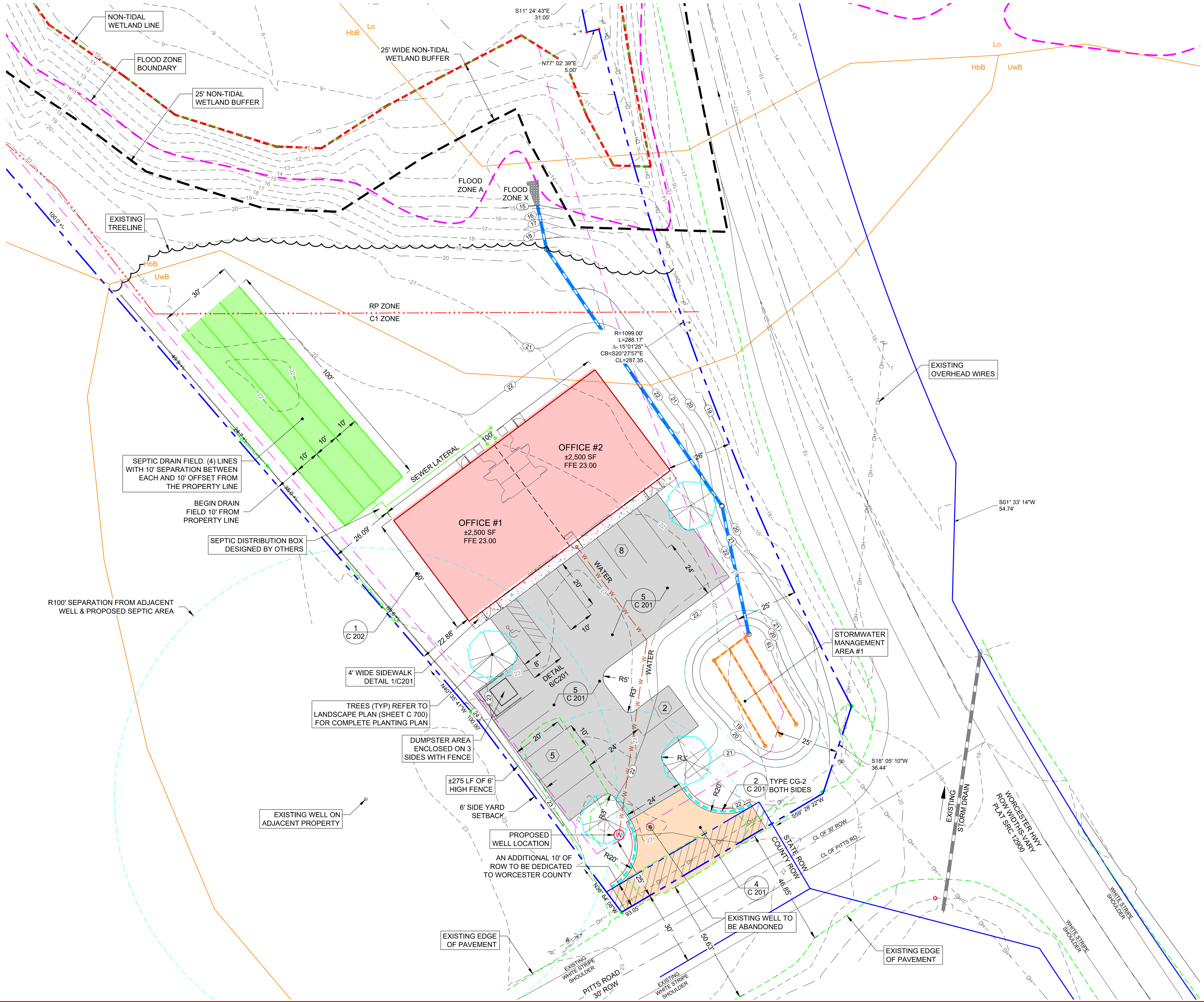
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Project No: **20-087**

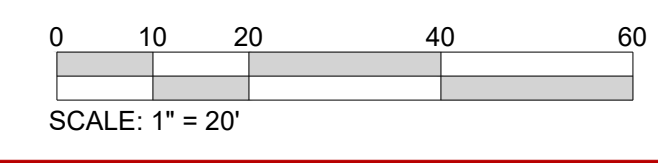
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Sheet No: **C 100**



**LEGEND**

|                                |     |
|--------------------------------|-----|
| Property Line                  | --- |
| Adjacent Property Line         | --- |
| Zoning Boundary                | +++ |
| Building Setback Line          | --- |
| Existing Right of Way Line     | --- |
| Existing Structures            | --- |
| Existing Edge of Pavement      | --- |
| Existing Paint Stripes         | --- |
| Existing 1x Contour            | --- |
| Existing 5x Contour            | --- |
| Non-Tidal Wetlands             | --- |
| 25' Non-Tidal Wetland Buffer   | --- |
| Existing Treeline              | --- |
| Existing Overhead Wires        | --- |
| Flood Zone Boundary            | --- |
| Soils Boundary                 | --- |
| Existing Well Location         | ⊙   |
| Existing Storm Drain           | --- |
| Proposed Sanitary Lateral & CO | --- |
| Proposed Water & CO            | --- |
| Proposed Storm Drain           | --- |
| Proposed Under Drain           | --- |
| Proposed Building              | --- |
| Proposed Edge of Pavement      | --- |
| Proposed Entrance Curb         | --- |
| Proposed Sidewalks             | --- |
| Proposed Internal Asphalt      | --- |
| Proposed Entrance Asphalt      | --- |
| Proposed Septic Area           | --- |
| Proposed ROW Dedication        | --- |
| Proposed Well Location         | ⊙   |
| Proposed 1x Contour            | --- |
| Propose 5x Contour             | --- |



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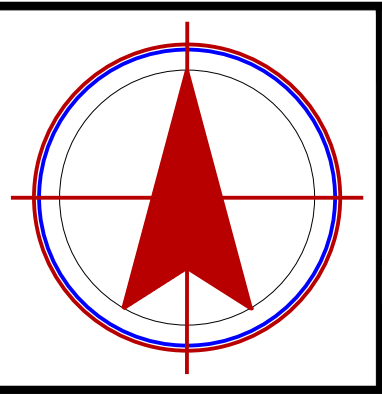
**SITE PLAN**

**PROJECT DATA**

|                            |                 |             |      |
|----------------------------|-----------------|-------------|------|
| Tax Map:                   | 0015            | Parcel:     | 0177 |
| WORCESTER COUNTY, MARYLAND |                 |             |      |
| Drawn By:                  | RZ              | Checked By: | SDE  |
| Date:                      | 12/21/20        |             |      |
| Scale:                     | <b>1" = 20'</b> |             |      |

**REVISIONS**

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

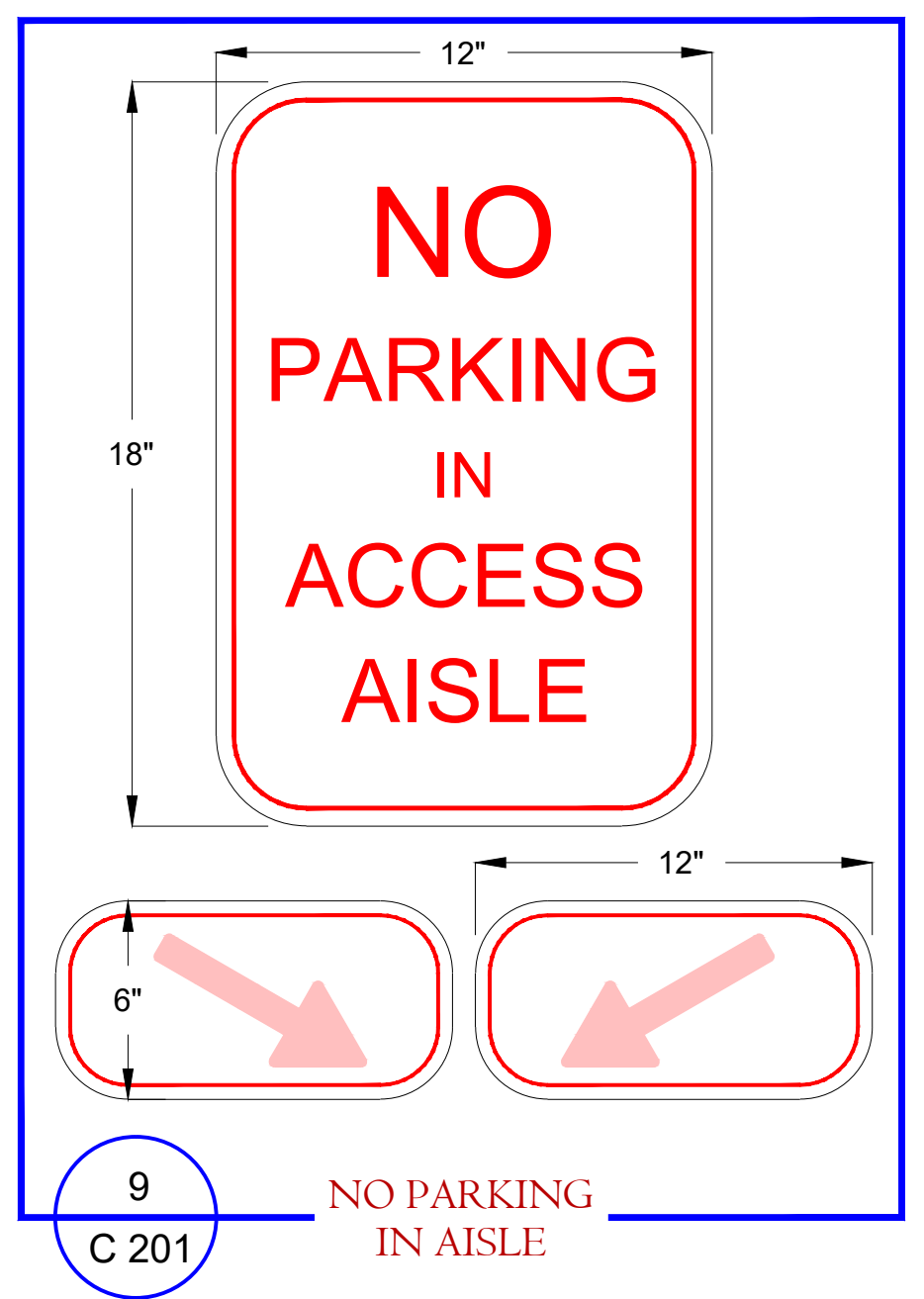
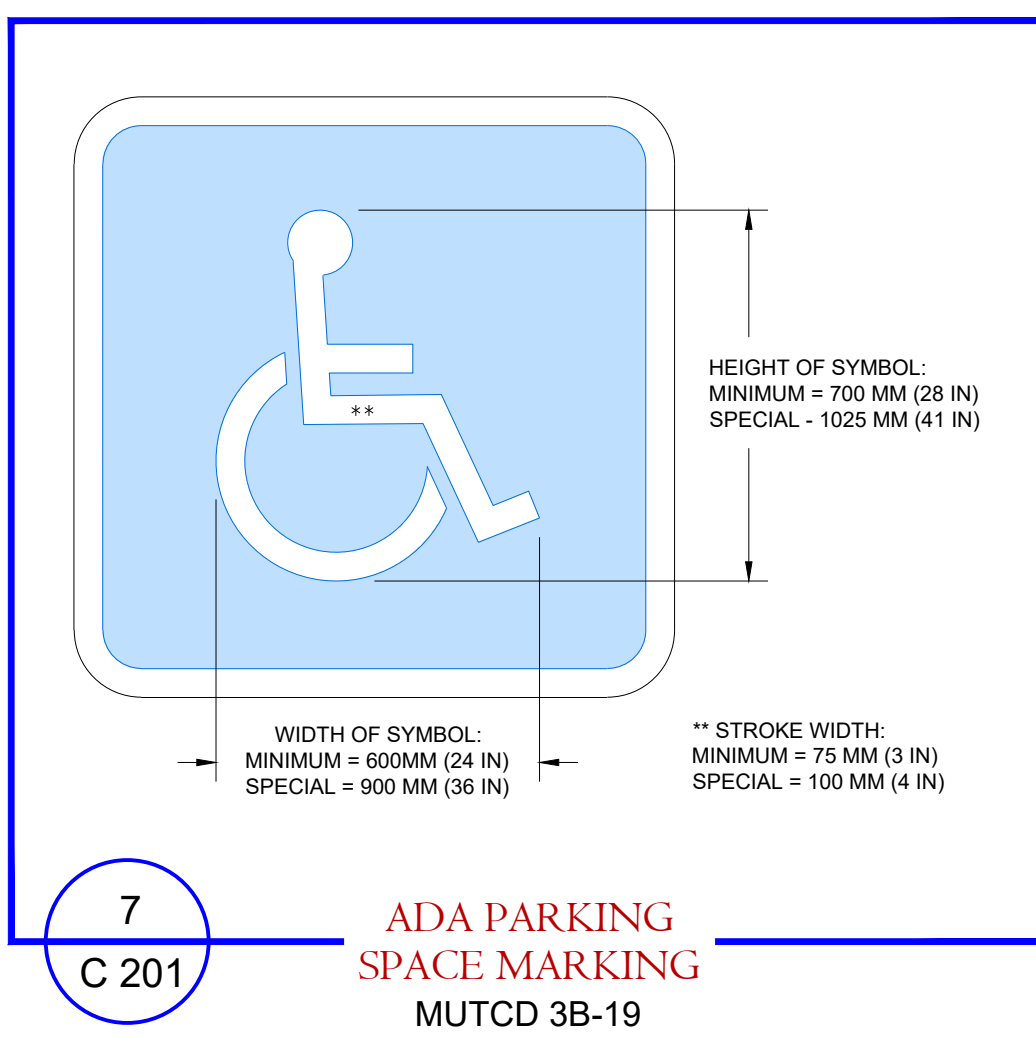
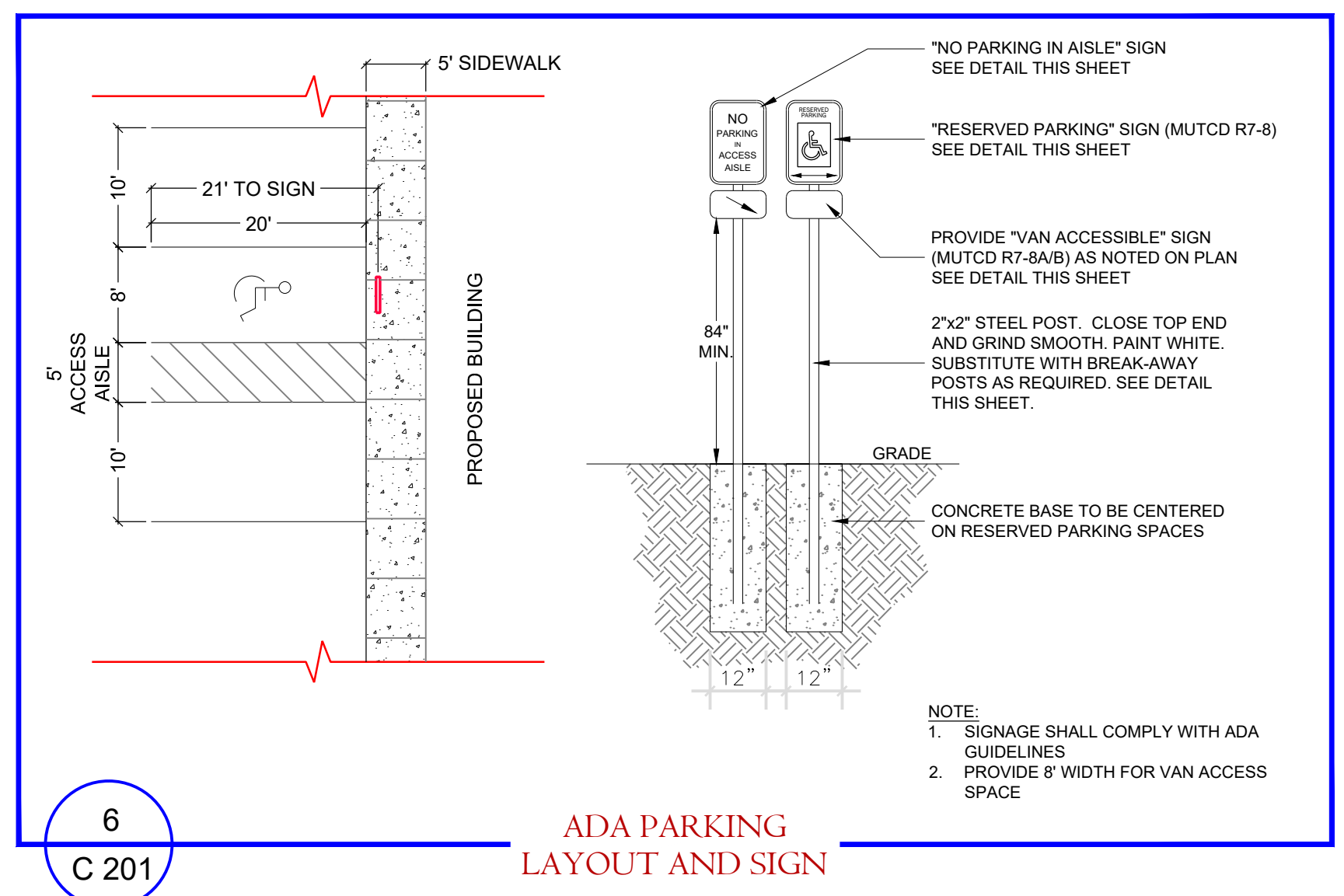
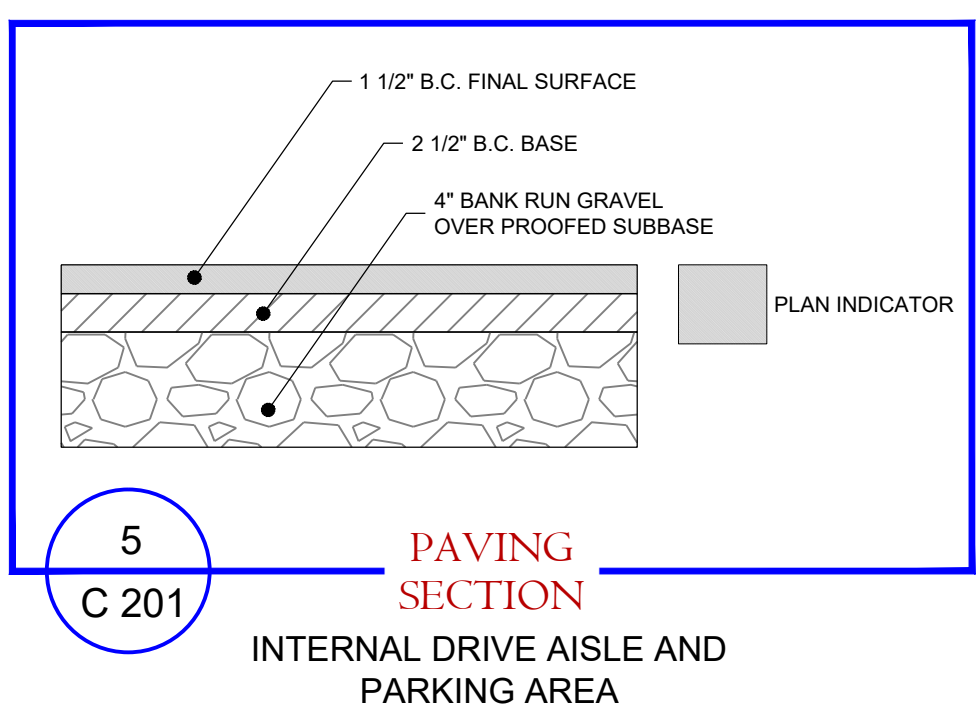
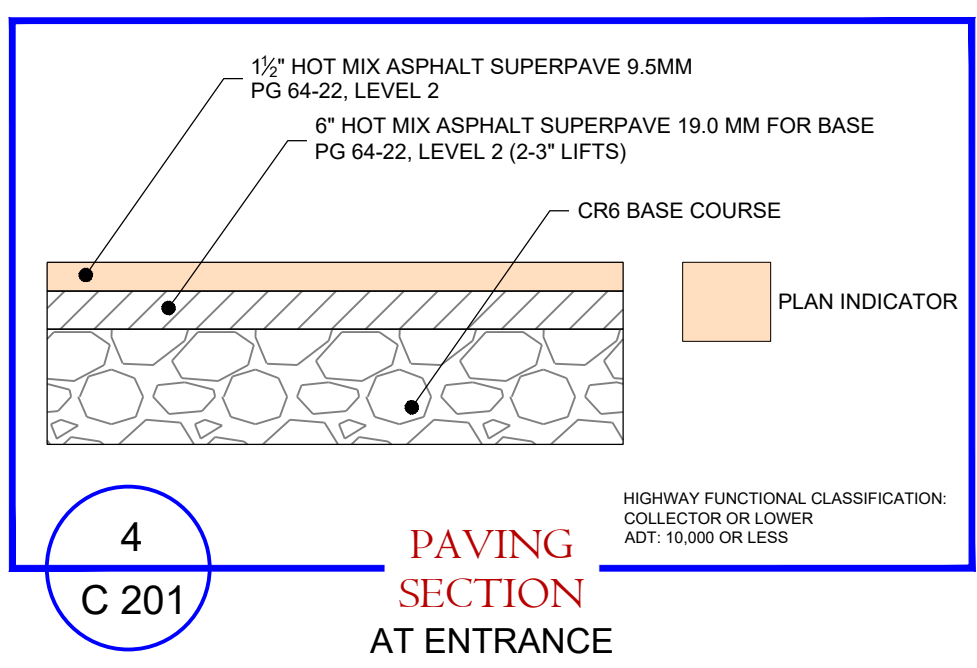
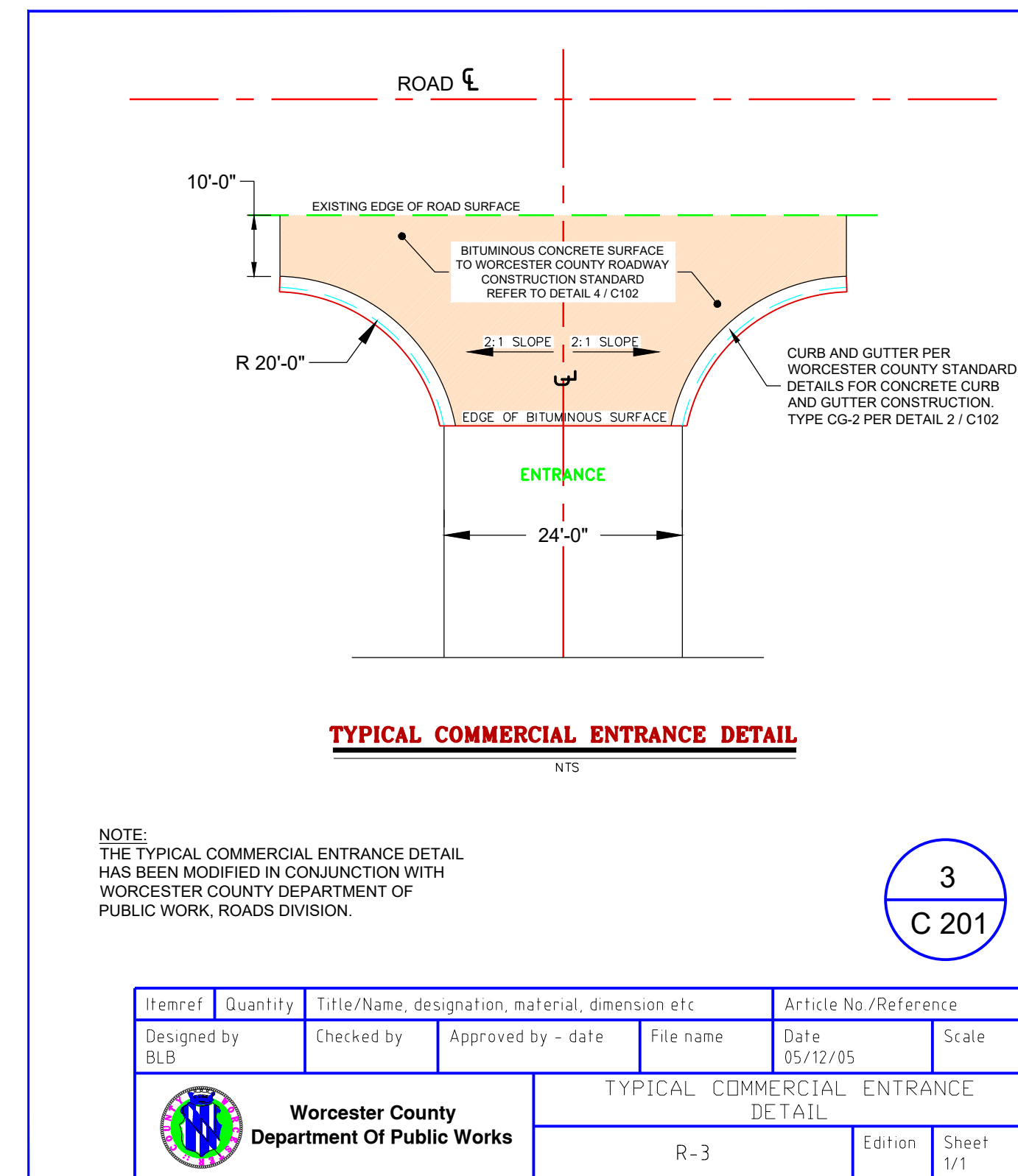
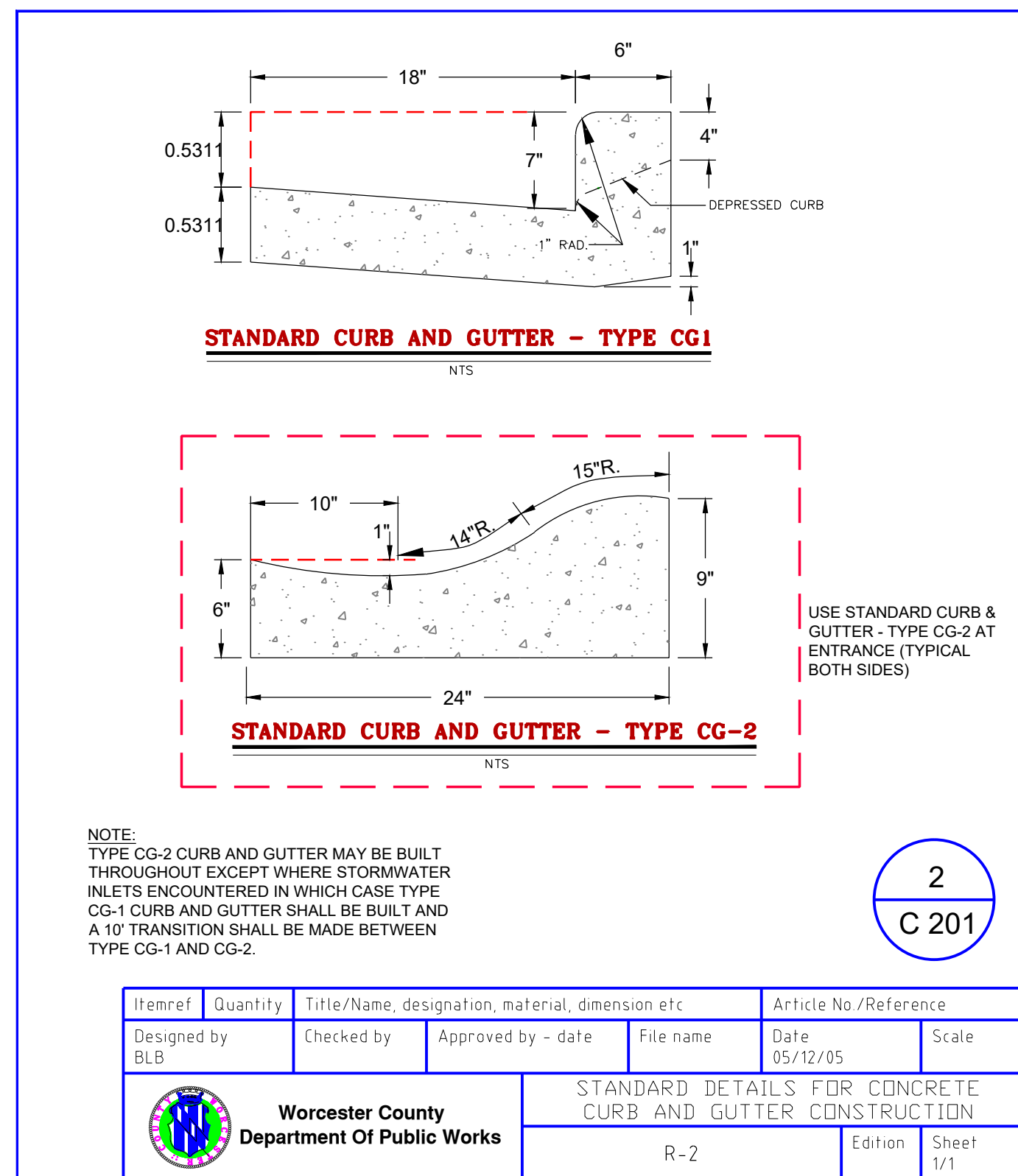
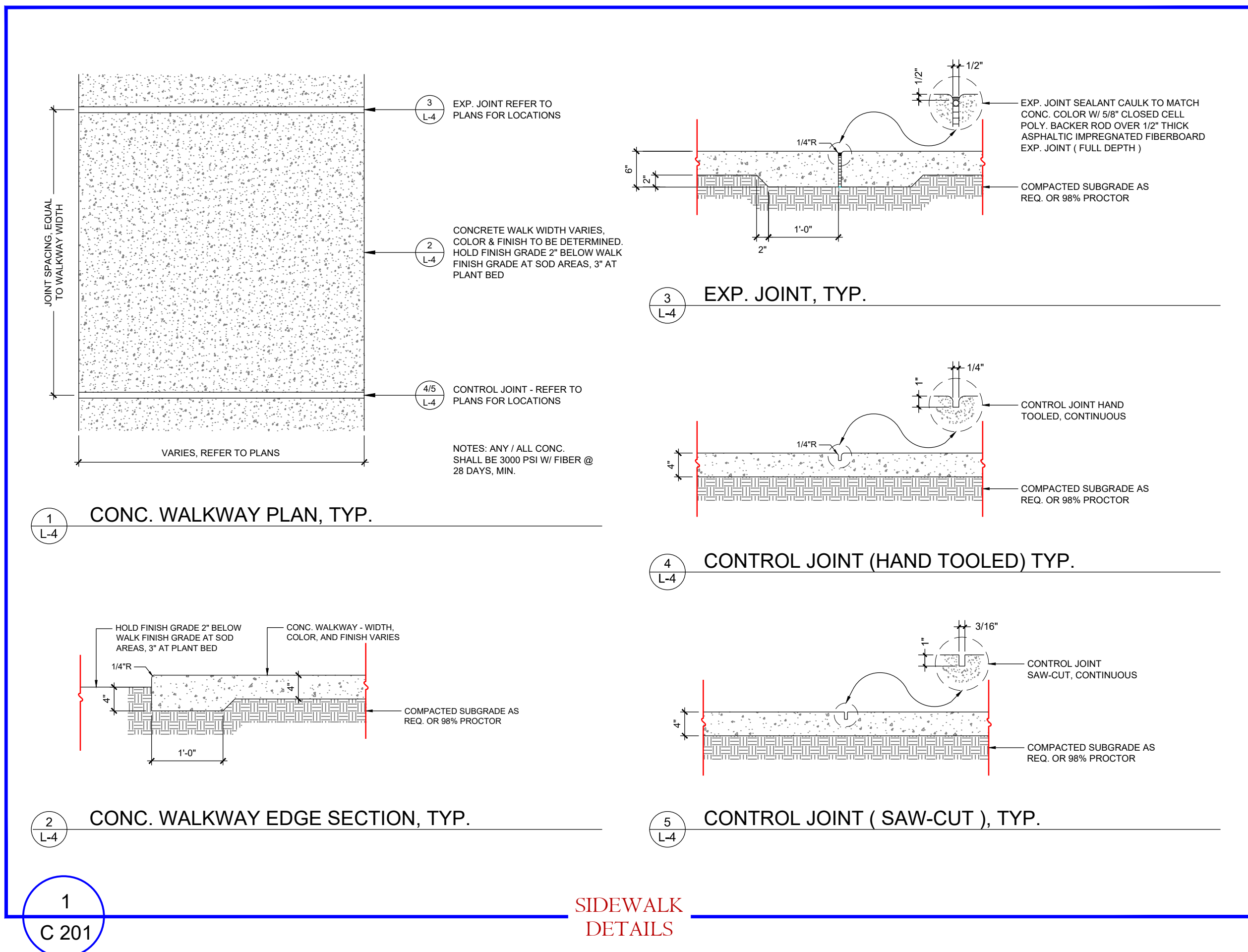


Project No: **20-087**

File Name: **SP 110220.dwg**

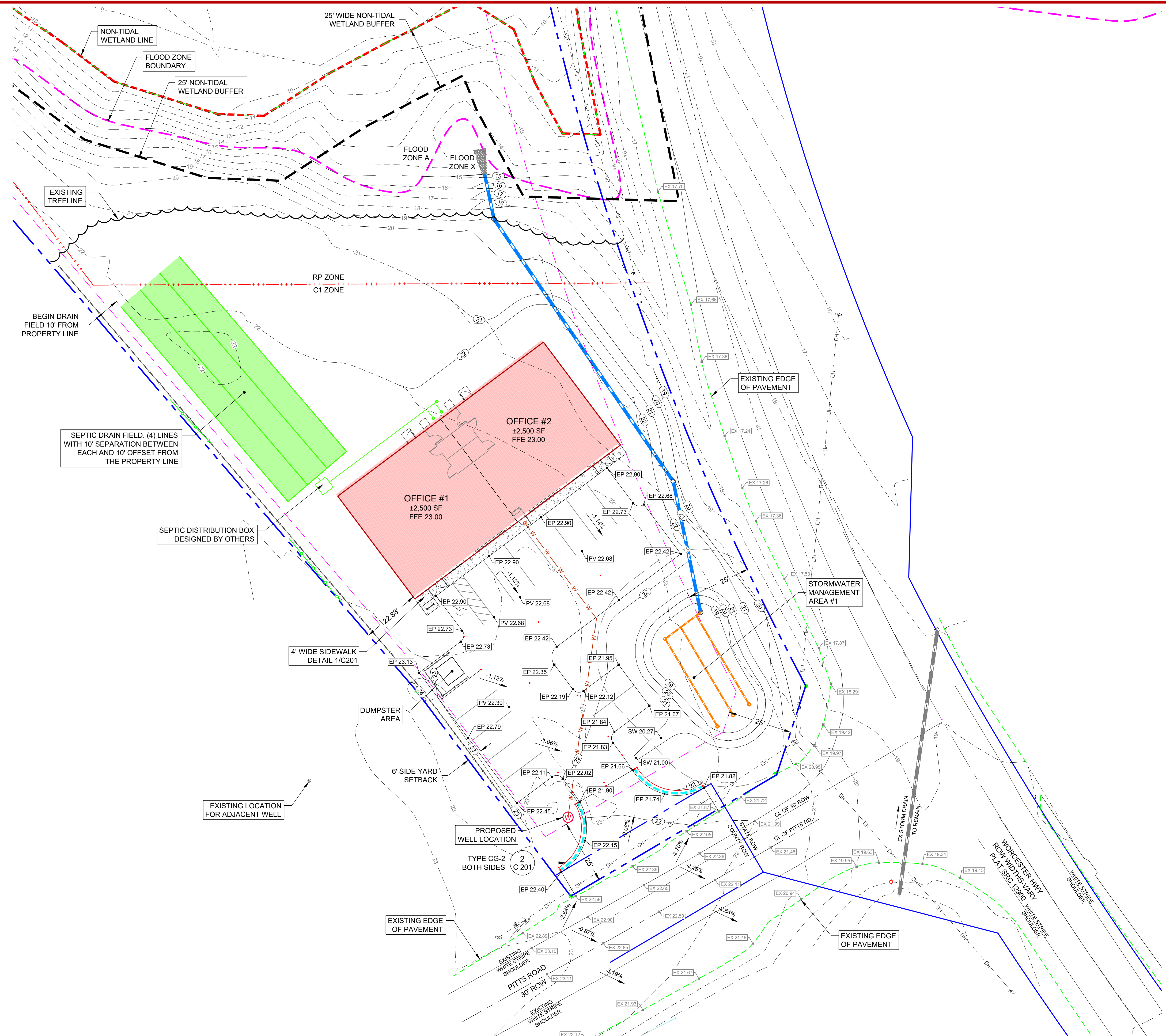
Sheet No: **C 200**

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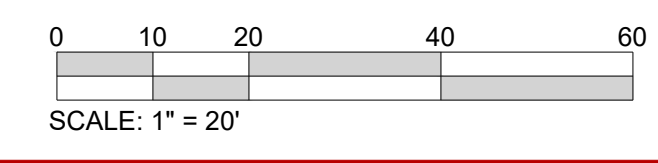
|                                                                                                                                                                                                                                                 |                                              |                                                                                                                                                                                                                                                         |                                                                        |                                 |                                                                                                                                                                     |                  |                                                                                    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|---------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------------------------------------------------------------|
| <p>NOTE:<br/>This drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.</p> | <p>PROGRESS PRINT / NOT FOR CONSTRUCTION</p> | <p><b>VISTA DESIGN, INC.</b><br/>Engineers • Architects • Surveyors • Landscape Architects<br/>Land Planning Consultants • GIS Services<br/>11634 Worcester Hwy, Showell, MD 21862<br/>Ph. 410-352-3874 • Fax 410-352-3875 • www.vistadesigninc.com</p> | <p><b>ERIC FIORI OFFICES</b><br/>LANDS OF<br/>EJF REAL ESTATE, LLC</p> | <p><b>SITE PLAN DETAILS</b></p> | <p>PROJECT DATA</p> <p>Tax Map: 0015 Parcel: 0177</p> <p>WORCESTER COUNTY, MARYLAND</p> <p>Drawn By: RZ Checked By: SDE</p> <p>Date: 12/21/20</p> <p>Scale: NTS</p> | <p>REVISIONS</p> | <p>Project No.: 20-087</p> <p>File Name: SP I10220.dwg</p> <p>Sheet No.: C 201</p> |
|                                                                                                                                                                                                                                                 |                                              |                                                                                                                                                                                                                                                         |                                                                        |                                 | <p>DATE: 12/21/20</p> <p>SCALE: NTS</p>                                                                                                                             | <p>REVISIONS</p> | <p>Project No.: 20-087</p> <p>File Name: SP I10220.dwg</p> <p>Sheet No.: C 201</p> |

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**LEGEND**

|                                 |             |
|---------------------------------|-------------|
| Property Line                   | ---         |
| Adjacent Property Line          | ---         |
| Zoning Boundary                 | ---+---+--- |
| Building Setback Line           | ---         |
| Existing Right of Way Line      | ---         |
| Existing Structures             | ---         |
| Existing Edge of Pavement       | ---         |
| Existing Paint Stripes          | ---         |
| Existing 1x Contour             | ---19---    |
| Existing 5x Contour             | ---20---    |
| Non-Tidal Wetlands              | ---         |
| 25' Non-Tidal Wetland Buffer    | ---         |
| Existing Treeline               | ---         |
| Existing Overhead Wires         | ---         |
| Flood Zone Boundary             | ---         |
| Soils Boundary                  | ---         |
| Existing Storm Drain            | ---         |
| Existing Well Location          | (W)         |
| Proposed Building               | ---         |
| Proposed Edge of Pavement       | ---         |
| Proposed Entrance Curb          | ---         |
| Proposed Sidewalks              | ---         |
| Proposed Septic Area            | ---         |
| Proposed Well Location          | (W)         |
| Proposed Sanitary Lateral & CO  | ---         |
| Proposed Water & CO             | ---         |
| Proposed Storm Drain            | ---         |
| Proposed Under Drain            | ---         |
| Proposed Edge of Pavement Grade | EP 22.40    |
| Proposed Pavement Grade         | PV 22.68    |
| Proposed Swale Grade            | SW 21.25    |
| Existing Grade                  | EX 22.50    |
| Proposed 1x Contour             | 19          |
| Proposed 5x Contour             | 20          |



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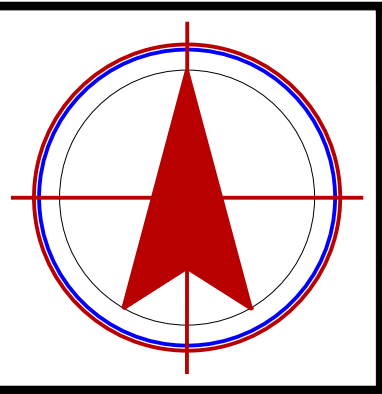
**GRADING PLAN**

**PROJECT DATA**

|                            |                 |             |      |
|----------------------------|-----------------|-------------|------|
| Tax Map:                   | 0015            | Parcel:     | 0177 |
| SHOWELL                    |                 |             |      |
| WORCESTER COUNTY, MARYLAND |                 |             |      |
| Drawn By:                  | RZ              | Checked By: | SDE  |
| Date:                      | 12/21/20        |             |      |
| Scale:                     | <b>1" = 20'</b> |             |      |

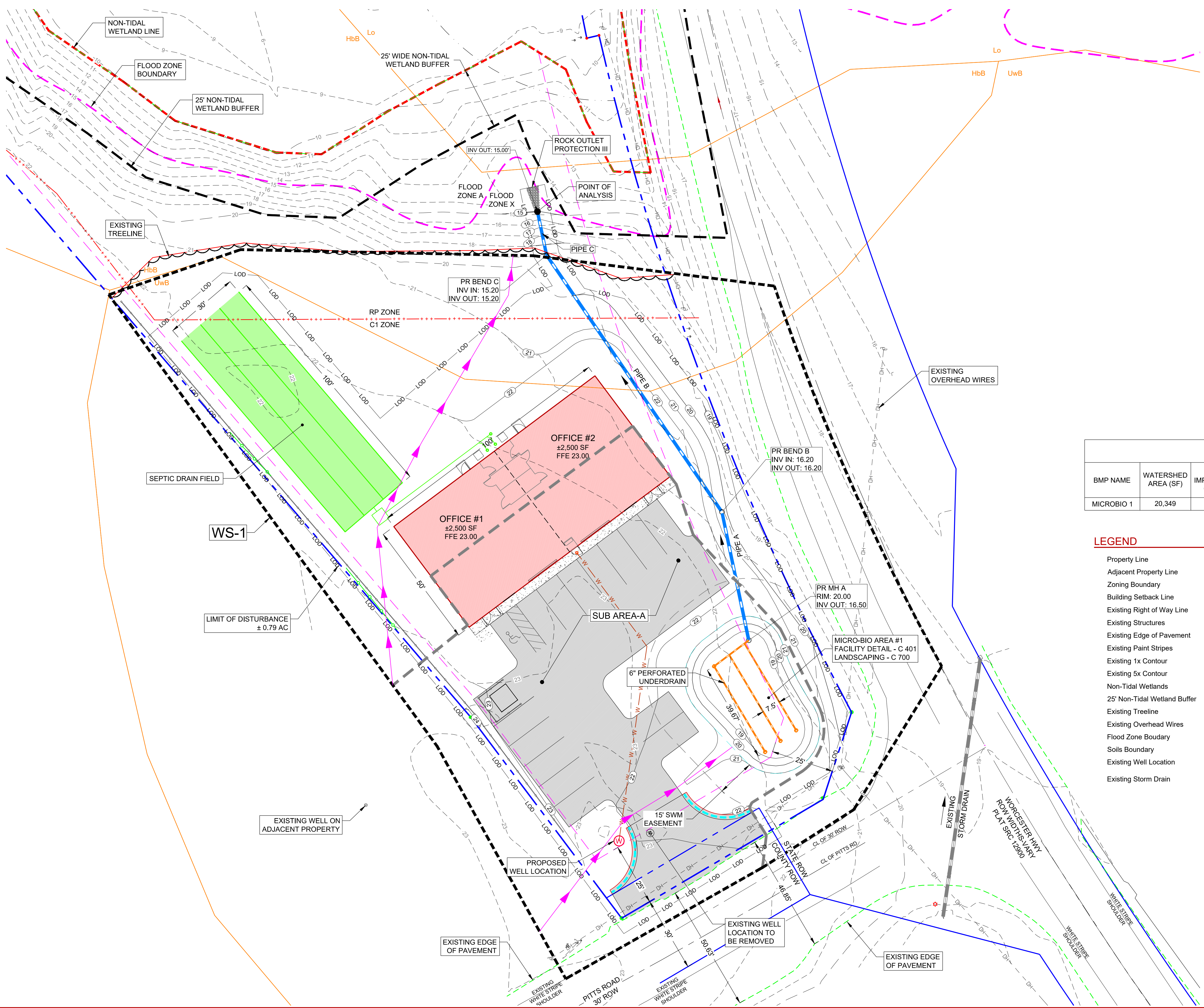
**REVISIONS**

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| Project No.: | <b>20-087</b>         |
| File Name:   | <b>GR III I20.dwg</b> |
| Sheet No.:   | <b>C 300</b>          |

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| SITE DATA                               |              |
|-----------------------------------------|--------------|
| SITE AREA (LIMIT OF DISTURBANCE) (AC)   | 0.79         |
| EXISTING IMPERVIOUS WITHIN LOD (%)      | 0.11 (13.9%) |
| PROPOSED IMPERVIOUS WITHIN LOD (AC) (%) | 0.32 (40.5%) |
| REQUIRED WATER QUALITY VOLUME, WQv (CF) | 2,139        |
| PROVIDED WATER QUALITY VOLUME, WQv (CF) | 2,701        |

| PROPOSED WATERSHED FLOW RATES |              |               |                |
|-------------------------------|--------------|---------------|----------------|
|                               | 2-YEAR (CFS) | 10-YEAR (CFS) | 100-YEAR (CFS) |
| SUB AREA-A                    | 0.03         | 1.01          | 4.13           |
| WS-1                          | 0.58         | 1.30          | 2.88           |
| POA                           | 0.58         | 2.30          | 6.13           |

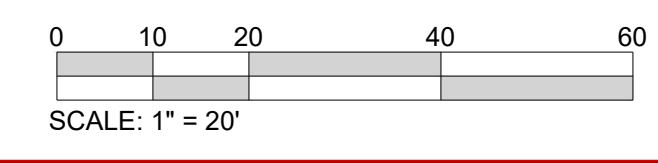
| STORM DRAIN STRUCTURE SCHEDULE |                            |                 |
|--------------------------------|----------------------------|-----------------|
| NAME                           | TYPE                       | CONNECTED PIPES |
| BEND B                         | ADS BEND 22.5 DEG          | 2               |
| BEND C                         | ADS BEND 22.5 DEG          | 2               |
| MH A                           | NDS 15" STRUCTURE W/ GRATE | 1               |

| STORM DRAIN PIPE SCHEDULE |         |         |       |           |            |  |
|---------------------------|---------|---------|-------|-----------|------------|--|
| NAME                      | TYPE    | LENGTH  | SLOPE | INVERT IN | INVERT OUT |  |
| PIPE PIPE A               | 12" ADS | 52.12'  | 0.58% | 16.50'    | 16.20'     |  |
| PIPE PIPE B               | 12" ADS | 123.66' | 0.81% | 16.20'    | 15.20'     |  |
| PIPE PIPE C               | 12" ADS | 17.75'  | 1.13% | 15.20'    | 15.00'     |  |

| WATER QUALITY VOLUME DATA |                     |                    |                       |                    |                  |                                                           |                           |
|---------------------------|---------------------|--------------------|-----------------------|--------------------|------------------|-----------------------------------------------------------|---------------------------|
| BMP NAME                  | WATERSHED AREA (SF) | % IMPERVIOUS COVER | BMP SURFACE AREA (SF) | PONDING DEPTH (FT) | MEDIA DEPTH (FT) | FLOW Q <sub>1</sub> /Q <sub>2</sub> /Q <sub>3</sub> (CFS) | PROVIDED ESDv CREDIT (CF) |
| MICROBIO 1                | 20,349              | 60%                | 2,235                 | 1.0                | 2                | 0.09/1.28/3.34                                            | 2,701                     |

**LEGEND**

|                              |         |                                |     |
|------------------------------|---------|--------------------------------|-----|
| Property Line                | --- --  | Proposed Building              | ■   |
| Adjacent Property Line       | --- - - | Proposed Edge of Pavement      | --- |
| Zoning Boundary              | +++ +   | Proposed Entrance Curb         | --- |
| Building Setback Line        | ---     | Proposed Sidewalks             | --- |
| Existing Right of Way Line   | ---     | Proposed Asphalt               | --- |
| Existing Structures          | ---     | Proposed Septic Area           | --- |
| Existing Edge of Pavement    | ---     | Proposed Well Location         | ⊙   |
| Existing Paint Stripes       | ---     | Proposed 1x Contour            | --- |
| Existing 1x Contour          | ---     | Propose 5x Contour             | --- |
| Existing 5x Contour          | ---     | Proposed Storm Drain           | --- |
| Non-Tidal Wetlands           | ---     | Proposed Under Drain           | --- |
| 25' Non-Tidal Wetland Buffer | ---     | Proposed Sanitary Lateral & CO | --- |
| Existing Treeline            | ---     | Proposed Water & Lateral       | --- |
| Existing Overhead Wires      | ---     | Time of Concentration          | --- |
| Flood Zone Boundary          | ---     | Watershed Area                 | --- |
| Soils Boundary               | ---     | Sub Watershed Area             | --- |
| Existing Well Location       | ⊙       |                                |     |
| Existing Storm Drain         | ---     |                                |     |



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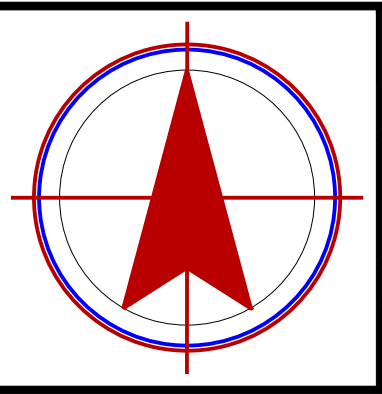
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**SITE STORMWATER  
 MANAGEMENT  
 PLAN**

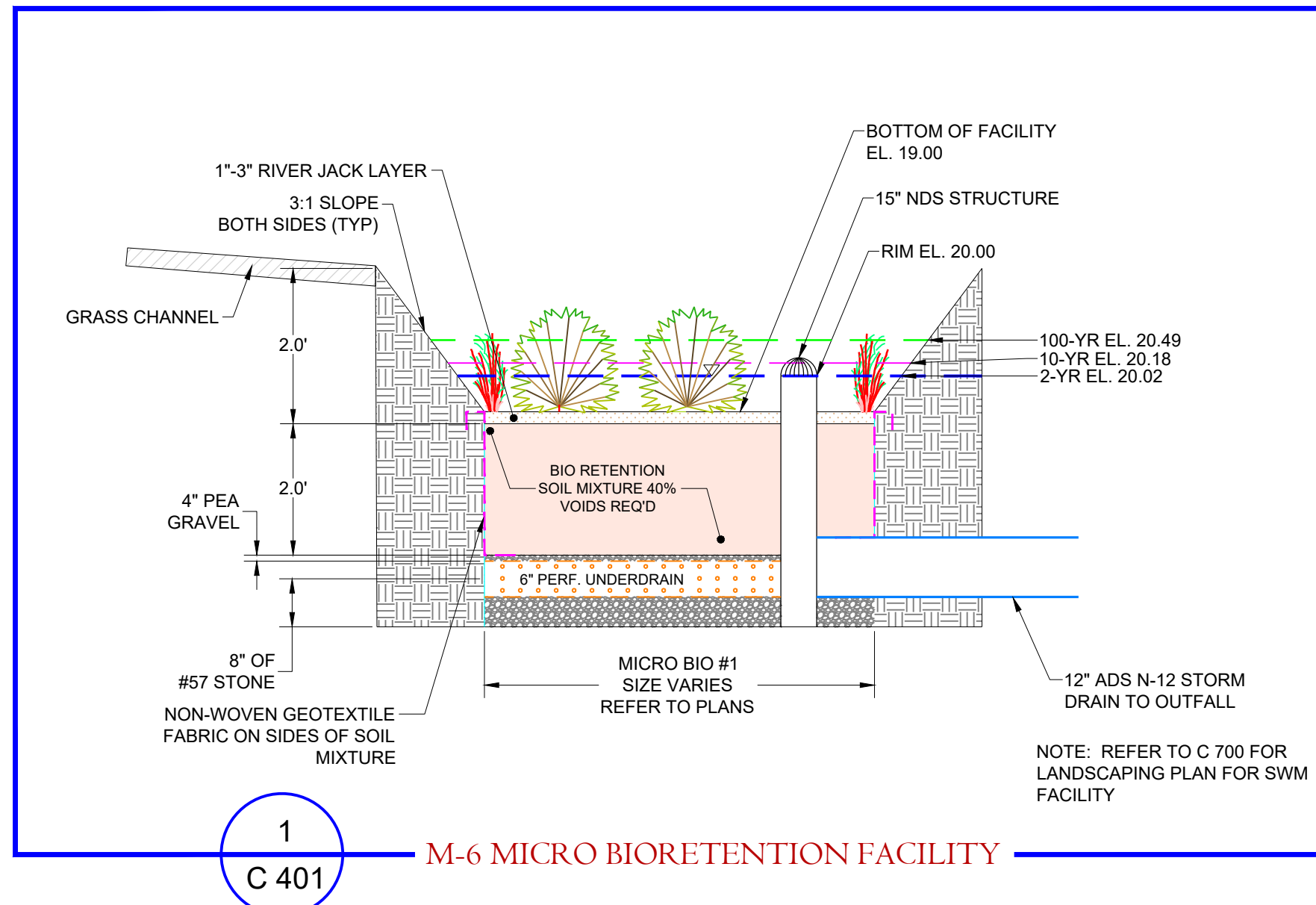
| PROJECT DATA               |                 |
|----------------------------|-----------------|
| Tax Map: 0015              | Parcel: 0177    |
| WORCESTER COUNTY, MARYLAND |                 |
| Drawn By: BH               | Checked By: SDE |
| Date: 12/21/20             |                 |
| Scale: <b>1" = 20'</b>     |                 |

| REVISIONS |  |
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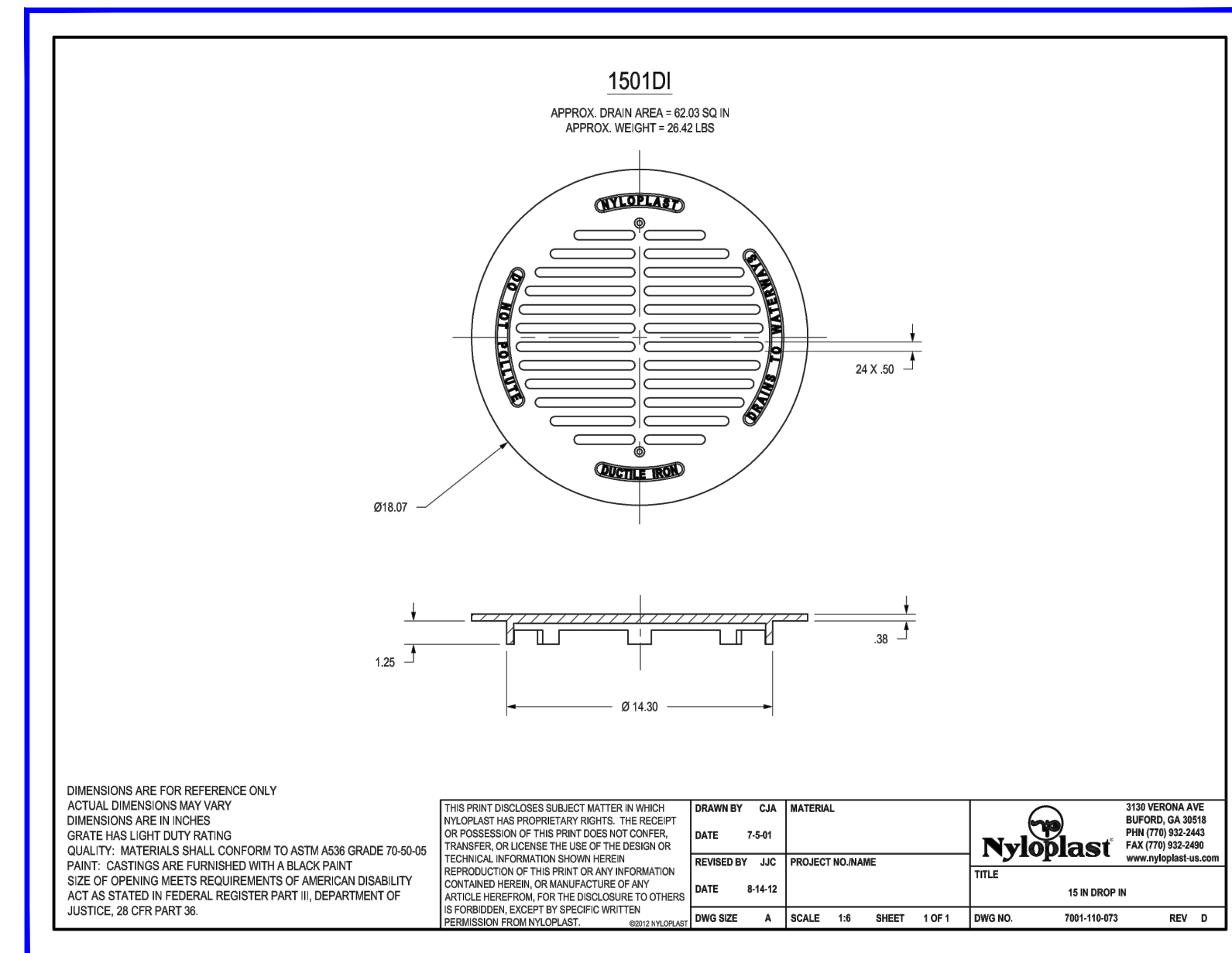
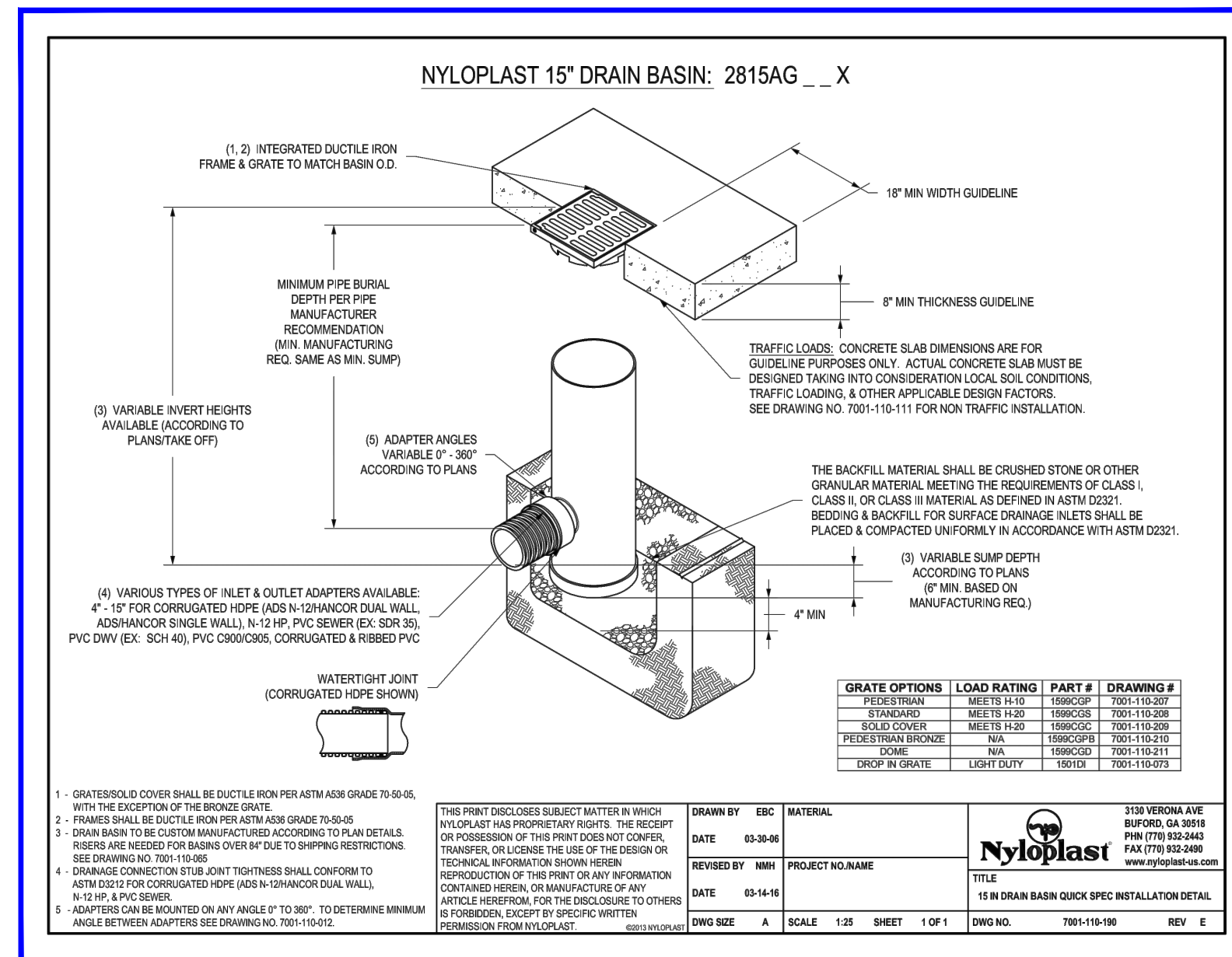


Project No: **20-087**  
 File Name: **PRSTRM I20320.dwg**  
 Sheet No: **C 400**

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1  
C 401  
M-6 MICRO BIORETENTION FACILITY



**MICRO BIORETENTION MAINTENANCE & INSPECTION CRITERIA:**

IT IS HIGHLY RECOMMENDED THAT A SPRING INSPECTION AND CLEANUP BE CONDUCTED IN THE BIORETENTION AREA. THE FOLLOWING IS A LIST OF SOME OF THE KEY MAINTENANCE PROBLEMS TO LOOK FOR:

- CHECK FOR SEDIMENT BUILDUP AT PAVEMENT EDGES THAT PREVENT FLOW FROM GETTING INTO THE BED, AND CHECK FOR OTHER SIGNS OF BYPASSING.
- CHECK FOR ANY WINTER-OR SALT-KILLED VEGETATION, AND REPLACE WITH HARDIER SPECIES.
- NOTE PRESENCE OF ACCUMULATED SAND, SEDIMENT AND TRASH IN THE FILTER BED AND REMOVE IT.
- INSPECT BIORETENTION SIDE SLOPES AND FILTER STRIPS FOR EVIDENCE OF ANY RILL OR GULLY EROSION AND REPAIR IT.
- LOOK FOR BARE SOIL OR SEDIMENT SOURCES IN THE CONTRIBUTING DRAINAGE AREA, AND STABILIZE THEM IMMEDIATELY.

DUAL WALL FABRICATED 22.5° BENDS  
4" - 30" DIAMETER

| PART #    | PIPE SIZE         | A                   | JOINT |
|-----------|-------------------|---------------------|-------|
| 0492AN    | 4 in<br>(100 mm)  | 4.5 in<br>(114 mm)  | -     |
| 0692AN    | 6 in<br>(150 mm)  | 5.4 in<br>(137 mm)  | *     |
| 0892AN    | 8 in<br>(200 mm)  | 7.6 in<br>(194 mm)  | -     |
| 1092AN    | 10 in<br>(250 mm) | 7.8 in<br>(197 mm)  | -     |
| 1292AN    | 12 in<br>(300 mm) | 9.8 in<br>(244 mm)  | *     |
| 1292AN5SB | 12 in<br>(300 mm) | 5.8 in<br>(146 mm)  | ST    |
| 1292AN5SB | 12 in<br>(300 mm) | 5.8 in<br>(146 mm)  | WT    |
| 1592AN    | 15 in<br>(375 mm) | 14.1 in<br>(354 mm) | *     |
| 1592AN5SB | 15 in<br>(375 mm) | 5.4 in<br>(137 mm)  | ST    |
| 1592AN5SB | 15 in<br>(375 mm) | 5.4 in<br>(137 mm)  | WT    |
| 1892AN    | 18 in<br>(450 mm) | 14.3 in<br>(363 mm) | -     |
| 1892AN5SB | 18 in<br>(450 mm) | 5.9 in<br>(174 mm)  | ST    |
| 1892AN5SB | 18 in<br>(450 mm) | 5.9 in<br>(174 mm)  | WT    |
| 2492AN    | 24 in<br>(600 mm) | 18.9 in<br>(469 mm) | -     |
| 2492AN5SB | 24 in<br>(600 mm) | 9.5 in<br>(240 mm)  | ST    |
| 2492AN5SB | 24 in<br>(600 mm) | 9.5 in<br>(240 mm)  | WT    |

\* - PLAIN END  
ST - SOLE TIGHT  
WT - WATER TIGHT  
\* LIMITED AVAILABILITY, PLEASE SEE INJECTION MOLDED FITTING SECTION FOR OTHER AVAILABLE FITTINGS  
NOTE: ALL FITTINGS DIMENSIONS ARE FOR REFERENCE ONLY

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EJF REAL ESTATE, LLC**

**SWM FACILITY DETAILS**

**PROJECT DATA**

|           |            |             |      |
|-----------|------------|-------------|------|
| Tax Map:  | 0015       | Parcel:     | 0177 |
| Drawn By: | BH         | Checked By: | SDE  |
| Date:     | 12/21/20   |             |      |
| Scale:    | <b>NTS</b> |             |      |

**REVISIONS**

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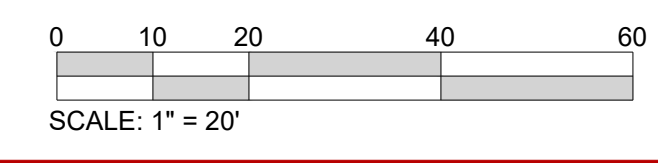
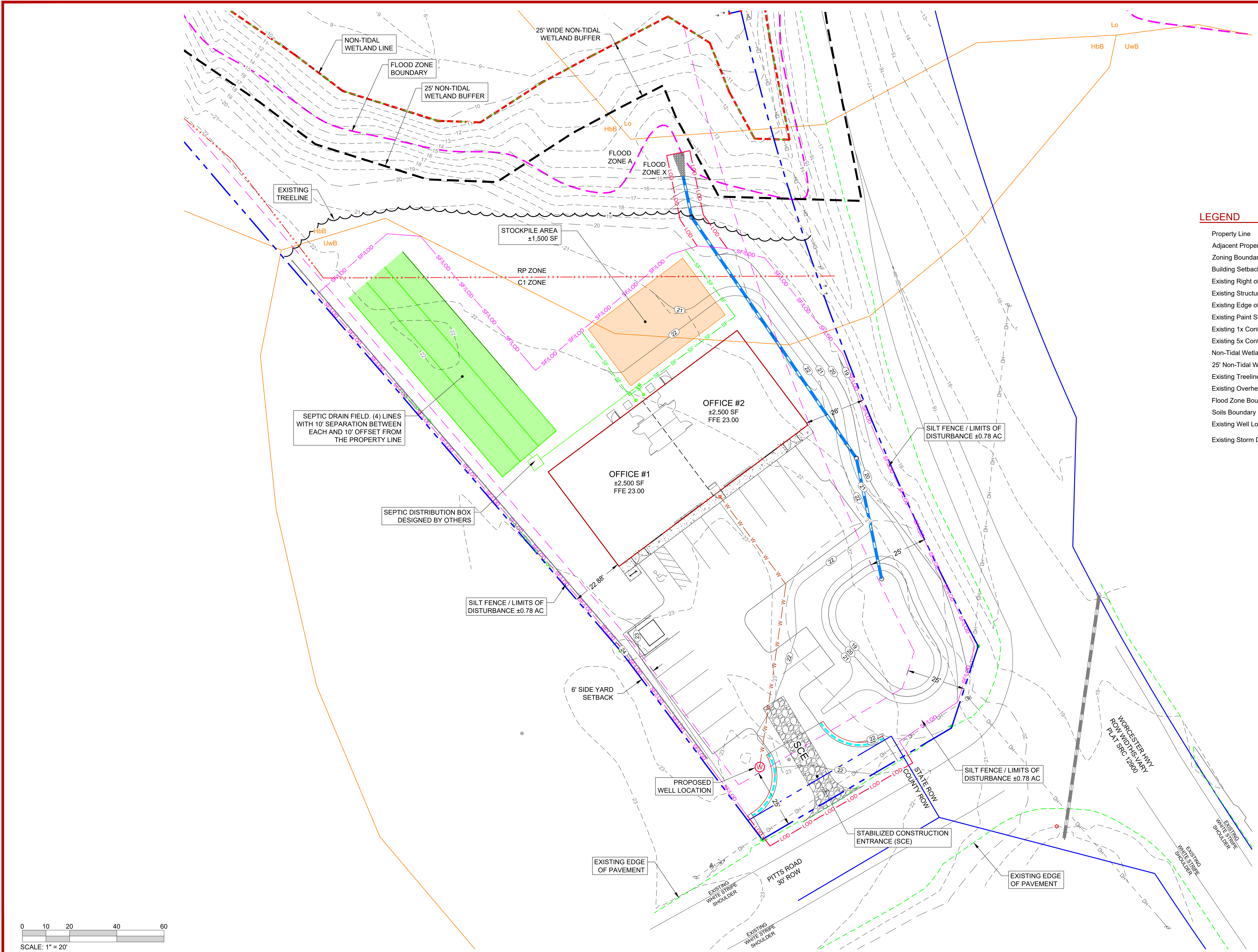
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|--------------|-------------------|
| Project No.: | 20-087            |
| File Name:   | PRSTRM 120320.dwg |
| Sheet No.:   | C 401             |

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|--------------|-------------------|
| Project No.: | 20-087            |
| File Name:   | PRSTRM 120320.dwg |
| Sheet No.:   | C 401             |

| SOILS     |                                                                           |                              |                 |
|-----------|---------------------------------------------------------------------------|------------------------------|-----------------|
| SOIL TYPE | SOIL DESCRIPTION                                                          | HYDROLOGIC SOIL GROUP RATING | PERCENT OF SITE |
| HdB       | Hambrook sandy loam, 2 to 5 percent slopes                                | B                            | 17.3%           |
| Lo        | Longmarsh and Intiantown soils, 0 to 1 percent slopes, frequently flooded | B/D                          | 43.8%           |
| SadB      | Sassafras sandy loam, 2 to 5 percent slopes, Northern Tidewater Area      | B                            | 14.9%           |
| UwB       | Urban land-Udortheims complex, 0 to 5 percent slopes                      | D                            | 23.1%           |
| UzB       | Udortheims, loamy, 0 to 5 percent slopes                                  | C                            | 1.0%            |

**LEGEND**

|                              |                                    |  |
|------------------------------|------------------------------------|--|
| Property Line                | Proposed Building                  |  |
| Adjacent Property Line       | Proposed Edge of Pavement          |  |
| Zoning Boundary              | Proposed Entrance Curb             |  |
| Building Setback Line        | Proposed Sidewalks                 |  |
| Existing Right of Way Line   | Proposed Asphalt                   |  |
| Existing Structures          | Proposed Septic Area               |  |
| Existing Edge of Pavement    | Proposed Well Location             |  |
| Existing Paint Stripes       | Proposed 1x Contour                |  |
| Existing 1x Contour          | Propose 5x Contour                 |  |
| Existing 5x Contour          | Proposed Storm Drain               |  |
| Non-Tidal Wetlands           | Proposed Under Drain               |  |
| 25' Non-Tidal Wetland Buffer | Proposed Sanitary Lateral & CO     |  |
| Existing Treeline            | Proposed Water & Lateral           |  |
| Existing Overhead Wires      | Time of Concentration              |  |
| Flood Zone Boundary          | Silt Fence (SF)                    |  |
| Soils Boundary               | Limits of Disturbance (LOD)        |  |
| Existing Well Location       | Silt Fence / Limits of Disturbance |  |
| Existing Storm Drain         | Stabilized Construction Entrance   |  |
|                              | Stockpile Area                     |  |



**OWNER'S CERTIFICATION**

I / WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. ADDITIONALLY, THE OWNER OR DEVELOPER SHALL CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE APPROPRIATE ENFORCEMENT AUTHORITY AND/OR MDE.

SIGNATURE / APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

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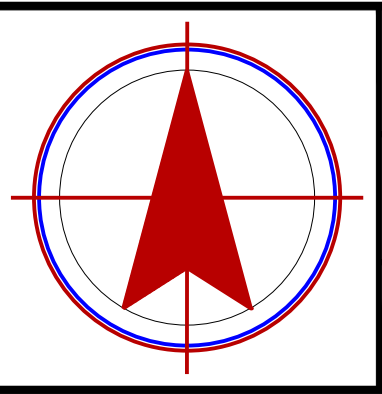
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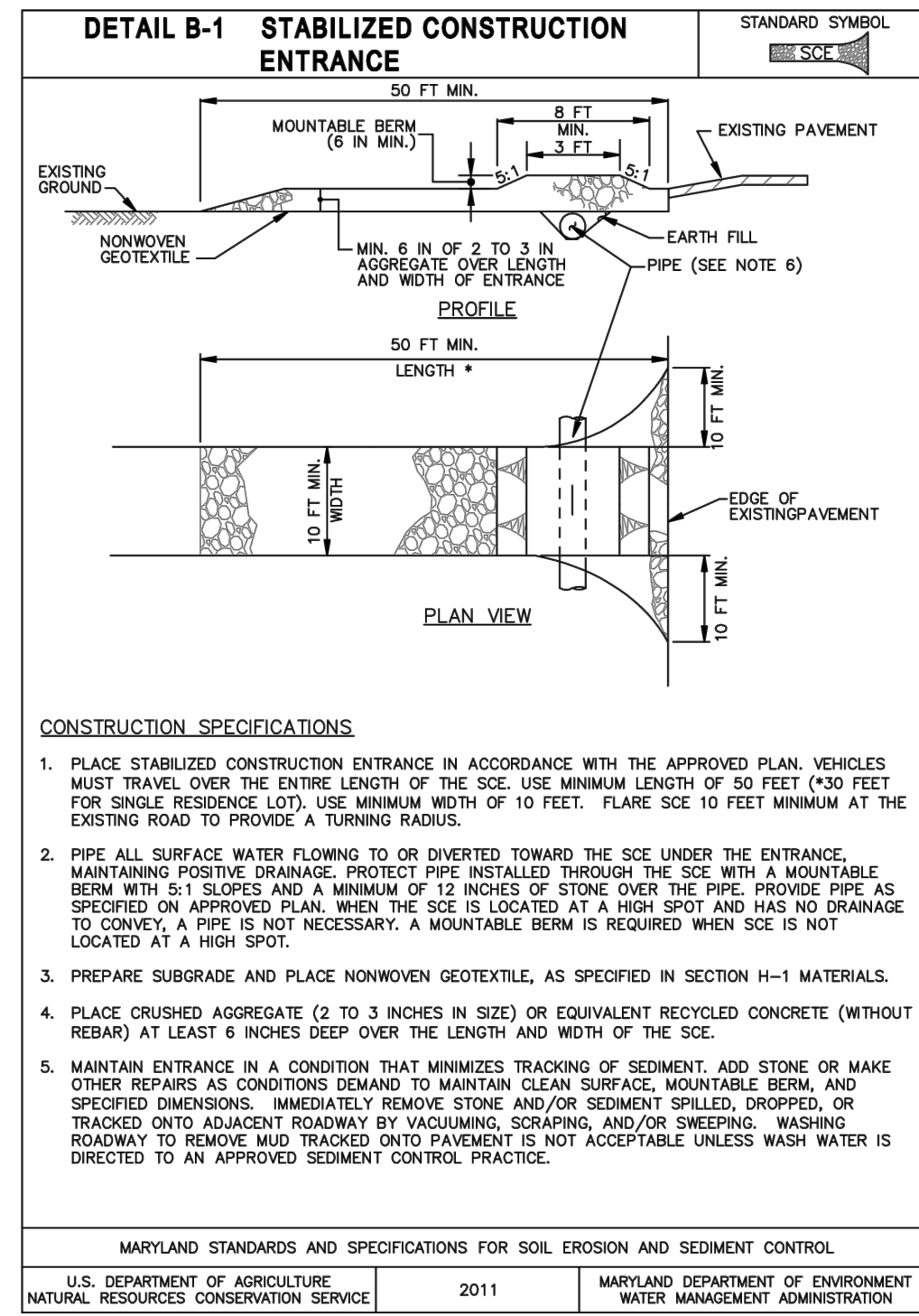
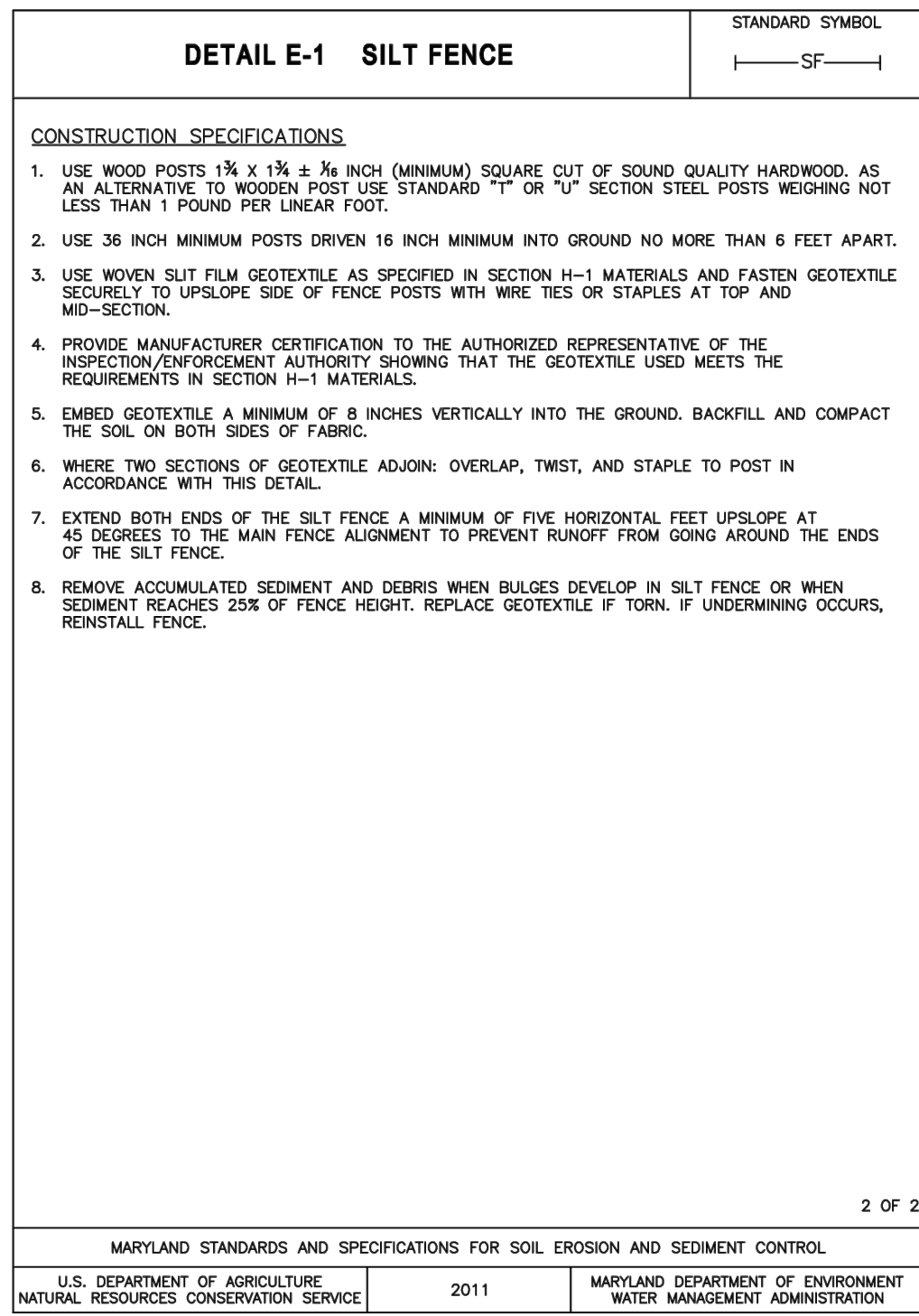
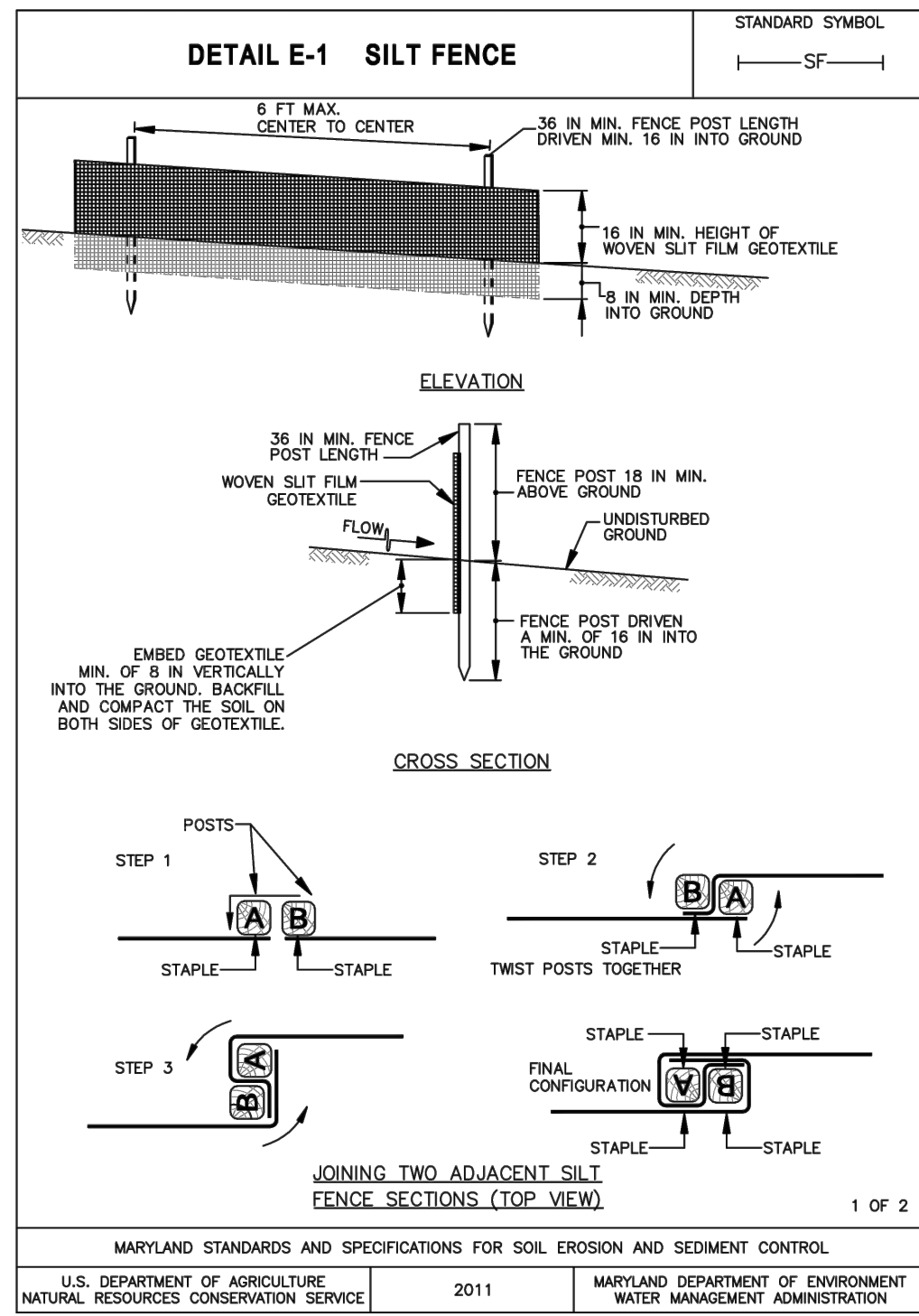
**SEDIMENT & EROSION  
 CONTROL PLAN**

| PROJECT DATA                          |                 |
|---------------------------------------|-----------------|
| Tax Map: 0015                         | Parcel: 0177    |
| SROWELL<br>WORCESTER COUNTY, MARYLAND |                 |
| Drawn By: RZ                          | Checked By: SDE |
| Date: 10/21/20                        |                 |
| Scale: <b>1" = 20'</b>                |                 |

| REVISIONS |  |
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|             |                      |
|-------------|----------------------|
| Project No: | <b>20-087</b>        |
| File Name:  | <b>ES 111220.dwg</b> |
| Sheet No:   | <b>C 500</b>         |



**EROSION & SEDIMENT CONTROL NOTES:**

- FOLLOWING INITIAL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITH (a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND (b) SEVEN (7) CALENDAR DAYS ON ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADINGS.
- CERTIFICATION BY OWNER OR DEVELOPER THAT:
  - ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN AND
  - THAT RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE DEPARTMENT APPROVED PROGRAM (GREEN-CARD CERTIFICATION FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT (CERTIFICATION MAY BE WAIVED BY THE APPROVAL AUTHORITY ON ANY PROJECT INVOLVING FOUR OR FEWER RESIDENTIAL UNITS) AND AS APPLICABLE PER COUNTY. THE DEVELOPER WILL PROVIDE ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.
- OWNER/DEVELOPER OR REPRESENTATIVE IS TO CONTACT THE APPROPRIATE ENFORCING AUTHORITY OR ITS AGENT AT THE FOLLOWING STAGES OF THE PROJECT: (a) PRIOR TO THE START OF CONSTRUCTION, (b) UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, (c) PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT, (d) PRIOR TO THE REMOVAL OF SEDIMENT CONTROL PRACTICES.
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- APPROVED PLANS REMAIN VALID FOR 2 YEARS FROM THE DATE OF APPROVAL, EXCEPT SURFACE MINES AND LANDFILL PLANS WHICH REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL, UNLESS SPECIFICALLY EXTENDED OR RENEWED BY THE APPROVAL AUTHORITY.
- A MARYLAND DEPARTMENT OF THE ENVIRONMENT NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE.
- AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, AN INSPECTION MUST BE PERFORMED ON SITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF-INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ON SITE AT ALL TIMES.
- SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER AND NOT WITHOUT THE PERMISSION OF THE WORCESTER COUNTY INSPECTOR.
- FOR THE PURPOSES OF THIS PLAN, AN APPROVED LOCATION FOR EXCESS MATERIAL SHALL BE ONE WHICH IS OPERATING UNDER AN APPROVED EROSION AND SEDIMENT PLAN AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE APPROVED PLAN, AND ALL OTHER MEASURES NECESSARY TO CONTROL, FILTER, AND PREVENT SEDIMENT FROM LEAVING THE SITE.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- THE WORCESTER COUNTY DEPT. OF DEVELOPMENT REVIEW AND PERMITTING AND THE WORCESTER SOIL CONSERVATION DISTRICT RESERVE THE RIGHT TO ADD, MODIFY, OR ALTER THE APPROVED SESC PLAN AS NECESSARY TO PROVIDE ADEQUATE PROTECTION.

**SEQUENCE OF CONSTRUCTION**

- CONTACT WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) AND SILT FENCE PERIMETER CONTROLS AS SHOWN.
- ROUGH GRADE SITE, IMPORTING MATERIAL AS NECESSARY FROM SITE OR OFF-SITE SOURCE PER PROPOSED GRADES PROVIDED TO CREATE POSITIVE DRAINAGE.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL SEPTIC SYSTEM, AND WATER. ALL UTILITY TRENCHES OUTSIDE OF THE PERIMETER CONTROLS MUST BE BACKFILLED, COMPACTED AND STABILIZED WITH TEMPORARY OR STONE OR HOT MIX AT THE END OF EACH WORK DAY. ALL TRENCHING & PIPING MUST BE CONSTRUCTED IN A DOWNSTREAM MANNER. SPOIL MUST BE PLACED ON THE HIGH SIDE OF THE TRENCH WHEREVER FEASIBLE. IF FOR SOME REASON THE TRENCH CANNOT BE BACKFILLED OR STABILIZED AT THE END OF THE WORK DAY, ADDITIONAL SEDIMENT CONTROL MEASURES MUST BE PLACED ON THE DOWNSTREAM/DOWNSLOPE SIDE OF THE TRENCH. ALL DISTURBED VEGETATED AREAS OUTSIDE OF THE PERIMETER CONTROLS MUST BE STABILIZED AT THE END OF EACH WORK DAY.
- INSTALL CATV, PHONE AND ELECTRIC UTILITIES.
- FINAL GRADE AND PAVE PARKING LOT.
- STABILIZE ALL REMAINING DISTURBED AREAS WITH SOD.
- BEGIN CONSTRUCTION OF THE MICRO BIO RETENTION AS SHOWN ON PLANS.
- START BY INSTALLING THE OUTFALL PIPE AND STRUCTURE AND STABILIZE THE OUTFALL WITH RIP RAP.
- EXCAVATE BASIN TO CORRECT DEPTH (HAVE THIS ELEVATION VERIFIED FOR SWM AS BUILT) AND INSTALL 6" OF NO. 57 STONE AND THEN INSTALL PERFORATED UNDERDRAIN PIPES (HAVE INVERTS VERIFIED FOR SWM AS BUILT). COVER UNDERDRAINS WITH 2" OF NO. 57 STONE AND INSTALL 4" OF PEAGRAVEL BRIDGING LAYER. (HAVE THIS ELEVATION VERIFIED FOR SWM AS BUILT)
- INSTALL TWO FEET OF CERTIFIED BIO MEDIA IN BASIN (HAVE TOP ELEVATION VERIFIED FOR SWM AS BUILT).
- STABILIZE SIDE SLOPES WITH SOD AND THE BOTTOM OF THE BASIN WITH MULCH AND LANDSCAPING.
- UPON COMPLETION OF ALL SITE IMPROVEMENTS, INSTALL REQUIRED LANDSCAPING AND PREPARE AND STABILIZE ALL DISTURBED AREAS FOR FINAL STABILIZATION.
- UPON 95% STABILIZATION OF ALL DISTURBED AREAS CALL FOR FINAL APPROVAL FROM WORCESTER COUNTY AND MDE.
- REMOVE ALL E&S CONTROLS AFTER FINAL APPROVAL.
- UPON 95% STABILIZATION OF ALL DISTURBED AREAS CALL FOR FINAL APPROVAL FROM WORCESTER COUNTY AND MDE.
- SUBMIT AS-BUILTS REQUIRED FOR OBTAINING C/O.
- ALL MAINTENANCE OF THE FINAL SITE SHALL BE CONTROLLED BY THE SITE OWNER.

**Table B.6: Maintenance Fertilization for Permanent Seeding**

| Seeding Mixture                                                  | Type                 | lb/ac      | lb/1000 sf | Time                                                                          | Mowing                                                                                  |
|------------------------------------------------------------------|----------------------|------------|------------|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------|
| Tall fescue makes up 70 percent or more of cover.                | 10-10-10 or 30-10-10 | 500        | 11.5       | Yearly or as needed. Fall                                                     | Not closer than 3 inches, if occasional mowing is desired.                              |
| Birdsfoot Trefoil.                                               | 0-20-0               | 400        | 9.2        | Spring, the year following establishment, and every 4 to 5 years, thereafter. | Mow no closer than 2 inches.                                                            |
| Fairly uniform stand of tall fescue or birdsfoot trefoil.        | 5-10-10              | 500        | 11.5       | Fall, the year following establishment, and every 4 to 5 years, thereafter.   | Not required, no closer than 4 inches in the fall after seed has matured.               |
| Weeping lovegrass fairly uniform plant distribution.             | 5-10-10              | 500        | 11.5       | Spring, the year following establishment, and every 3 to 4 years, thereafter. | Not required, not closer than 4 inches in fall after seed has matured.                  |
| Red & chewings fescue, Kentucky bluegrass, hard fescue mixtures. | 20-10-10             | 250<br>100 | 5.8<br>2.3 | September, 30 days later. December, May 20, June 30, if needed.               | Mow no closer than 2 inches for red fescue and Kentucky bluegrass, 3 inches for fescue. |

**Permanent Seeding Summary**

| Hardiness Zone (from Figure B.3): ZONE 7b |             |                          |                      |                | Fertilizer Rate (10-20-20)          |                               |                         | Lime Rate                 |
|-------------------------------------------|-------------|--------------------------|----------------------|----------------|-------------------------------------|-------------------------------|-------------------------|---------------------------|
| No.                                       | Species     | Application Rate (lb/ac) | Seeding Dates        | Seeding Depths | N                                   | P <sub>2</sub> O <sub>5</sub> | K <sub>2</sub> O        |                           |
|                                           | Tall Fescue | 100                      | 2/15-4/30/8/15-11/30 | 1/4- 1/2 in    | 45 pounds per acre (1.0 lb/1000 sf) | 90 lb/ac (2 lb/1000 sf)       | 90 lb/ac (2 lb/1000 sf) | 2 tons/ac (90 lb/1000 sf) |

**Temporary Seeding Summary**

| Hardiness Zone (from Figure B.3): ZONE 7b |                |                          |                      |                | Fertilizer Rate (10-20-20) | Lime Rate                 |
|-------------------------------------------|----------------|--------------------------|----------------------|----------------|----------------------------|---------------------------|
| No.                                       | Species        | Application Rate (lb/ac) | Seeding Dates        | Seeding Depths |                            |                           |
|                                           | Barley         | 96                       | 2/15-4/30/8/15-11/30 | 1"             | 436 lb/ac (10 lb/1000 sf)  | 2 tons/ac (90 lb/1000 sf) |
|                                           | Oats           | 72                       | 2/15-4/30/8/15-11/30 | 1"             |                            |                           |
|                                           | Cereal Rye     | 112                      | 2/15-4/30/8/15-12/15 | 1"             |                            |                           |
|                                           | Foxtail Millet | 30                       | 5/1-8/14             | 0.5"           |                            |                           |

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**NOTE:**  
This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.

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Land Planning Consultants • GIS Services  
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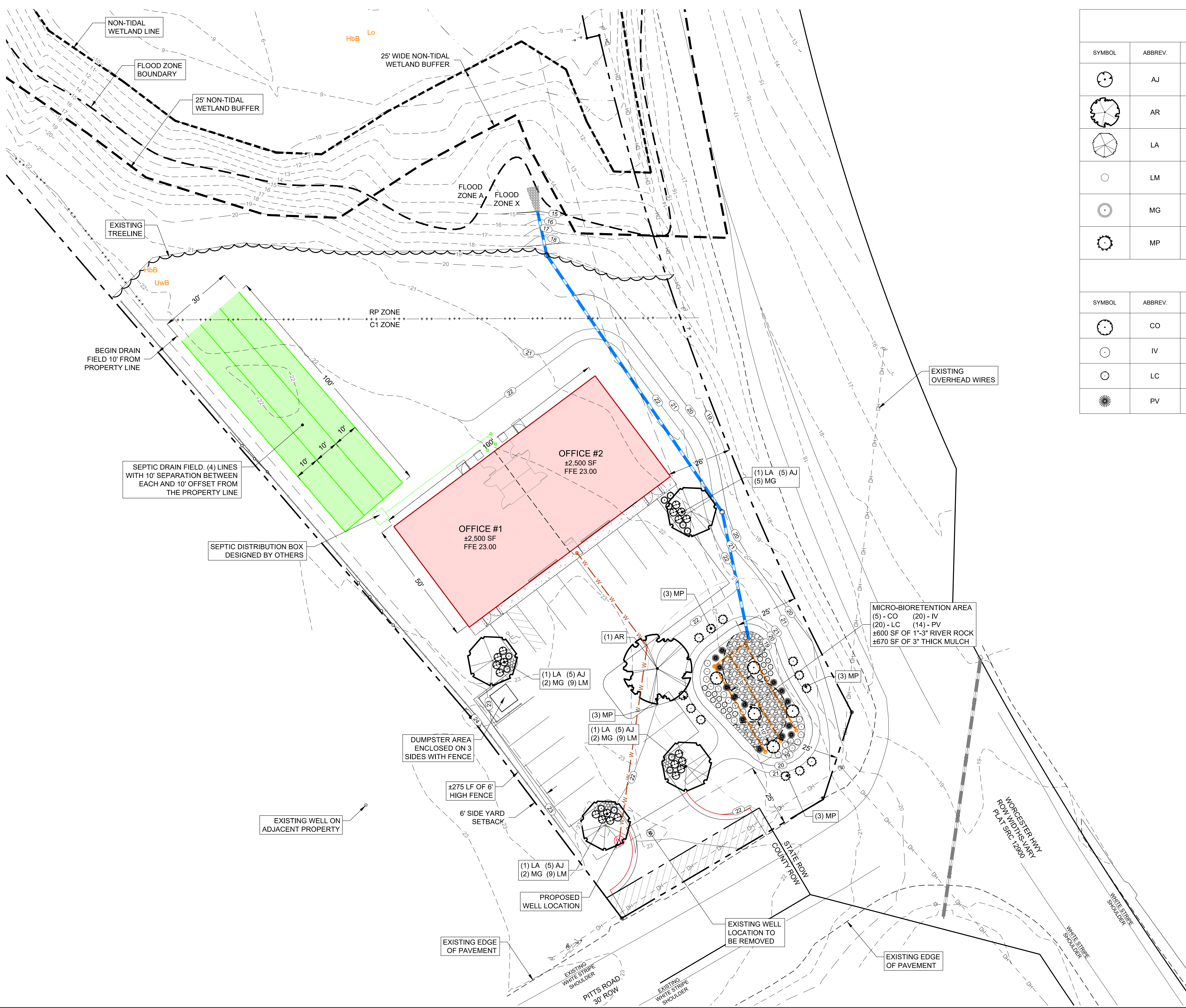
**SEDIMENT & EROSION**  
DETAILS & NOTES

| PROJECT DATA               |                 |
|----------------------------|-----------------|
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| SHOWNELL                   |                 |
| WORCESTER COUNTY, MARYLAND |                 |
| Drawn By: RJZ              | Checked By: SDE |
| Date: 12/21/20             |                 |
| Scale:                     | NTS             |



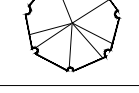
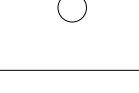


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|             | 20-087        |
| File Name:  |               |
|             | ES I11220.dwg |
| Sheet No.:  |               |
|             | C 501         |

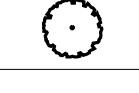
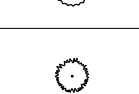






### PLANT LIST MICRO-BIORETENTION AREA

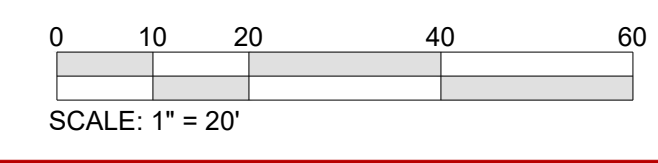
| SYMBOL                                                                              | ABBREV. | QUANTITY | BOTANICAL NAME                           | COMMON NAME             | MINIMUM SIZE REQUIRED | MATURE SIZE              | SPACING  |
|-------------------------------------------------------------------------------------|---------|----------|------------------------------------------|-------------------------|-----------------------|--------------------------|----------|
|  | AJ      | 20       | AZALEA JAPONICA 'JOHANNA'                | JOHANNA AZALEA          | 18" MIN.              | H: 3'-4"<br>S: 3'-4"     | 3' O.C.  |
|  | AR      | 1        | ACER RUBRUM 'OCTOBER GLORY'              | OCTOBER GLORY RED MAPLE | 3" CALIPER            | H: 40'-70"<br>S: 30'-50" | AS SHOWN |
|  | LA      | 4        | LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' | NATCHEZ CRAPE MYRTLE    | 2 1/2" CALIPER        | H: 20'<br>S: 20'         | AS SHOWN |
|  | LM      | 27       | LIRIOPE MUSCARI 'BIG BLUE'               | BIG BLUE LILYTURF       | 1 QUART CONT.         | H: 12"-15"<br>S: 12"-15" | 12" O.C. |
|  | MG      | 11       | MISCANTHUS SINENSIS 'GRACILLIMUS'        | MAIDEN GRASS            | 18" MIN.              | H: 4'-7"<br>S: 3'-6"     | 3' O.C.  |
|  | MP      | 12       | MISCANTHUS SINENSIS 'STRICTUS'           | PORCUPINE GRASS         | 18" MIN.              | H: 4'-6"<br>S: 4'-6"     | 6' O.C.  |

### PLANT LIST MICRO-BIORETENTION AREA

| SYMBOL                                                                              | ABBREV. | QUANTITY | BOTANICAL NAME            | COMMON NAME     | MINIMUM SIZE REQUIRED | MATURE SIZE            | SPACING |
|-------------------------------------------------------------------------------------|---------|----------|---------------------------|-----------------|-----------------------|------------------------|---------|
|  | CO      | 5        | CEPHALANTHUS OCCIDENTALIS | BUTTONBUSH      | 18" MIN.              | H: 5'-8"<br>S: 4'-8"   | 5' O.C. |
|  | IV      | 20       | IRIS VERSICOLOR           | BLUE FLAG IRIS  | 1 QUART CONT.         | H: 2'-2.5"<br>S: 2'-3" | 4' O.C. |
|  | LC      | 20       | LOBELIA CARDINALIS        | CARDINAL FLOWER | 1 QUART CONT.         | H: 2'-4"<br>S: 1'-2"   | 3' O.C. |
|  | PV      | 14       | PANICUM VIRGATUM          | SWITCHGRASS     | 18" MIN.              | H: 3'-6"<br>S: 2'-3"   | 5' O.C. |

### LEGEND

|                                |          |
|--------------------------------|----------|
| Property Line                  | ---      |
| Adjacent Property Line         | ----     |
| Zoning Boundary                | +++      |
| Building Setback Line          | ---      |
| Existing Right of Way Line     | ---      |
| Existing Structures            | ---      |
| Existing Edge of Pavement      | ---      |
| Existing Paint Stripes         | ---      |
| Existing 1x Contour            | ---19--- |
| Existing 5x Contour            | ---20--- |
| Non-Tidal Wetlands             | ---      |
| 25' Non-Tidal Wetland Buffer   | ---      |
| Existing Treeline              | ---      |
| Existing Overhead Wires        | ---      |
| Flood Zone Boundary            | ---      |
| Soils Boundary                 | ---      |
| Existing Well Location         | (W)      |
| Existing Storm Drain           | ---      |
| Proposed Building              | ---      |
| Proposed Edge of Pavement      | ---      |
| Proposed Entrance Curb         | ---      |
| Proposed Sidewalks             | ---      |
| Proposed Internal Asphalt      | ---      |
| Proposed Entrance Asphalt      | ---      |
| Proposed Septic Area           | ---      |
| Proposed ROW Dedication        | ---      |
| River Rock in SWM Facility     | ---      |
| Proposed Well Location         | (W)      |
| Proposed 1x Contour            | ---19--- |
| Proposed 5x Contour            | ---20--- |
| Proposed Sanitary Lateral & CO | ---      |
| Proposed Water & CO            | ---      |
| Proposed Storm Drain           | ---      |
| Proposed Under Drain           | ---      |



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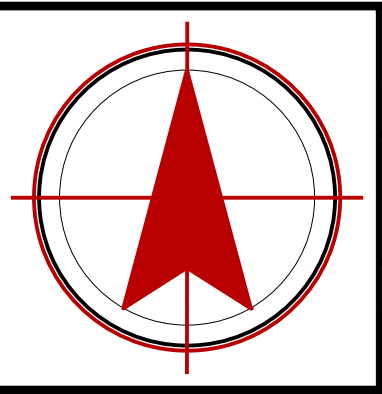
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LANDSCAPE PLAN

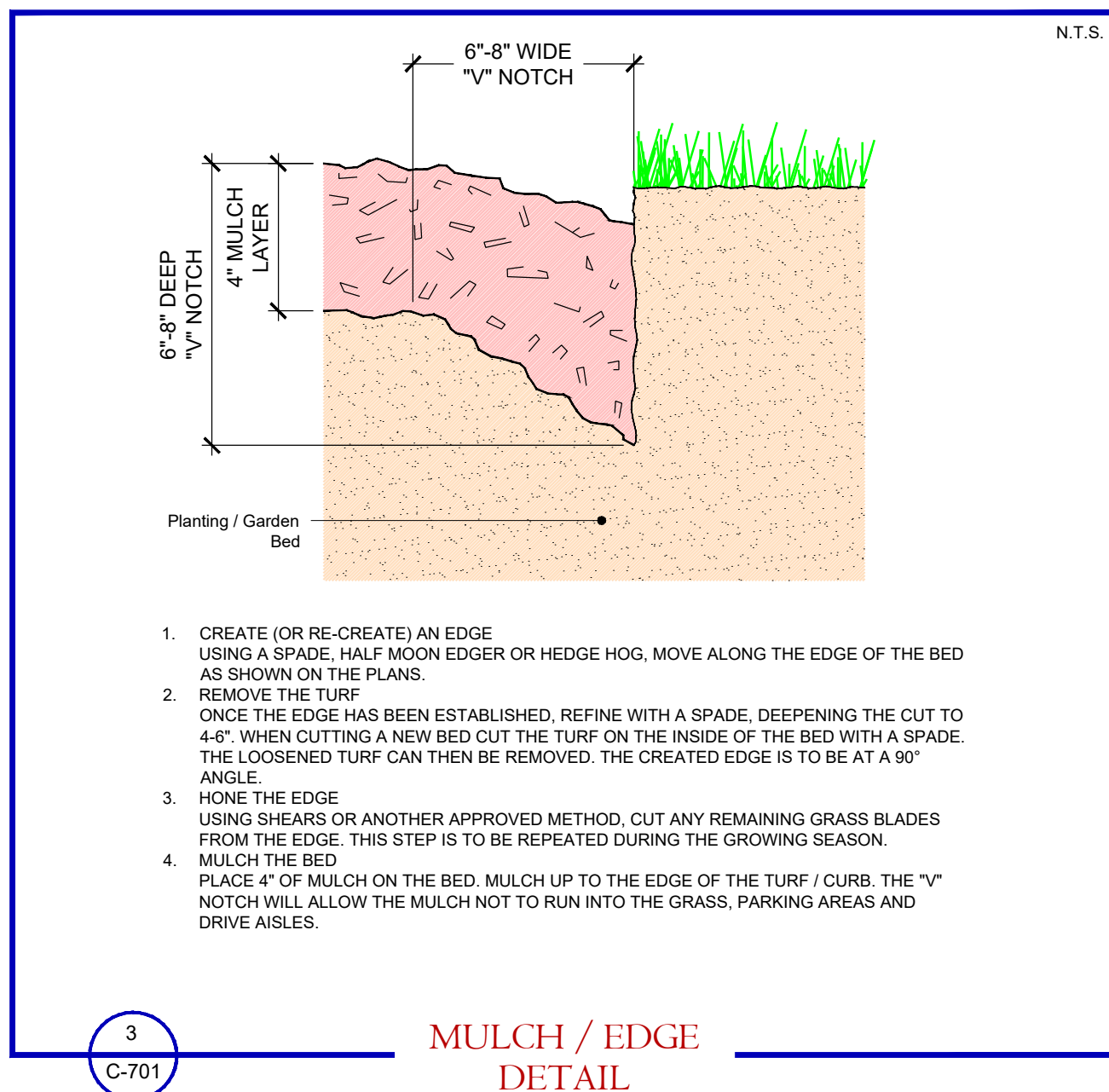
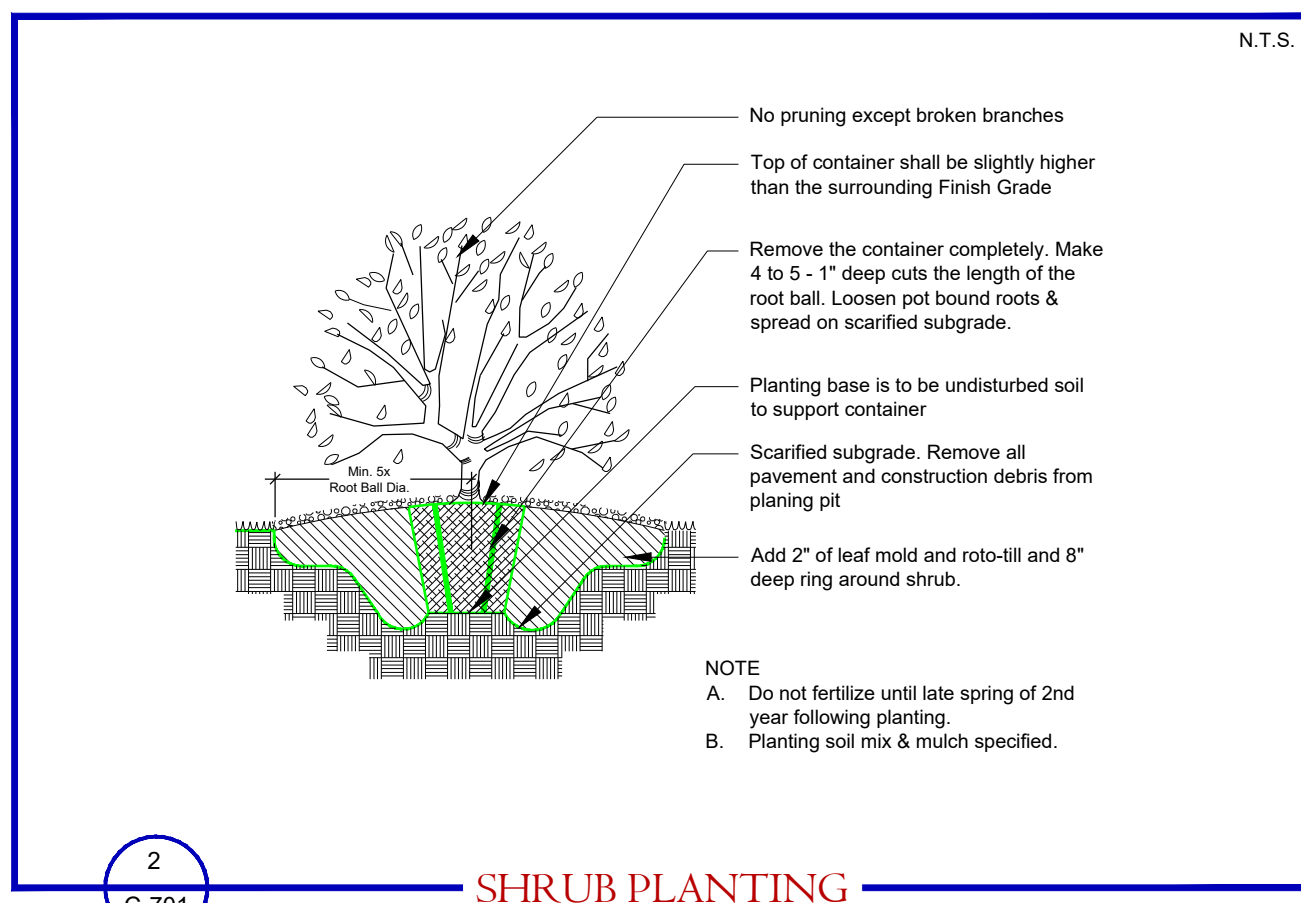
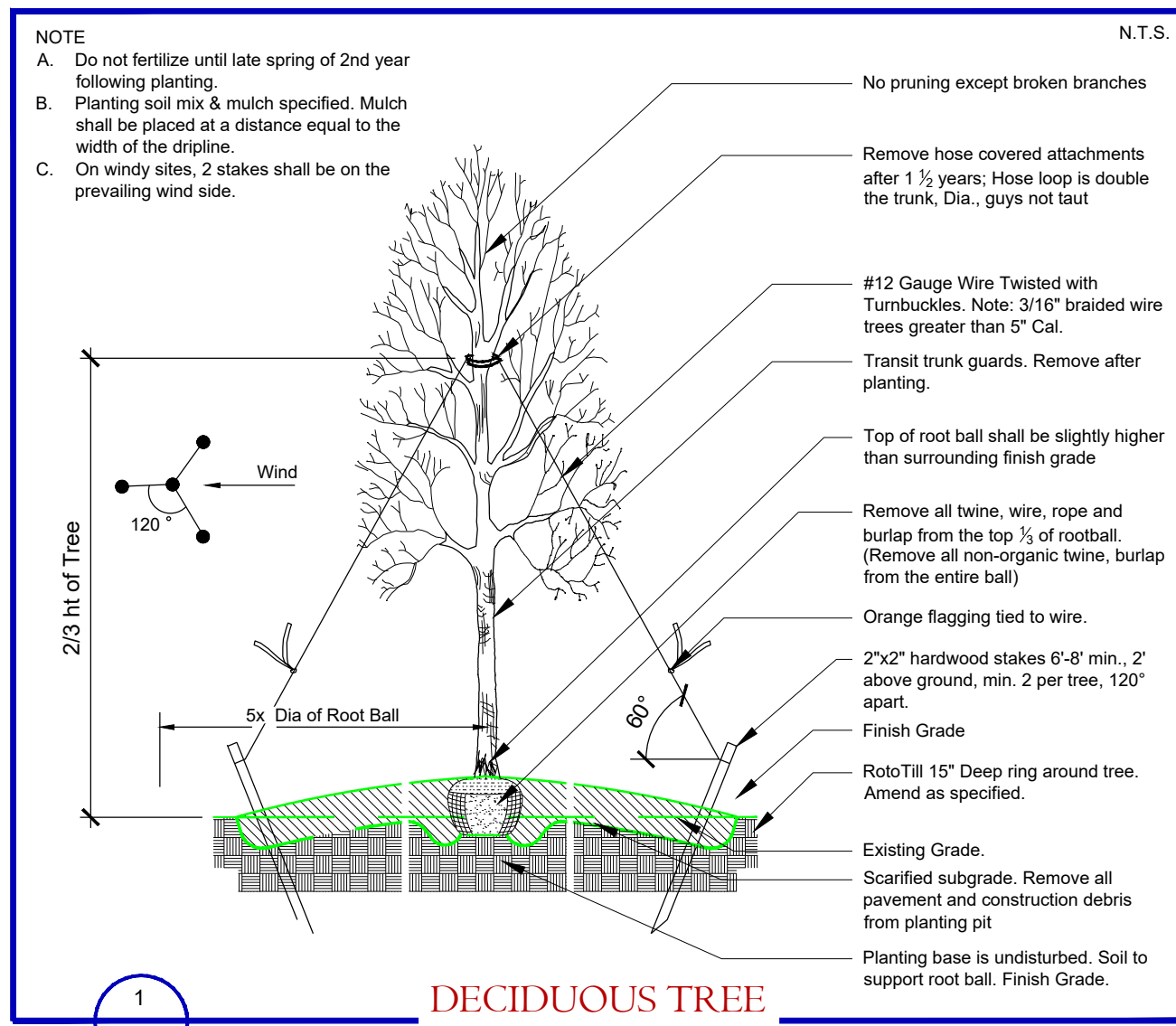
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|----------------------------|-----------------|
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| WORCESTER COUNTY, MARYLAND |                 |
| Drawn By: RZ               | Checked By: SDE |
| Date: 12/21/20             |                 |
| Scale:                     | <b>1" = 20'</b> |

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## PLANTING SPECIFICATIONS

### REFERENCES AND QUALITY CONTROL

- A. All planting material shall conform to the latest edition of the American Standard for Nursery Stock as published by the American Association of Nurserymen. All trees shall be balled and burlapped, nursery-grown, not "collected stock".
- B. All plants shall be nursery grown within a U.S.D.A. plant hardiness zone which is the same as, or colder than, the zone in which the project is located.
- C. Do not make substitutions: If specified material is unavailable, landscape architect requires proof of non-availability and specifications for proposed equivalent materials. Landscape architect will make final selection of substitutions.
- D. Size: Provide trees and shrubs of sizes shown or specified. Trees and shrubs of larger size may be used if acceptable to the landscape architect.
- E. Inspection: Landscape architect reserves the right to inspect trees and shrubs before planting, either at place of growth or at site, compliance with requirements of name, variety, size and quality. Landscape architect has right to reject any plant material for any reason, including, but not limited to those listed above. All rejected plant material shall be immediately removed from the site.
- F. All planting to be completed by November 15th; or as directed by the landscape architect.

### PRODUCTS

- Mulch:**  
 Material shall be well aged, finely shredded hardwood bark, dark brown in color, or approved equal. Material shall be mulching grade, uniform in size and free of foreign matter and weed seeds.
- Leaf Mold:**  
 Composted for one year. Composed of leaves from mixed hardwoods.
- Sewerage Sludge:**  
 Composted wood mulch containing organic matter. Obtained from Sewer Treatment Plant.
- Soil Mix:**  
 A thorough mixture of 1 part Leaf Mold to 3 parts topsoil & mycorrhizal fungi at specified rate by manufacturer.
- Anti-desiccant:**  
 "Wetrol" NCF as manufactured by Nursery Specialty Products of New York or approved equal.
- Pre-emergence Weed Killer:**  
 Shall be Trifluralin or approved equivalent.
- Transit Trunk Guard:**  
 waxed corrugated cardboard or approved equal.
- Guying Materials:**  
 Double reinforced rubber hose and 10 gauge metal wire.
- Mycorrhizal Fungi:**  
 Broadcast type product, use as an inoculant for trees, shrubs, ground covers, perennials, and turf.  
**MYCORRTREE**  
 Plant Health Care Inc.  
 440 William Pitt Way  
 Pittsburgh, PA 15233  
 1-800-421-9051  
 Or equivalent.

### FERTILIZER

- For new plant material provide packet, tablet or pellet forms of slow release fertilizers conforming to Fed. Spec. O-F-241, bearing the manufacturer's guaranteed statement of analysis. Slow release fertilizers shall contain a minimum percentage by weight of five nitrogen (of which 50% will be organic), 10 available phosphoric acid and five potash.
- For bed preparation and existing trees, provide granular fertilizer conforming to Fed. Spec. O-F-241, Type 1, Class 2 which shall bear the manufacturer's guaranteed statement of analysis. Granular fertilizer shall contain a minimum percentage by weight of 10 nitrogen (of which 50% shall be organic), six available phosphoric acid and four potash.

### SOIL EXCAVATIONS

- A. The excavation must not be less than 12 inches wider or deeper than necessary to accommodate the ball of the plant.
- B. When conditions detrimental to plant growth are encountered; such as rubble fill or adverse drainage conditions, notify landscape architect before proceeding with planting operations.
- C. Upon completion of planting of trees, cultivate a ring five times the diameter of the ball or 48", which ever is greater, 15" deep around tree; or as directed by landscape architect. Restore disturbed areas.

### PREPARATION OF PLANTING AREAS

- A. All planting areas shall be brought to proposed grade using topsoil mix as specified.
- B. The planting bed shall be loosened prior to planting by one of the following methods: roto-tilling or with pick and shovel. Soil shall be loosened to a depth of 8" to 10".
- C. Organic matter shall be spread over the bed to a depth of 2" for leaf mold and other organics, or 1" deep for sludge, (2 cubic yards of composed sludge/1000 square feet), after the soil has been loosened. The organic matter shall then be worked into the bed with a roto-tiller or other approved method.
- D. Fertilizer shall be incorporated into the top 4-6" of bed at manufacturer's specified rate.
- E. The entire bed shall be mulched to minimum depth of 4" with mulch as specified.
- F. Soil shall be tested for Ph and amended as required to maintain an optimum Ph of 6.5 to 7.0 or as directed.

### PLANTING PROCEDURES FOR TREES AND SHRUBS

- A. Trees and shrubs shall bear same relationship to grade as they did in the nursery row.
- B. Before placing shrubs in pits, place a 6" layer of soil mix material into bottom of pit and tamp.
- C. All trees shall be placed directly on the scarified subgrade.
- D. The plant pit shall be filled with soil mix material as specified and placed in 6" layers around the ball. Each layer shall be carefully tamped in place in a manner to avoid injury to the roots or ball, or disturbing the position of the plant. When approximately two-thirds (2/3) of the plant has been back-filled, the pit shall be filled with water and the soil allowed to settle around the roots. B&B plants shall have all the twine, wire and burlap cut away or folded back from the top 1/3 of the ball and trunks before applying water. After the water has been absorbed, the plant hole shall be filled with soil mix and tamped lightly to grade.
- E. All containerized stock shall be removed from containers and the root mass should either be physically loosened or sliced to prevent strangulation.
- F. Failure to comply with planting procedures outlined above is basis for rejection of plant material by landscape architect.
- G. Transit trunk guard shall be removed only after inspection at site by landscape architect.

### PRUNING

- A. Trees and shrubs shall be pruned to remove broken branches only and/ or to preserve their natural character and shape. Pruning shall be restricted in general to the secondary branches and soft, sucker growth. Never cut a leader. Honor branch collar, do not leave stubs & do not use wound dressing paint.
- B. ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES WILL BE REJECTED BY THE LANDSCAPE ARCHITECTS.

### MULCHING

- A. All planting beds shown on the plans shall be mulched with 4" of mulch over entire area.
- B. Before mulch is installed, apply pre-emergence weed killer and incorporate into soil according to manufacturer's directions.
- C. All surfaces to receive mulch shall be raked smooth and be free of all rocks, debris and large bark pieces. Mulch shall not be mounded up around base of tree.
- D. Mulch shall be replenished within one year to eighteen months of initial installation.

### STAKING AND GUYING

- A. All trees to be staked and guyed within 48 hours of planting.
- B. Methods and materials for staking and guying are illustrated in individual planting details.
- C. Neatly flag all guy wires with rot resistant yellow tree marking ribbon.
- D. Staking may not be required dependent on plant location as directed by landscape architect.
- E. Grace plants upright in position by guy wires and rubber hose protection and stakes.

| Tree Caliper  | Tree Support Method         |
|---------------|-----------------------------|
| 1 - 3 inches  | 2 guy wires (2 strand wire) |
| 3 - 6 inches  | 3 guy wires (2 strand wire) |
| over 6 inches | 4 guy wires (4 strand wire) |

### PLANTING PROCEDURE FOR GROUNDCOVERS, PERENNIALS AND ANNUALS

- A. All planting holes shall be excavated through the mulch with hand trowel or shovel.
- B. Before planting, biodegradable pots and non-biodegradable pots shall be removed.
- C. The perennials shall be planted as follows:  
 1. Roots of the plant shall be surrounded by soil below the mulch. The plants shall be set so that the top of the root system is even with existing soil grade.  
 2. At an equal distance apart (plans and specifications specify the distance on center, (O.C.) for the perennials.
- D. The entire bed shall be edged per detail.
- E. Treat the mulched and planted perennial bed with soil applied, pre-emergent herbicide appropriate for use with the plant material specified.
- F. The entire perennial bed shall be thoroughly watered to a depth of 6-8".

### REMOVAL AND CLEANUP

- A. Removal of debris is required. The property must be left in a neat and orderly condition in accordance with good and accepted planting practices.
- B. Protect all Finished surfaces during planting operations.
- C. Repair and restore all damaged or disturbed surfaces related to planting procedures.

### SUBSTANTIAL COMPLETION

The point when plant materials have been installed and the Landscape Architect completes a punch list.

### FINAL ACCEPTANCE

After all items on the punch list have been completed to the Landscape Architect's satisfaction.

### GUARANTEE & GUARANTEE PERIOD

- A. Guarantee Period commences after final acceptance.
- B. Plant materials shall be guaranteed for two growing seasons from date of acceptance by the owner or his representative. The trees are to be alive and in satisfactory growing condition as determined by the owner or his representative during final inspection at the end of the guarantee period.
- C. Replacement will be made according to these same specifications and during the normal planting period. Replacements shall be subject to the same guarantees and replacement as the original material. The replacements shall be made within 60 days following written notification from the owner or his representative.
- D. In the event of questions regarding the condition and satisfactory establishment of a rejected plant, the contractor may, if approved by the owner, allow such a plant to remain through another growing season at which time the rejected plant, if found to be dead or in an unhealthy or badly impaired condition, shall be replaced.
- E. The contractor is not responsible for theft or damage to plants by non-contractor vehicles or vandalism once plants are installed and approved.
- F. Remove all guys and stakes from trees after one year.

## LAWN AND GRASS PLANTING SPECIFICATIONS

### WORK INCLUDED

- A. Preparation of subgrade to receive topsoil.
- B. Spreading topsoil, raking and leveling
- C. Sod Placement
- D. Maintaining seeded and sodded areas until acceptance

### REFERENCES

- A. FS-O-F-241 - Fertilizers, Mixed, commercial
- B. ASPA (American Sod Producers Association) - Guideline Specifications to Sodding

### QUALITY ASSURANCE

- A. Testing of topsoil when required, will be performed by an independent testing laboratory appointed and paid for by the owner. Testing will be performed to ascertain N, P, K, Mg, soluble salt contents, organic matter content and pH value.
- B. Submit minimum 10 oz sample of topsoil proposed to be used. Forward sample to appointed testing laboratory in sealed containers to prevent contamination.

### DELIVERY, STORAGE AND HANDLING

- A. Deliver fertilizer in waterproof bags showing weight, chemical analysis and name of manufacturer.

### EXISTING CONDITIONS

- A. Beginning work means acceptance of existing conditions.

### GROWING MEDIA

- A. Imported Topsoil: natural, fertile, agricultural soil typical of locality, capable of sustaining vigorous plant growth, from well drained site, free of flooding, not in frozen or muddy condition, not less than 6% organic matter and pH value of 5.9 to 7.0. Soil shall be free from subsoil, slag, clay, stones, lumps, live plants, roots, sticks, crabgrass, couch grass, noxious weeds and foreign matter.
- B. Existing Topsoil: Natural, fertile agricultural soil capable of sustaining vigorous plant growth, not frozen or muddy condition, containing not less than 6% organic matter, and corrected to pH value of 5.9 to 7.0. Free from subsoil, slag, clay, stones, lumps, live plants, roots, sticks, crabgrass, couch grass, noxious weeds and foreign matter.
- C. Sand: Hart, granular natural beach sand, washed, free of impurities, chemical or organic matter.
- D. Limestone: Dolomitic limestone with minimum 85% carbonates and 50% calcium oxides. Bags shall show weights and analysis.
- E. Fertilizer: Commercial type conforming to FS O-F-241, Type 1, Grade A recommended for grass, with 50% of the elements derived from organic sources; of proportion necessary to eliminate deficiencies of topsoil as indicated in analysis to the following proportions: nitrogen 10%, phosphoric acid 6%, soluble potash 4%.

### SOD

- A. Certified field cultivated grass sod; of type indicated on Plant List or on Drawings; with strong fibrous root system; free from stones and burned or bare spots.

### ACCESSORIES

- A. Mulching Material: Oat or wheat straw, reasonably free from weeds, foreign matter detrimental to plant life, and in dry condition. Hay or chopped cornstalks is not acceptable.
- B. Mulching Material / Tack Coat: Wood or wood cellulose fiber, free of growth or germination inhibiting ingredients.
- C. Weed Killer: "Weed 5 Green" or equal.
- D. Establishment Blanket: Uniform, open weave jute matting.
- E. Wooden Pegs: Of sufficient size and length to ensure satisfactory anchorage of sod on slope in excess of 2:1.
- F. Water: Clean, fresh and free of substances or matter which would inhibit vigorous growth of grass.

### PREPARATION

- A. Protect existing underground improvements from damage.
- B. Remove foreign materials, plants, roots, stones and debris from site. **DO NOT BURY FOREIGN MATERIAL.**
- C. Remove contaminated subsoil in adherence to State and Federal Regulations.
- D. Cultivate area to receive subsoil to depth of 3 inches. Repeat cultivation in areas where equipment has compacted subgrade.

### SPREADING TOPSOIL

- A. Spread topsoil to minimum depth of 6 inches over area to be sodded or seeded. Place during dry weather, and on dry, unfrozen subgrade.
- B. Cultivate topsoil to a minimum depth of 6 inches with mechanical tiller. Cultivate inaccessible areas by hand.
- C. Remove from site ANY FOREIGN MATERIALS collected during cultivation in adherence to State and Federal Regulations.
- D. Amend soil with Limestone, Fertilizer, or Sand according to results of soil testing.
- E. Grade to eliminate rough spots and low areas where ponding may occur. Maintain smooth, uniform grade.
- F. Assure positive drainage away from buildings.
- G. Finish grade after placement of topsoil shall be even and sufficiently firm to prevent irregular setting when irrigations is applied.

### CUTTING SOD

- A. Cut sod using an approved method, in accordance with local governing American Sod Producers Association. Cut sod in pieces not exceeding 1 square yard, with minimum 12" width and maximum 1 inch thick soil portion.

### APPLY FERTILIZER AND LIMESTONE IN QUANTITIES REQUIRED BY SOIL ANALYSIS

- A. Apply ground limestone at rate of 50 lbs. per 1,000 sq. ft. unless soil tests or Landscape Architect indicates otherwise.
- B. Apply after fine grading and mix thoroughly into upper 4 inches of topsoil.

### LAYING SOD

- A. Lay sod as soon as possible after delivery to prevent deterioration.
- B. Lay sod closely knit together with no open joints visible and pieces not overlapped. Lay smooth and flush with adjoining grass areas paving and top surfaces of curbs.
- C. On slopes, stape outside edges at 36 inch intervals.
- D. Lightly dress slopes with topsoil to ensure close contact between sod and soil.
- E. Immediately after sodding, the area shall be rolled with a roller not to exceed 120 lbs. to remove minor irregularities.

**NOTE:**  
 This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remains the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assignees without the written permission of VDI will be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

**NOTE:**  
 This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.

**PROGRESS PRINT / NOT FOR CONSTRUCTION**

**VISTA DESIGN, INC.**  
 Engineers • Architects • Surveyors • Landscape Architects  
 Land Planning Consultants • GIS Services  
 11634 Worcester Hwy, Shovel, MD 21862  
 Ph. 410-352-3874 • Fax 410-352-3875 • www.vistadesigninc.com

**ERIC FIORI OFFICES**  
 LANDS OF  
**EJF REAL ESTATE, LLC**

**LANDSCAPE PLAN**  
 DETAILS & NOTES

| PROJECT DATA               |                 |
|----------------------------|-----------------|
| Tax Map: 0015              | Parcel: 0177    |
| SHORELL                    |                 |
| WORCESTER COUNTY, MARYLAND |                 |
| Drawn By: RJ               | Checked By: SDE |
| Date: 12/21/20             |                 |
| Scale:                     | <b>NTS</b>      |

| REVISIONS |  |
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|-------------|----------------------|
| Project No: | <b>20-087</b>        |
| File Name:  | <b>LS 120420.dwg</b> |
| Sheet No:   | <b>C 701</b>         |



**Worcester County**  
**DEPARTMENT OF PUBLIC WORKS**  
6113 TIMMONS ROAD  
SNOW HILL, MARYLAND 21863

**JOHN H. TUSTIN, P.E.**  
DIRECTOR

**JOHN S. ROSS, P.E.**  
DEPUTY DIRECTOR

TEL: 410-632-5623  
FAX: 410-632-1753

**MEMORANDUM**

**TO:** Kristen Tremblay, Zoning Administrator  
**FROM:** Frank J. Adkins, Roads Superintendent (FA)  
**DATE:** January 27, 2021  
**SUBJECT:** TRC Meeting – February 10, 2021

**DIVISIONS**

**MAINTENANCE**  
TEL: 410-632-3766  
FAX: 410-632-1753

**ROADS**  
TEL: 410-632-2244  
FAX: 410-632-0020

**SOLID WASTE**  
TEL: 410-632-3177  
FAX: 410-632-3000

**FLEET  
MANAGEMENT**  
TEL: 410-632-5675  
FAX: 410-632-1753

**WATER AND  
WASTEWATER**  
TEL: 410-641-5251  
FAX: 410-641-5185

.....  
**Section 1-325 Site Plan Review**

**A. EJF Real Estate – Office Building**

1. Will require commercial entrance permit and posting of a \$5,000.00 bond prior to permit signature.

**B. Bishopville Materials, LLC – Storage Area**

1. This projects borders State Highway and does not require a County commercial entrance permit.

**C. Main Street Storage – Self Storage**

1. No comments at this time.

**D. B & C Business Park – Contractor Shops**

1. No comments at this time.

cc: John H. Tustin, P.E.

FJA:ll\wfile2\users\llawrence\TRC\2021\2.10.21

**WORCESTER COUNTY  
DEPARTMENT OF PUBLIC WORKS  
WATER & WASTEWATER DIVISION  
INTEROFFICE MEMORANDUM**

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**TO:** Kristen M. Tremblay, Zoning Administrator  
Development Review and Permitting

**FROM:** John S. Ross, P.E., Deputy Director of Public Works

**DATE:** February 1, 2021

**SUBJECT:** TRC Meeting – February 10, 2021



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**Site Plan Review**

**A. EJF Real Estate - Office Building**

Construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer

1. No Comment Well and Septic

**B. Bishopville Materials, LLC - Storage Areas**

Construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 58,197 sf total, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC, Engineer

1. No Comment Well and Septic

**C. Main Street Storage - Self-Storage**

Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

**D. B & C Business Park – Contractor Shops**

Construction of one (1) 9600 sf contractor shop building with 300 sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

cc: John H. Tustin, P.E. Director



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1003

SNOW HILL, MARYLAND 21863-1194

TEL: 410-632-5666

FAX: 410-632-5664

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## TECHNICAL REVIEW COMMITTEE COMMENTS

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PROJECT: **EJF Offices**  
LOCATION: **Tax Map 15; Parcel 177**  
CONTACT: **Eric Fiori**  
MEETING DATE: **February 10, 2021**

TRC #: **2021028**

COMMENTS BY: **Matthew Owens**  
**Chief Deputy Fire Marshal**

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As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

### Scope of Project

The proposed construction of one 5000 square foot building consisting of two office spaces..

### General Comments

1. A water supply for fire protection shall be identified indicating the following:
  - a. Water Source
  - b. Engineering study for reliability of water source
  - c. Size (in gallons) of water source
  - d. Replenishment of water supply
  - e. Diameter of in ground pipe
  - f. Number of hydrants
  - g. Location of hydrants
  - h. Roadway width and surface types
  - i. Distance from hydrant to roadway
2. If public water source, approved plans by the public works department.
3. Water source plans must be approved prior to recording of plat.

4. Fire hydrants shall be located within 3 ft. of curb line. Placement of fire hydrants shall be coordinated with this office prior to installation.
5. Obstructions shall not be placed or kept near fire hydrants, fire department inlet connections, or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately visible and accessible.
6. All underground water mains and hydrants **shall be installed, completed, and in service** prior to construction work or as soon as combustible material accumulates, which ever comes first. A stop work order will be issued if fire hydrants are not in service prior to construction work start.
7. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
8. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

### Specific Comments

1. Provide the appropriate code compliant fire rated separation between the units.
2. Complete set of building plans shall be submitted and approved prior to start of construction.
3. No further comments at this time.



**Worcester County**  
Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Worcester County Technical Review Committee

**From:** Joy S. Birch, Natural Resources Specialist III 

**Subject:** February 10, 2021 - Technical Review Committee Meeting

**Date:** January 26, 2021

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- **EJF Real Estate** – Proposed construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**

**Citizens and Government Working Together**

January 28, 2021

Ms. Kristen Tremblay, Zoning Administrator  
Department of Developing, Review, and Planning  
Worcester County Government Center  
One West Market Street, Room 1201  
Snow Hill MD 21863

Dear Ms. Tremblay:

Thank you for the opportunity to review the minor site plan for the EJV – Offices development project, located approximately 150 feet northwest of the intersection of Pitts Road and MD 575B, in Worcester County. The Maryland Department of Transportation State Highway Administration (MDOT SHA) has reviewed the plans, and we are pleased to respond.

The site plan proposes the construction of a 5,000 square foot real estate office, with two office spaces. The development is outside of the jurisdiction of MDOT SHA, and we do not anticipate the construction will negatively impact the surrounding State roadway network. Therefore, the MDOT SHA has no objection to the construction as proposed.

If you have any questions, or require anything additional, please contact Mr. Daniel Wilson, District 1 Access Management Regional Engineer, at 410-677-4048, by using our toll free number (in Maryland only) at 1-800-825-4742 (x4048), or via email at [dwilson12@mdot.maryland.gov](mailto:dwilson12@mdot.maryland.gov). Mr. Wilson will be happy to assist you.

Sincerely,



James W. Meredith  
District Engineer

cc: Mr. Dallas Baker, D-1 Assistant District Engineer-Project Development, MDOT SHA  
Mr. Jeff Fritts, D-1 Access Management Inspector, MDOT SHA  
Mr. Rodney Hubble, Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA  
Mr. Tony Turner, Assist. Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA  
Mr. Daniel Wilson, D-1 Access Management Regional Engineer, MDOT SHA






**Worcester County**  
Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Technical Review Committee

**From:** David Mathers, Natural Resources Planner 

**Subject:** Forest Conservation & Stormwater Management Review

**Date:** January 29, 2021

**Date of Meeting:** February 10, 2021

**Project:** EJF Real Estate – Office Building

**Location:** 10135 Worcester Hwy; Tax Map: 15; Parcel: 177

**Owner/Developer:** EJF Real Estate, LLC

**Engineer:** Vista Design, Inc.

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**This project is subject to the Worcester County Forest Conservation Law.** A Forest Conservation Application and fee have been submitted. A Forest Stand Delineation has been submitted and approved. A Forest Conservation Plan has also been submitted. The Forest Conservation Plan and associated documents must be approved and recorded prior to the issuance of any permits.

The property has a net tract area of 3.78 acres of which there is 2.68 acres of existing forest cover. With an afforestation threshold of 15 percent and conservation threshold of 15 percent, the Break Even Point (minimum forest retention required) is 0.97 acres. According to the plan submitted, compliance will be met through on-site long term protection of 0.97 acres of forest.

**This project is subject to the Worcester County Stormwater Ordinance.** The project has obtained Stormwater concept plan and stormwater site development plan approval. This project will need stormwater final plan approval prior to issuance of a Stormwater Management and Sediment Control Permit.

**Citizens and Government Working Together**



DEPARTMENT OF  
ENVIRONMENTAL PROGRAMS


## Worcester County

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1306  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS  
STORMWATER MANAGEMENT  
SEDIMENT AND EROSION CONTROL  
SHORELINE CONSTRUCTION  
AGRICULTURAL PRESERVATION  
ADVISORY BOARD

WELL & SEPTIC  
WATER & SEWER PLANNING  
PLUMBING & GAS  
CRITICAL AREAS  
FOREST CONSERVATION  
COMMUNITY HYGIENE

### MEMORANDUM

DATE: March 11, 2020  
TO: Applicant  
FROM: Jenelle Gerthoffer, Natural Resources Administrator   
SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

.....

Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Jenelle Gerthoffer, at (410) 632-1220, ext. 1147.



**Worcester County**  
Department of Environmental Programs  
Environmental Programs Division

## Memorandum

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**To:** Technical Review Committee (TRC) for February 10, 2021 Meeting

**From:** Environmental Programs Staff

**Subject:** **Minor Site Plan: EJF Real Estate – TM 15 P 177**

**Date:** February 1, 2021

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Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs requires a \$100 fee for any Technical Review Committee projects submitted on private well & septic. This fee will need to be submitted prior to Signature Approval being given on this project.
2. Please provide a flow chart for this proposal. The calculation for this use is 0.09 gpd per square foot. The calculation would be  $0.09 \times 5,000$  square feet = 450 gallons per day.
3. The septic design for this property is 64 feet per 150 gallons, which would be 192 feet of drainfield. This property is only allowed 450 gallons per day. There is currently 400 feet of drainfield being shown, so this will need to be revised showing what is allowed by Environmental Programs.
4. The existing septic tank must be crushed & filled. An abandonment report will need to be sent into our office.
5. There is no proposed septic tank shown. We will need that shown meeting the required setback from the building which is 5 feet.
6. Please label the existing well that is to be abandoned as “**WO-73-2175**”.
7. Commercial plumbing plans and permits are needed. A commercial plumbing plan review will need to be completed on the property. The fee associated with the commercial plumbing plans is \$225.

**Citizens and Government Working Together**

8. Plumbing Code is the 2018 International Plumbing Code (IPC).
9. The Gas Code is the International Fuel Gas Code, 2018 Edition.

**Citizens and Government Working Together**

**TECHNICAL REVIEW COMMITTEE**

STAFF PERSON: Kristen M. Tremblay DATE OF MEETING: February 10, 2021

PROJECT: **Bishopville Materials, LLC - Storage Areas (Minor Site Plan Review)**

Construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 58,197 sf total, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC, Engineer

APPLICANT(S) IN ATTENDANCE: \_\_\_\_\_

TRC MEMBERS IN ATTENDANCE:

- \_\_\_\_\_ Tremblay, Zoning Administrator
- \_\_\_\_\_ Zirkle, DRP Specialist II
- \_\_\_\_\_ Miller, Building Plans Reviewer III
- \_\_\_\_\_ Mitchell, Environmental Programs
- \_\_\_\_\_ Marsh, Environmental Programs
- \_\_\_\_\_ Bradford, Environmental Programs
- \_\_\_\_\_ Birch, Environmental Programs
- \_\_\_\_\_ Gerthoffer, Environmental Programs
- \_\_\_\_\_ Mathers, Environmental Programs
- \_\_\_\_\_ Owens, Fire Marshal
- \_\_\_\_\_ Adkins, County Roads
- \_\_\_\_\_ Berdan, County Roads
- \_\_\_\_\_ Wilson, State Highway Admin.
- \_\_\_\_\_ Conner, State Highway Admin.
- \_\_\_\_\_ Ross, W & WW, DPW
- \_\_\_\_\_ Clayville, Planning Commission Rep.

~~~~~  
Under the terms of ZS 325(f)(1), this application is considered to be a minor site plan since the square footage of all structural improvements does not exceed 10,000 square feet in area. All minor site plans are reviewed and approved by the Technical Review Committee. The Technical Review Committee shall have the authority to forward an application to the Planning Commission when it is determined the site plan shall have a broad impact on the County or where otherwise deemed appropriate.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

February 10, 2021

Project: Bishopville Materials – Gravel Storage Areas (Minor site plan review). Construction of two (2) gravel storage areas, 36,799 square feet and 21,398 square feet, for a total of 58,197 square feet, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, Owner; Lane Engineering, LLC, Engineer

Prepared by: Stuart White, DRP Specialist

Contact: swhite@co.worcester.md.us or (410) 632-1200, extension 1139

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete Building Permit Application along with the initial fee of \$300 made payable to “Worcester County.”
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Three (3) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections’ agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-210	I-1 Light Industrial District
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-323	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

Basic Site Plan Corrections Required:

1. Please correct the ‘Statement of Purpose & Intent’ on the cover sheet to read “to construct two (2) gravel storage areas.”
2. Please make sure revision date is updated accordingly.

Landscaping:

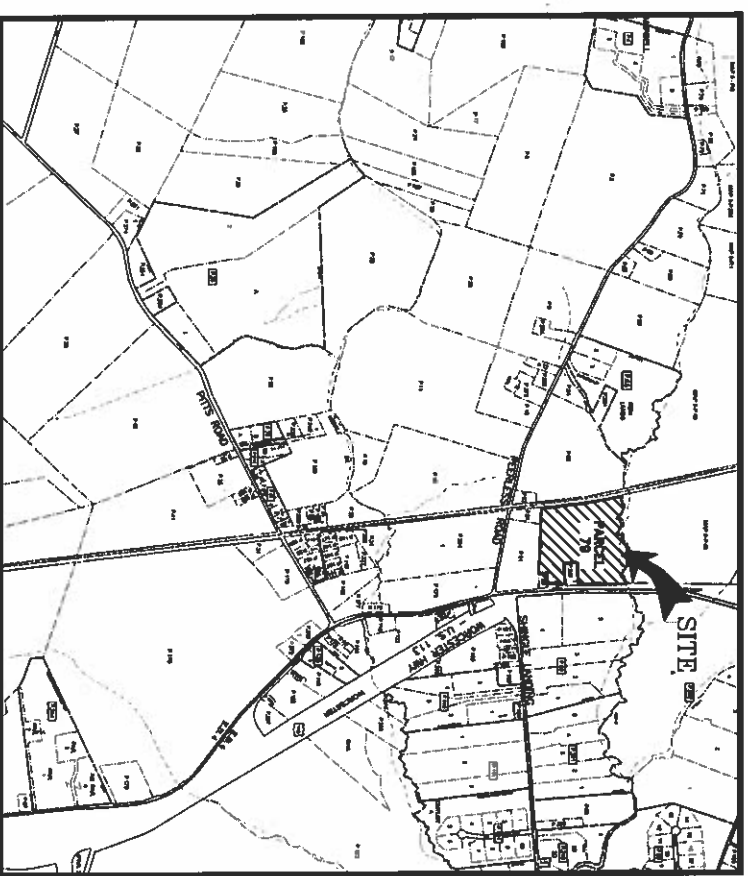
1. In conjunction with §ZS1-320(f)(9), landscape buffering will need to be provided along the north side of the driveway along parcel 247 as well as along the southeastern portion of property bordering the north and west property lines of parcel 80. Please reach out to staff for clarification on where the buffer should be installed if uncertain.
2. Please note the method of irrigation on the plan. See §ZS1-322(b)(7).
3. Add the calipers and/or heights of landscaping at time of planting.
4. In accordance with §ZS 1-322(g), a maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will be required to be provided at permit stage to accurately determine the bond amount.

Other Agency Approvals:

1. Information relative to the water and wastewater facilities are required to be provided on the plans per §ZS 1-325(e)(3)(O&P). Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs and the Department of Public Works prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.

3. Written confirmation of approval from the County Roads Division regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.
4. Approval from the Worcester County Health Department will be required at the permitting stage.

MINOR SITE PLAN FOR BISHOPVILLE MATERIALS, LLC IN THE FIFTH ELECTION DISTRICT WORCESTER COUNTY, MARYLAND

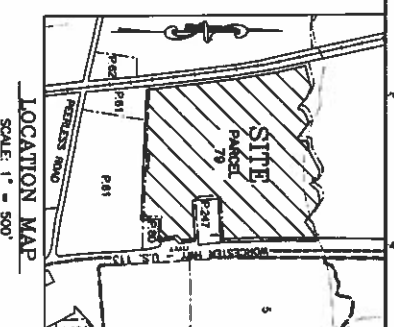


VICINITY MAP
SCALE IN FEET
100' 200' 300' 400' 500' 600' 700' 800' 900' 1000'

INDEX OF SHEETS
TITLE

SHEET No.	TITLE
G-101	PROJECT NOTES
G-102	LEGEND & ABBREVIATIONS
G-103	OVERALL CONTEXT SITE PLAN
C-101	STORAGE AREA 1 - SITE GRADING & SEDIMENT & EROSION CONTROL PLAN
C-102	STORAGE AREA 2 - SITE GRADING & SEDIMENT & EROSION CONTROL PLAN
C-102.1	SEDIMENT & EROSION CONTROL NOTES & DETAILS
C-301	

STATEMENT OF PURPOSE & INTENT
THE PURPOSE OF THESE PLANS IS TO OBTAIN SITE PLAN APPROVAL AND PROMOTE NECESSARY CONSTRUCTION IMPROVEMENT TO CONSTRUCT PHASE (2) BARREL STORAGE AREAS AND ASSOCIATED SITE IMPROVEMENTS.



LOCATION MAP
SCALE 1" = 500'

SEDIMENT AND EROSION CONTROL CERTIFICATION

I HEREBY CERTIFY THAT ALL THE DEVELOPER AND/OR CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN OF EROSION AND SEDIMENT CONTROL.

12-29-2020
DATE

1. ANY DESIGN, GRADING, CONSTRUCTION OR DEVELOPMENT, ON ALL OF THESE, WILL BE DONE IN ACCORDANCE WITH THIS PLAN, INCLUDING THE REQUIREMENTS OF THE CONSTRUCTION OR SUBCONTRACTOR TO NOTIFY THE DESIGNER OF ANY DEVIATIONS FROM THE PLAN. ANY DEVIATION WILL BE RESPONSIBLE FOR THE SAME CHANGE ON THE CONSTRUCTION OF THE SUBCONTRACTOR.

- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL PROVIDED BY THE STATE.
- THE OWNER OR DEVELOPER SHALL OBTAIN RIGHT OF ENTRY FOR PERSONAL ON-SITE EVALUATION BY THE APPOINTMENT DEVELOPMENT AUTHORITY AND/OR MDZ.
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPLICABLE SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- APPROVED PLANS SPECIFICALLY DESIGNED ON RECORD BY THE APPOINTMENT AUTHORITY.

NOTE OF INTENT (NOI) STATEMENT

THE FOLLOWING ITEMS HAVE BEEN ADDRESSED TO MEET THE REQUIREMENTS OF THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (GPMS NUMBER MD010, STATE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES (DENR)).

- UTILIZATION OF ENVIRONMENTAL SITE DESIGN
- MAINTENANCE OF LIMITS OF DISTURBANCE TO PROTECT NATURAL AREAS
- CONTROL OF CONSTRUCTION EQUIPMENT AND VEHICLES
- EVALUATION AND APPROPRIATE LIMITATION OF SITE CLEARING
- EVALUATION AND RESTORATION OF SITE AREA FOR PLACING OR SCORING
- IDENTIFICATION OF SLOES AT HIGH RISK FOR EROSION AND ADVANCED STABILIZATION TECHNIQUES TO BE USED
- RECONSTRUCTION OF STEPS SLOPES AND RESTORATION OF LIMITATIONS ON CLEARING THEM
- EVALUATION AND RESTORATION OF STABILIZATION REQUIREMENTS AND THE LIMIT AND PROTECTION MEASURES FOR DISTURBED AREAS AND ESTABLISHED RIVAL, MARSHAL ONLY LAND (MRL).

NOTE TO CONTRACTOR:
EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.

STORMWATER CERTIFICATION

- ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, INCLUDING BUT NOT LIMITED TO, CALCULATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.
- ALL WEEDING SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.
- ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE DESIGNED TO MEET ALL APPLICABLE CODES AND STANDARDS FOR STABILIZATION INSPECTION.
- UPON COMPLETION OF THE PROJECT, AN AS-COMPLETED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCO), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, DEPT. OF ENVIRONMENTAL AND NATURAL RESOURCES (DENR) AND APPROVED A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

SIGNATURE	DATE
SCHUSTER CONCRETE C/O DANIEL SCHUSTER 3717 CONANT LANE, SUITE B BISHOPVILLE, MD 21117 (410) 383-3784	

REVISIONS TO APPROVED PLANS	NO.	DATE	DESCRIPTION	BY

WARNING!
THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMISSIBILITY AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES TO HIS OWN SATISFACTION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DEVIATIONS FROM THE PLAN. ANY DEVIATION WILL BE RESPONSIBLE FOR THE SAME CHANGE ON THE CONSTRUCTION OF THE SUBCONTRACTOR.

MISS UTILITY

800ME YOU BE CALL
1-800-4-A-UTILITY
NO DEVICES TO BE LOCATED

Lane Engineering, LLC
Established 1988
Civil Engineers • Land Planning • Land Surveyors

112 N. W. 3rd St., Suite 200
Birmingham, AL 35201 (410) 383-3784
207 Professional Fee, 207 Residential Fee
307 Professional Fee, 307 Residential Fee

PROFESSIONAL CERTIFICATE: I hereby certify that these documents were prepared or approved by me, a duly licensed professional engineer under the laws of the State of Maryland, License No. 48188. Expiration Date: 12/28/2021.

12-29-2020
DATE

TITLE SHEET

**ON THE LANDS OF
BISHOPVILLE MATERIALS, LLC**

IN THE FIFTH ELECTION DISTRICT
WORCESTER COUNTY, MARYLAND
TAX MAP 15, GRID 3, PARCEL 79

ISSUED/REVISED FOR: WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES
DATE: 12/29/20 20
SHEET No: G-101
KBR No: 190389
SCALE: AS NOTED
FILE No: CB17

PREPARED FOR: SCHAFFER CONCRETE
 3717 CROMWELL LN STE B
 ORANGE MA 01817

PROPERTY OWNER: BISHOPVILLE MATERIALS, LLC
 C/O SCHAFFER CONCRETE
 3717 CROMWELL LN STE B
 ORANGE MA 01817

PROPERTY ADDRESS: 11935 WORCESTER HWY
 BISHOPVILLE MD 21813

DEED REFERENCE: 6079/15
 PLAT REFERENCE: 120/12 & 203/16

ZONING CLASSIFICATION: I-1 (LIGHT INDUSTRIAL DISTRICT)

SETBACKS: 1-1 (LIGHT INDUSTRIAL DISTRICT) (CS ZS 1-2120(X)(30))
 FRONT - 30'
 SIDE - 20'
 REAR - 20'

NON-TIDAL WETLANDS - 23'

SETBACKS: CONCRETE - AND ASPHALT-BOUND PAVING (CS ZS 1-2120(C)(3))
 FRONT - 100'
 SIDE - 100'
 REAR - 100' & 50' (PER § 80A 933-15)

THE PROPERTY BOUNDARY, SERVICE RESERVE AREAS, FOREST CONSERVATION EXISTING AREAS AND NON-TIDAL WETLANDS SHOWN HEREON WERE TAKEN FROM A PLAT ENTITLED "FOREST CONSERVATION PLAN NO. 2005-15, TAX MAP 15 - PARCEL 79", DATED 10/19/05 AND RECORDED ALONG WITH RECORDS OF WORCESTER COUNTY AT LIBERTY 203, FOLD 16.

THE IMPROVEMENTS SHOWN HEREON WERE TAKEN FROM THE 2019 WORCESTER COUNTY APPLS AND A PLAT ENTITLED "PROPOSED CONCRETE BATCH PLANT, TAX MAP 15 - PARCEL 79" BY DTT ARCHITECTURE & ENGINEERING AND ARE APPROXIMATE ONLY.

THE PROPERTY SHOWN HEREON LIES ENTIRELY OUTSIDE OF THE CHEMUNEWIC BAY CRITICAL AREA AS SHOWN ON THE DEPARTMENT OF NATURAL RESOURCES CRITICAL AREA MAPS OF 1972 AND THE ATLANTIC COASTAL BAYS CRITICAL AREA.

NO ABSTRACT OF TITLE, TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH HAVE BEEN FURNISHED TO LANE ENGINEERING, LLC. THE BUILDING RESTRICTION LINES AS SHOWN HEREON ARE BASED SOLELY ON THE CURRENT WORCESTER COUNTY ZONING ORDINANCE APPLICABLE TO THE PROPERTY SHOWN HEREON AND ARE SUBJECT TO CHANGE WITH THE PASSAGE OF ZONING LAWS LIMITED TO EXISTENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, PLAT RESTRICTIONS OR ANY OTHER FACTS THAT MAY ACCURATELY REFLECT AND CORRECT TITLE SEARCH MAY DISCLOSE.

FLOOD DATA
 THE PROPERTY SHOWN HEREON IS LOCATED IN THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE PROPERTY IS ZONED IN THE "ZONE X" AND "ZONE X" (SHADDED) AREAS SHOWN ON THE FLOOD INSURANCE RATE FLOOD (FIRM) NUMBER 2503 LAMON AND THE BASE FLOOD IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SFHA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE SFHA INCLUDES ZONES A, AE, AH, AO, AV, A99, V & VE. THE BASE FLOOD ELEVATION (BFE) IS THE WATER SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD. FLOOD RESISTANCE MAY BE REQUIRED FOR STRUCTURES LOCATED IN THE SFHA 1989 HAZARD AREAS.

FLOOD ZONE LEGEND
 FLOOD ZONE LEGEND: AE, AH, AO, AV, A99, V & VE - 1% ANNUAL CHANCE FLOOD
 ZONE X (SHADDED) - 0.2% ANNUAL CHANCE FLOOD
 ZONE X - AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD

THE FLOOD DATA SHOWN HEREON IS BASED ON AVAILABLE MAPS AND/OR DIGITAL INFORMATION AND IS DEPICTED AS DIRECTED AND REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. IT IS SUBJECT TO DATA INACCURACIES AND REGULATORY CHANGE AND SHOULD BE VERIFIED PRIOR TO FINALING DEVELOPMENT OR APPROVING PLANS FOR THE SUBJECT LOTS.

GENERAL NOTES

- THESE DRAWINGS SHOW INFORMATION FROM THE BEST AVAILABLE RECORDS REGARDING PLOTS, CORNERS, TELEPHONE LINES, AND OTHER STRUCTURES AND CONDITIONS, WHICH EXIST ALONG THE LINE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND QUANTITIES OF EXISTING UTILITIES AND RECORDS SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES TO HIS OWN RISK AND LIABILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND QUANTITIES OF EXISTING UTILITIES AND RECORDS SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES TO HIS OWN RISK AND LIABILITY.
- ALL UTILITIES AND METHODS OF CONSTRUCTION AND TESTING SHALL COMPLY WITH THE DRAWINGS, SPECIFICATIONS, LOCAL BUILDING CODES, AND THE WORCESTER COUNTY SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING: TWO WEEKS PRIOR TO CONSTRUCTION TO SCHEDULE A MAINTENANCE DEPARTMENT OF THE ENVIRONMENT (410) 901-4020
 WORCESTER SOIL CONSERVATION DISTRICT (410) 832-3438
 DEPARTMENT OF ENVIRONMENTAL PROGRAMS (410) 822-4003
 LANE ENGINEERING, LLC
- THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY DELAY FROM THESE PLANS.
- THE OWNER IS RESPONSIBLE FOR THE ACQUISITION AND DEPOSITION OF ALL EXISTENTS, BOTH TELEPHONE AND PROWANT.
- IF NECESSARY, THE CONTRACTOR SHALL NOT REMOVE THE CONTRACTOR OF HIS OWNERSHIP TO PERFORM SUCH WORK.
- ALL CONCRETE USED FOR STRUCTURAL PURPOSES AND SITE WORK SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL BE PLACED AND CURED IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- ALL CONSTRUCTION ON OR OFF-SITE SHALL BE LIMITED FOR SAFETY AND RESTRAINING SAFETY. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL PLANS SHALL BE APPROVED BY WORCESTER COUNTY PRIOR TO USE.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT EXISTING PROPERTY CORNERS AND OTHER PROPERTY MARKERS. ANY DAMAGE TO, OR SETTING OF PROPERTY MARKERS WILL REQUIRE THEM TO BE REPLACED AT THE CONTRACTOR'S EXPENSE AND BY A WARRANT LICENSED SURVEYOR.
- CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL SAFETY RELATED ISSUES ON SITE AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS AS WELL AS BY PERMIT SITE MANAGEMENT PROTOCOL.
- CONTRACTOR SHALL TAKE CARE TO WORK ONLY WITHIN THE CONSTRUCTION LIMITS OF DISTURBANCE. PROPERTY LINES AND EXISTENT AREAS ARE SUBJECT TO UNANNOUNCED OBSTRUCTION TO OFF-SITE IMPROVEMENTS OR PROJECTS SHALL BE NOTIFIED/PROTECTED SOILS AT CONTRACTOR'S EXPENSE.
- PROJECT SPECIFIC APPROVALS AND PERMITS AS REQUIRED FOR CONSTRUCTION SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT CONSIDER ANY PERMIT OF THE WORK WITHOUT OBTAINING AND RECEIVING COPIES OF ALL REQUIRED APPROVALS FROM WORCESTER COUNTY OR THE OWNER.

SOIL EROSION AND SEDIMENT CONTROL

- ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE 2011 WETLAND STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF WETLANDS AND WATER BODIES, AS WELL AS THE BEST AVAILABLE INFORMATION AT THE TIME OF THE DEVIATION. THE FINAL APPROVAL FOR ALL RESTORATION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE ENVIRONMENTAL DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE MEASURES REQUIRED IN THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL APPLY AS SHOWN ON THIS PLAN, AND BE COMPLETE AND IN SERVICE PRIOR TO CONSTRUCTION.
- ALL REQUIRED AREAS SHALL BE SUFFICIENTLY GRADED TO PREVENT RUNOFF AND ALSO STABILIZED WITH TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, CORRECTIONS SHALL BE MADE AND TOPSOIL, SEED, AND MULCH SHALL BE REPLACED UNTIL SETTLEMENT SUBSIDES. (SEE SOIL EROSION AND SEDIMENT CONTROL NOTES, DETAILS, AND SPECIFICATIONS).

WETLANDS

- ANY WETLANDS DETERMINED TO BE SUBJECT TO THE PROVISIONS OF FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE PROTECTED AND RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND RECEIVING ALL REQUIRED APPROVALS FROM WORCESTER COUNTY AND/OR THE ENVIRONMENTAL DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.

FOREST CONSERVATION

THE SUBJECT PARCELS IS 20.3 ACRES. THE LOT IS 127,000 SQUARE FEET, CURRENTLY COVERED IN GRASS. NO FOREST RESTORATION IS PROPOSED. THE PROPOSED CONSTRUCTION ACTIVITY IS EXCEPT FROM FOREST CONSERVATION.

NO.	DATE	DESCRIPTION	BY

NO.	DATE	DESCRIPTION	BY

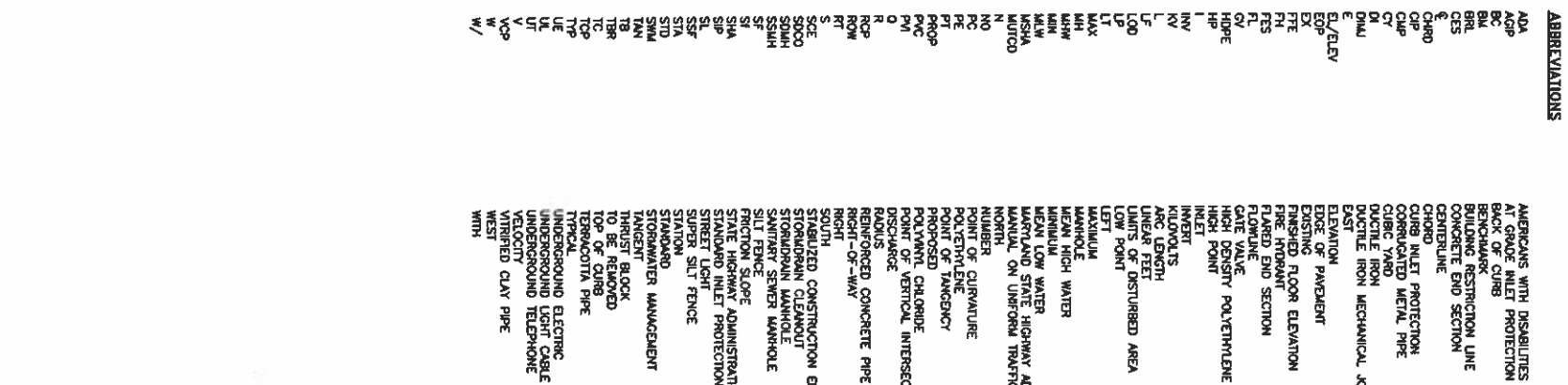
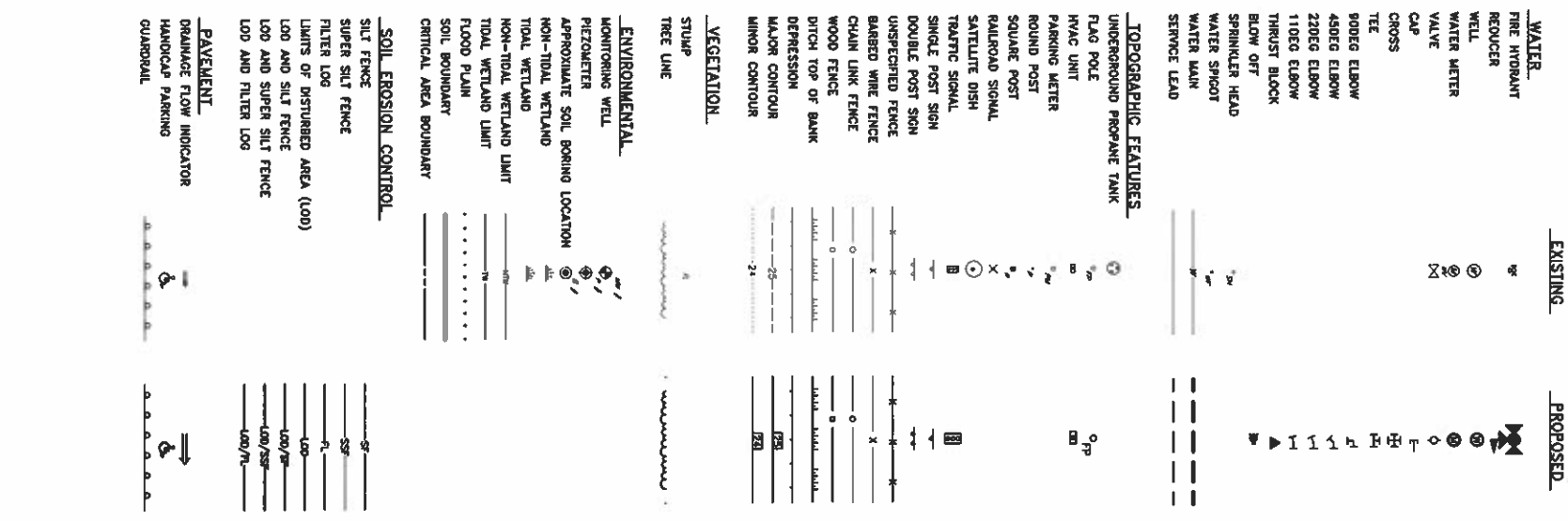
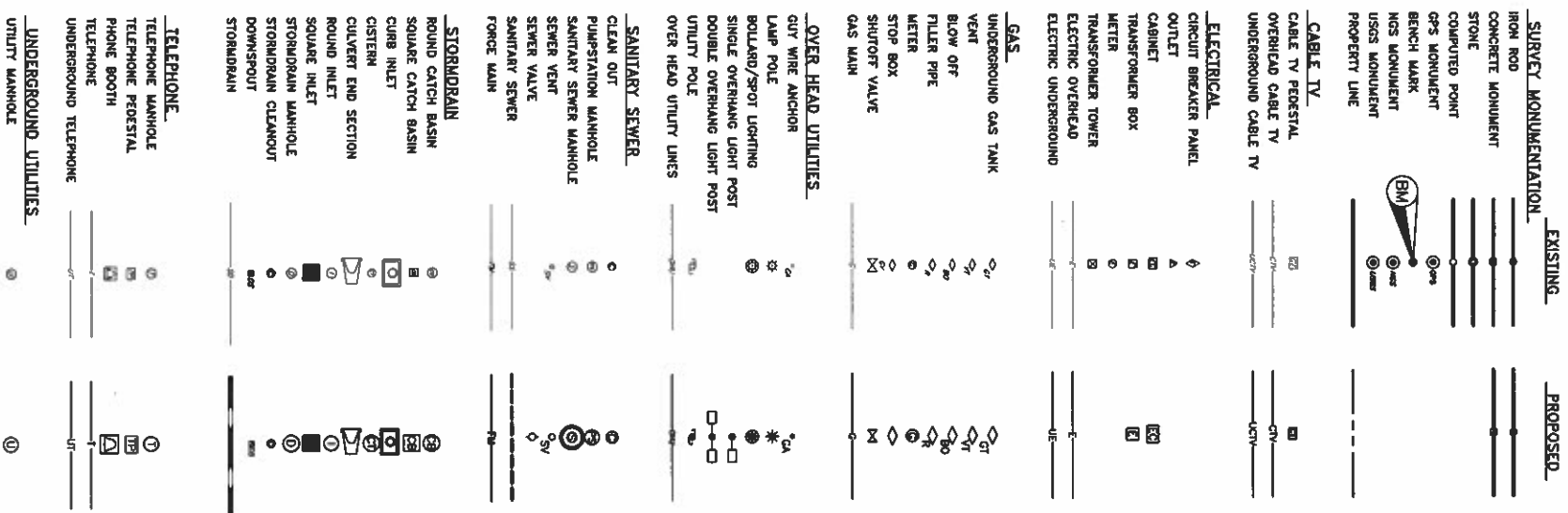
MISS UTILITY
 BEING TO BE OBTAINED FROM THE MISS UTILITY COMPANY AT 1-800-441-4385 OR 617-882-1000. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND RECEIVING ALL REQUIRED APPROVALS FROM WORCESTER COUNTY AND/OR THE ENVIRONMENTAL DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.

Lane Engineering, LLC
 Established 1988
 Civil Engineers • Land Planning • Land Surveyors
 111 St. Louis Street, Worcester, MA 01603
 508-799-4600
 307 Worcester Street, Worcester, MA 01609
 508-799-4600

PROJECT NOTES
 12-29-2020
 DATE

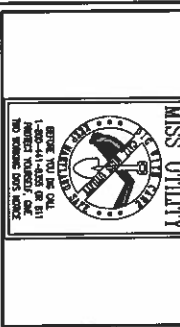
ON THE LANDS OF BISHOPVILLE MATERIALS, LLC
 IN THE FIFTH ELECTION DISTRICT
 WORCESTER COUNTY, MASSACHUSETTS
 TAX MAP 15, GRID 3, PARCEL 79

PROJECT NOTES
 SHEET NO. 0-102
 SCALE: AS NOTED
 DATE: 12/29/20 148
 COUNTY AND SD REVIEW



NO.	DATE	DESCRIPTION	BY
REVISIONS TO APPROVED PLANS			

WARNING!
 THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES BY EXCAVATION PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DISCOVERED. THE CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE OWNED BY THE CONTRACTOR SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DISCOVERED. THE CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE OWNED BY THE CONTRACTOR SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

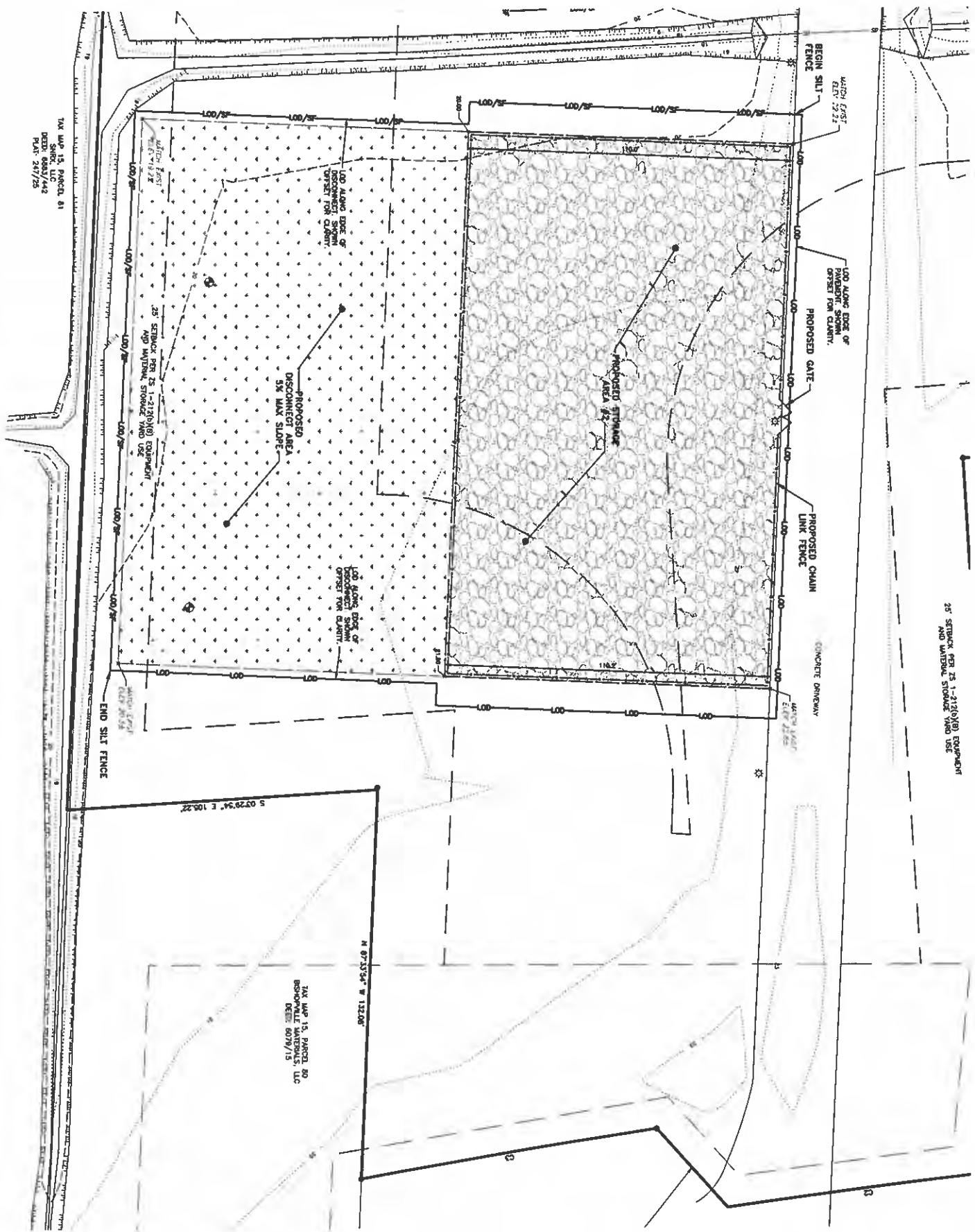


Lane Engineering, LLC
 Established 1985
 Civil Engineers • Land Planning • Land Surveyors
 112 Elm St., Worcester, MA 01601
 200 Washington St., Worcester, MA 01602
 200 Washington St., Worcester, MA 01602

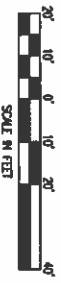
PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Massachusetts, License No. 48188, Expiration Date: 12/29/2021.

LEGEND & ABBREVIATIONS
 ON THE LANDS OF BISHOPVILLE MATERIALS, LLC
 IN THE 5TH ELECTION DISTRICT
 WORCESTER COUNTY, MASSACHUSETTS
 TAX MAP 15, GRID 3, PARCEL 79
 ENGINEER/DESIGNER: JSC
 CHECKED AND SCD REVIEW: 12/29/20 JAB

SHEET NO. G-103
 SCALE: AS NOTED
 DRAWING NO. 190389
 FILE NO. C817



NOTE:
 REFER TO SHEET C-101 FOR OVERALL CONTEXT PLAN.



NAD 83 (2011)
 MD COORDINATE SYSTEM

NO.	DATE	DESCRIPTION	BY

WARNING!
 THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE OPERATIONS OF THESE UTILITIES SHOULD BE VERIFIED BY THE OPERATOR PRIOR TO BEGAINING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE OPERATOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGAINING CONSTRUCTION. THE OPERATOR SHALL TEST PER LOCAL DISTRICT UNDERGROUND UTILITIES FROM THE BEGINNING OF CONSTRUCTION THROUGH THE END OF CONSTRUCTION. THE OPERATOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGAINING CONSTRUCTION. THE OPERATOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGAINING CONSTRUCTION. THE OPERATOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGAINING CONSTRUCTION.



Lane Engineering, LLC
 Established 1986
 Civil Engineers • Land Planning • Land Surveyors
 117 1/2 S. Cedar Ave. (10th Floor) #200
 44 Middletown Ave., 3rd Floor, Middletown, CT 06457
 Telephone: 860.346.3800 Fax: 860.346.3801
 Website: www.laneeng.com License No. 48108 - Expiration Date: 12/28/2021

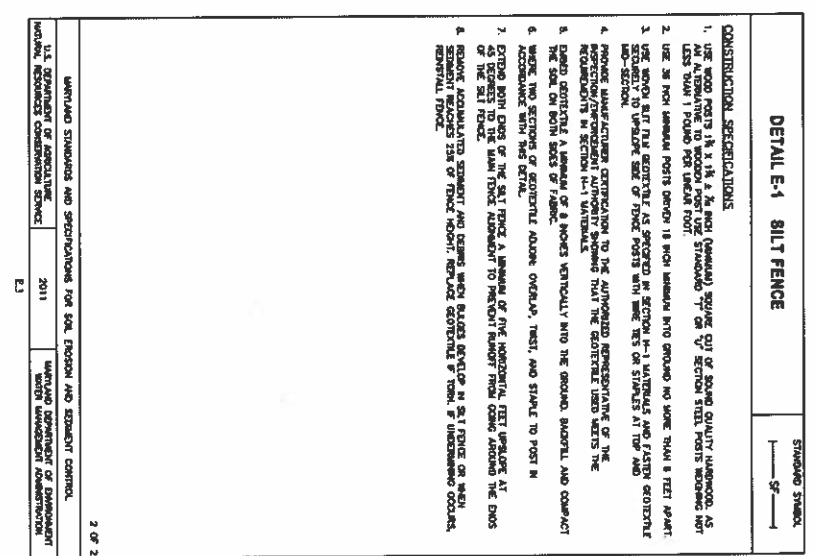
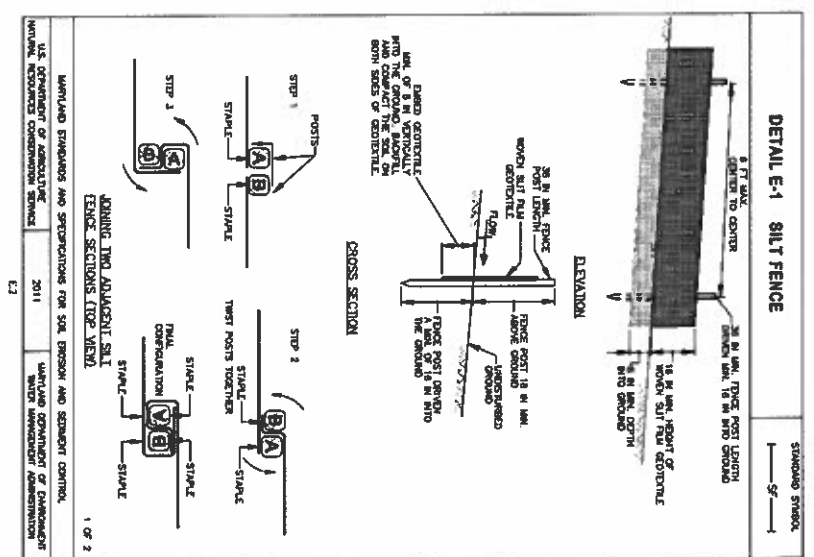
PROFESSIONAL CERTIFICATE: I hereby certify that I am the author of the design and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 48108 - Expiration Date: 12/28/2021

DATE: 12-29-2020

**STORAGE AREA 2
 SITE GRADING & SEDIMENTATION
 & EROSION CONTROL PLAN**

ON THE LANDS OF
 BISHOPVILLE MATERIALS, LLC
 IN THE FIFTH ELECTION DISTRICT
 WORCESTER COUNTY, MARYLAND
 TAX MAP 15, GRID 3, PARCEL 79
 ISSUED/REVISED FOR: COUNTY AND SCD REVIEW DATE: 12/29/20 AB

SHEET NO. C-102.1
 JOB NO. 190389
 SCALE AS NOTED
 FILE NO. C247



SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO ANY GRADING, FILLING, OR EXCAVATION. RE-ENGINEERING, REPAIRS, OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 72 HOURS OF ANY SUCH ACTIVITY. THE CONTRACTOR SHALL MAINTAIN ALL CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PROVIDED AS REQUIRED ON THE PLAN. WITH LOCALIZATION ADJUSTMENTS TO BE MADE IN THE FIELD AS NECESSARY, AND TO BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ALL CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
- CLEANING AND GRASSING SHALL INCLUDE ALL TREES, BRUSH, OTHER, ROOT MAT AND ORGANIC MATERIAL TO BE REMOVED.
- TEMPORARY SEEDING SHALL BE ACCOMPANIED BY FERTILIZER 15% THROUGH APRIL 30TH OF THE FOLLOWING YEAR. THE CONTRACTOR SHALL MAINTAIN ALL CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
- TEMPORARY SEEDING SHALL COMPLY WITH THE FOLLOWING APPLICATIONS: 43A LBS. PER ACRE OF 10-20-20; 4000 LBS. PER ACRE OF ORGANIC LITTERS; TO BE INCORPORATED INTO THE SOIL BY DISKING OR OTHER SIMILAR MEANS. ANIMAL FERTILISERS SHALL BE APPLIED AT A RATE OF 20 LBS PER ACRE. ORGANIC LITTERS SHALL BE APPLIED AT A RATE OF 4000 LBS PER ACRE. THE CONTRACTOR SHALL MAINTAIN ALL CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.

Seed Mixture (Reseeding Zone 2A)		Fertilizer Rate (10-20-20)		Lime Rate	
No.	Species	Appl. Rate (lb/acre)	Seeding Dates	Seeding Depth	Rate (lb/acre)
1	Annual Ryegrass	50g	2/15-4/30 / 8/15-11/30	1"	1000 #/acre
2	Barley	84g	2/15-4/30 / 8/15-11/30	1"	2 lb/acre (800 #/acre)
3	Oats	72g	2/15-4/30 / 8/15-11/30	1"	1000 #/acre
4	Orchard Ryegrass	112g	2/15-4/30 / 8/15-11/30	1"	1000 #/acre
5	Perennial Ryegrass	20g	5/1-8/14	1"	1000 #/acre

- SEQUENCE OF CONSTRUCTION**
- CONTACT THE LANDLORD DEPARTMENT OF THE ENVIRONMENT (LDE) AT (410) 801-4004, WASHINGTON SQUARE, 1000 WASHINGTON SQUARE, BALTIMORE, MD 21201, FOR A PRE-CONSTRUCTION MEETING. THE MEETING SHOULD BE HELD AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION TO DISCUSS THE PRE-CONSTRUCTION MEETING, FAILING TO DO SO MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.
 - INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES, SILT FENCE (SF) PER THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN, CONTACT THE LANDLORD DEPARTMENT OF THE ENVIRONMENT FOR APPROVAL OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - ROUGH GRADE SITE AREA PER SITE GRADING & SEDIMENT CONTROL PLAN.
 - INSTALL CHAIN LINK FENCE AND GATES.
 - GRADE/SHAPE THE SLOPES TO EXISTING GRADE PER GRADING PLAN, STABILIZE ALL DISTURBED AREAS WITH TOPSOIL, SEED, AND MULCH, PROMOTE SOIL MATING ON SLOPES 3:1 OR STEEPER.
 - CLAIM ACCUMULATED SEDIMENT FROM STORM DRAIN PITS.
 - PROVIDE TO THE REGIONAL OR SECTOR CONTROL PRACTICES CONTACT THE LANDLORD DEPARTMENT OF THE ENVIRONMENT INSPECTOR, ONCE THE SITE IS FULLY STABILIZED, AND THROUGH COORDINATION AND APPROVAL OF THE LANDLORD DEPARTMENT OF THE ENVIRONMENT, REMOVE SEDIMENT CONTROL DEVICES.
- NOTES:**
- THE SEQUENCE OF CONSTRUCTION AS LISTED ABOVE IS FOR THE USE OF THE CONTRACTOR AS A GENERAL GUIDE. THE CONTRACTOR SHALL MAINTAIN ALL CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD. ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.

SOIL CONSERVATION DISTRICT INFORMATION

SOIL TYPES: WORCESTERS COUNTY SOILS

MAP SYMBOL	SOIL NAME	HYPIC SOILS	F FACTOR	SOIL GROUP
FAA	FALSTONCK SANDY LOAM	YES	0.32	C/D
HA	HAWKINS SANDY LOAM	YES	0.32	B
LA	LOWMEASH AND BOUNDARY SOILS	YES	B/D	B/D
SA	SASSYBAY SANDY LOAM	YES	0.37	B
SD	SASSYBAY SANDY LOAM	YES	0.37	B
WA	WOODSTOWN SANDY LOAM	YES	0.20	C

LAFT OF DISTURBANCE AREA = 23.423
 ESTIMATED VOLUME OF CUT/FILL = 2,400 CY

CUT AND FILL VOLUME APPROXIMATION IS FOR SOIL EROSION AND SEDIMENT CONTROL APPROVAL ONLY AND IS BASED ON THE EXISTING AND FINAL DESIGN TOPOGRAPHIC SURFACES. WORK INCLUDES PROPOSED ROAD BASE, CUT/FILL QUANTITIES, AND QUANTITIES FOR SOIL EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL ESTABLISH OR REPAIR EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.

REGIONS TO APPROVED PLANS

No.	DATE	DESCRIPTION	BY

WARNING!!
 THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE AND OFTEN OF CONSIDERABLE DEPTH. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES THROUGHOUT THE CONSTRUCTION PERIOD.

MISS UTILITIES
 MISS UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES THROUGHOUT THE CONSTRUCTION PERIOD.

Lane Engineering, LLC
 Established 1985
 Civil Engineers • Land Planning • Land Surveyors
 117 W. 3rd St., Suite 100, Baltimore, MD 21201
 Phone: (410) 524-1100
 Fax: (410) 524-1101
 License No. 86189 - E.C. Expiration Date: 12/29/2024

PROFESSIONAL CERTIFICATION: I hereby certify that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 86189 - E.C. Expiration Date: 12/29/2024.

SEDIMENT & EROSION CONTROL NOTES & DETAILS
 ON THE LANDS OF BISHOPVILLE MATERIALS, LLC
 IN THE FIFTH ELECTION DISTRICT WORCESTER COUNTY, MARYLAND
 TAX MAP 13 GRD 3 PARCEL 79
 ISSUED/REVISED FOR: DATE: 07/12/20/20
 COUNTY AND SOI REVIEW

SCALE: AS NOTED
 SHEET NO. C-601
 JOB NO. 190389
 FILE NO. 0247

**WORCESTER COUNTY
DEPARTMENT OF PUBLIC WORKS
WATER & WASTEWATER DIVISION
INTEROFFICE MEMORANDUM**

TO: Kristen M. Tremblay, Zoning Administrator
Development Review and Permitting

FROM: John S. Ross, P.E., Deputy Director of Public Works

DATE: February 1, 2021

SUBJECT: TRC Meeting – February 10, 2021



Site Plan Review

A. EJF Real Estate - Office Building

Construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer

1. No Comment Well and Septic

B. Bishopville Materials, LLC - Storage Areas

Construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 58,197 sf total, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC, Engineer

1. No Comment Well and Septic

C. Main Street Storage - Self-Storage

Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

D. B & C Business Park – Contractor Shops

Construction of one (1) 9600 sf contractor shop building with 300 sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

cc: John H. Tustin, P.E. Director



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1003

SNOW HILL, MARYLAND 21863-1194

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: **Bishopville Materials LLC**
LOCATION: **Tax Map 15; Parcel 79**
CONTACT: **Daniel Schuster**
MEETING DATE: **February 10, 2021**

TRC #: **2021027**

COMMENTS BY: **Matthew Owens**
Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project

The proposed construction of two gravel storage areas.

General Comments

1. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
2. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

Specific Comments

1. No comments at this time.

January 28, 2021

Ms. Kristen Tremblay, Zoning Administrator
Department of Developing, Review, and Planning
Worcester County Government Center
One West Market Street, Room 1201
Snow Hill MD 21863

Dear Ms. Tremblay:

Thank you for the opportunity to review the minor site plan submission for the proposed Bishopville Materials, LLC – Storage Area, located at 11935 Worcester Highway, Bishopville, MD. The Maryland Department of Transportation State Highway Administration (MDOT SHA) has reviewed the plans, and we are pleased to respond.

This minor site plan proposes the construction of two gravel storage areas, consisting of 36,799 square feet. A field review of this property determined an existing access point on MD 575B, which is capable of supporting the increase in trips incurred by the subject development addition. Subject to our aforementioned comments, we do not anticipate the project will negatively impact the surrounding State roadway network. Therefore, the MDOT SHA has no objection to the construction as proposed.

If you have any questions, or require anything additional, please contact Mr. Daniel Wilson, District 1 Access Management Regional Engineer, at 410-677-4048, by using our toll-free number (in Maryland only) at 1-800-825-4742 (x4048), or via email at dwilson12@mdot.maryland.gov. Mr. Wilson will be happy to assist you.

Sincerely,



James W. Meredith
District Engineer

cc: Mr. Dallas Baker, D-1 Assistant District Engineer-Project Development, MDOT SHA
Mr. Jeff Fritts, D-1 Access Management Inspector, MDOT SHA
Mr. Rodney Hubble, Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA
Mr. Tony Turner, Assist. Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA
Mr. Daniel Wilson, D-1 Access Management Regional Engineer, MDOT SHA



Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Worcester County Technical Review Committee

From: Joy S. Birch, Natural Resources Specialist III JSB

Subject: February 10, 2021 - Technical Review Committee Meeting

Date: January 26, 2021

- **Bishopville Materials, LLC** – Proposed construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 51,197 sf total and associated site improvements. Located at 11935 Worcester highway, approximately 1100feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC , Engineer. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**

Citizens and Government Working Together



Worcester County

Department of Environmental Programs
Environmental Programs Division

Memorandum

To: Technical Review Committee (TRC) for February 10, 2021 Meeting

From: Environmental Programs Staff

Subject: **Minor Site Plan: Bishopville Materials, LLC – TM 15 P 79**

Date: February 1, 2021

Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs requires a \$100 fee for any Technical Review Committee projects submitted on private well & septic. This fee will need to be submitted prior to Signature Approval being given on this project.
2. There are no impacts to the existing well or septic here, so nothing further needs to be done for Environmental Programs.

Citizens and Government Working Together



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

MEMORANDUM

TO: Kristen Tremblay, Zoning Administrator
FROM: Frank J. Adkins, Roads Superintendent **FA**
DATE: January 27, 2021
SUBJECT: TRC Meeting – February 10, 2021

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

**FLEET
MANAGEMENT**
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

.....
Section 1-325 Site Plan Review

A. EJF Real Estate – Office Building

1. Will require commercial entrance permit and posting of a \$5,000.00 bond prior to permit signature.

B. Bishopville Materials, LLC – Storage Area

1. This projects borders State Highway and does not require a County commercial entrance permit.

C. Main Street Storage – Self Storage

1. No comments at this time.

D. B & C Business Park – Contractor Shops

1. No comments at this time.

cc: John H. Tustin, P.E.

FJA:ll\wfile2\users\llawrence\TRC\2021\2.10.21




Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner 

Subject: Forest Conservation & Stormwater Management Review

Date: January 29, 2021

Date of Meeting: February 10, 2021

Project: Bishopville Materials, LLC – Storage Areas

Location: 11935 Worcester Hwy; Tax Map: 15; Parcel: 79

Owner/Developer: Schuster Concrete

Engineer: Lane Engineering, LLC

This project is subject to the Worcester County Forest Conservation Law. This property is subject to Forest Conservation Plan #2005-15. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of an on-site Forest Conservation Easement. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements.

This project is subject to the Worcester County Stormwater Ordinance. The project has obtained Stormwater Concept Plan approval. This project will need stormwater final plan approval prior to issuance of a Stormwater Management and Sediment Control Permit.

All projects with a limits of disturbance (LOD) over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together



DEPARTMENT OF
ENVIRONMENTAL PROGRAMS


Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS
FOREST CONSERVATION
COMMUNITY HYGIENE

MEMORANDUM

DATE: March 11, 2020
TO: Applicant
FROM: Jenelle Gerthoffer, Natural Resources Administrator 
SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

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Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Jenelle Gerthoffer, at (410) 632-1220, ext. 1147.

TECHNICAL REVIEW COMMITTEE

STAFF PERSON: Kristen M. Tremblay DATE OF MEETING: February 10, 2021

PROJECT: **Main Street Storage - Self-Storage (Minor Site Plan Review)**

Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

APPLICANT(S) IN ATTENDANCE: _____

TRC MEMBERS IN ATTENDANCE:

- _____ Tremblay, Zoning Administrator
- _____ Zirkle, DRP Specialist II
- _____ Miller, Building Plans Reviewer III
- _____ Mitchell, Environmental Programs
- _____ Marsh, Environmental Programs
- _____ Bradford, Environmental Programs
- _____ Birch, Environmental Programs
- _____ Gerthoffer, Environmental Programs
- _____ Mathers, Environmental Programs
- _____ Owens, Fire Marshal
- _____ Adkins, County Roads
- _____ Berdan, County Roads
- _____ Wilson, State Highway Admin.
- _____ Conner, State Highway Admin.
- _____ Ross, W & WW, DPW
- _____ Clayville, Planning Commission Rep.

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Under the terms of ZS 325(f)(1), this application is considered to be a minor site plan since the square footage of all structural improvements does not exceed 10,000 square feet in area. All minor site plans are reviewed and approved by the Technical Review Committee. The Technical Review Committee shall have the authority to forward an application to the Planning Commission when it is determined the site plan shall have a broad impact on the County or where otherwise deemed appropriate.





DEPARTMENT OF  
DEVELOPMENT REVIEW AND PERMITTING

## Worcester County

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1201  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1200 / FAX: 410.632.3008  
<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION  
BUILDING DIVISION  
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION  
CUSTOMER SERVICE DIVISION  
TECHNICAL SERVICES DIVISION

### WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

February 10, 2021

**Project: Main Street Storage** (Minor site plan review). Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

**Prepared by:** Stuart White, DRP Specialist

**Contact:** [swhite@co.worcester.md.us](mailto:swhite@co.worcester.md.us) or (410) 632-1200, extension 1139

#### **General Requirements:**

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
  - a. A complete Building Permit Application along with the initial fee of \$300 made payable to "Worcester County."
  - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
  - c. Three (3) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

**Project Specific Comments:** This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

|                  |                                             |
|------------------|---------------------------------------------|
| § <b>ZS1-210</b> | C-2 General Commercial District             |
| § <b>ZS1-305</b> | Lot Requirements Generally                  |
| § <b>ZS1-306</b> | Access to Structures                        |
| § <b>ZS1-319</b> | Access and Traffic Circulation Requirements |
| § <b>ZS1-320</b> | Off-Street Parking Areas                    |
| § <b>ZS1-322</b> | Landscaping and Buffering Requirements      |
| § <b>ZS1-323</b> | Exterior Lighting                           |
| § <b>ZS1-323</b> | Signs                                       |
| § <b>ZS1-325</b> | Site Plan Review                            |
| § <b>ZS1-326</b> | Classification of Highways                  |

**Basic Site Plan Corrections Required:**

1. Please remove all notes pertaining to buildings I, J, and K and replace with proposed buildings L, M, and N on all sheets.
2. Please make sure revision date is updated accordingly.

**Access and Traffic Circulation:**

1. Please confirm that proposed internal traffic around the proposed buildings is one-way. If so, please indicate direction of flow on plan.

**Landscaping:**

1. In accordance with §ZS 1-322(g), a maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will be required to be provided at permit stage to accurately determine the bond amount.

**Other Agency Approvals:**

1. Information relative to the water and wastewater facilities are required to be provided on the plans per §ZS 1-325(e)(3)(O&P). Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs and the Department of Public Works prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.
4. Approval from the Worcester County Health Department will be required at the permitting stage.

# SITE PLAN, STORMWATER MANAGEMENT (SWM) AND GRADING PLAN, SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN, EXISTING CONDITION PLAN MAIN STREET STORAGE AT ARDEN CENTER, BUILDINGS: L, M, & N

TAX MAP 25, PARCEL 54

THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND

## GENERAL NOTES:

- ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED, IT IS CONSIDERED INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK. ITEMS LABELED "BY OTHERS" ARE NOT INCLUDED UNDER THIS WORK.
- ALL EXISTING CONDITIONS INFORMATION, ELEVATIONS AND TOPOGRAPHY SHOWN ARE BASED UPON THE SURVEY PREPARED BY L.E. BUNTING SURVEYS, INC., DATED DECEMBER 3, 2003, PROVIDED BY THE OWNER, AND SUPPLEMENTAL TOPOGRAPHIC SURVEY INFORMATION BY J. W. SALM ENGINEERING, INC., DATED JANUARY 2008. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID PLAN(S) AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS SATISFACTION, THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED. BUILDING RESTRICTION LINES, EASEMENTS, FLOOD ZONE LINES AND FOREST CONSERVATION AREA LOCATIONS, SHOWN ON THESE DRAWINGS, ARE PROVIDED FOR CONVENIENCE ONLY.
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN AND SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE PIPES ARE TOP OF PIPE ELEVATIONS.
- THESE DRAWINGS SHOW INFORMATION REGARDING ABOVEGROUND AND UNDERGROUND UTILITIES WHICH EXIST OR MAY EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM RECORDS MADE AVAILABLE TO THE ENGINEER BY THE OWNER AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE DRAWINGS OR NOT. SHOULD ANY UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNERS SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VERIFICATION OF ALL EXISTING SEWER INVERTS AND EXISTING STORM DRAIN INVERTS PRIOR TO THE START OF CONSTRUCTION.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF THE WORCESTER COUNTY, MARYLAND STATE HIGHWAY DEPARTMENT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED STRUCTURES AND SHALL BE STABILIZED WITH TOPSOIL, SEED AND MULCH, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE, RESEDED AND REMULCHED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE SEED TYPE AS SPECIFIED.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION. THE OWNER SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL ONLY.
- THE CONTRACTOR SHALL HYDRAULICALLY TEST ALL PIPES AND CHAMBERS IN THE PRESENCE OF THE ENGINEER. FORTY EIGHT HOURS NOTICE SHALL BE GIVEN TO THE ENGINEER PRIOR TO THE CONTRACTOR PERFORMING ANY TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THIS TESTING. SHOULD ANY PORTION OF THE WORK FAIL TO MEET THE CRITERIA, THE CONTRACTOR SHALL TAKE CORRECTIVE MEASURES, AT HIS OWN EXPENSE, TO CONFORM TO THE TEST REQUIREMENTS.
- THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
- NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH-TO-GROUND WATER. GENERALLY, PIPING, TRENCH AND STRUCTURE CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DEWATERED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.
 

|                                 |                |
|---------------------------------|----------------|
| A) WORCESTER COUNTY, DRP        | (410) 632-1200 |
| B) MISS UTILITY                 | (800) 441-8355 |
| C) J. W. SALM ENGINEERING, INC. | (410) 641-0126 |
| D) ARDEN CENTER, LLC.           | (410) 251-4066 |
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF AND/OR RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILES OF EARTH OR OTHER MATERIALS ON SITE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL STOCKPILES UPON COMPLETION OF WORK.
- THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
- TRENCH COMPACTION FOR ALL UTILITIES SHALL BE AS FOLLOWS:
 

|                                                                                                                      |
|----------------------------------------------------------------------------------------------------------------------|
| A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2% OF OPTIMUM MOISTURE CONTENT.                 |
| B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT |
- THIS SITE IS NOT LOCATED WITH IN THE ATLANTIC COASTAL BAYS CRITICAL AREAS.
- THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS REGARDING REGARDING IMPACT NON-TIDAL WETLANDS.
- A MARYLAND DEPARTMENT OF ENVIRONMENT NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE. AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, AN INSPECTION MUST BE PERFORMED ON-SITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ON-SITE AT ALL TIMES.
- THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF THE MARYLAND FOREST CONSERVATION ACT.

## EXISTING FEATURES

|                                         |  |
|-----------------------------------------|--|
| PARCEL LINE                             |  |
| CONTOUR                                 |  |
| ZONING BOUNDARY                         |  |
| EASEMENT                                |  |
| OVERHEAD ELECTRIC LINE AND UTILITY POLE |  |
| CULVERT PIPE                            |  |
| EDGE OF PAVEMENT                        |  |
| FENCE                                   |  |
| BUILDING RESTRICTION LINE (BRL)         |  |
| NON-TIDAL WETLAND (N.T.W.) LINE         |  |
| N.T.W. BUFFER LINE                      |  |
| TREELINE                                |  |
| PUBLIC RIGHT-OF-WAY LINE                |  |
| FLOOD ZONE BOUNDARY                     |  |
| DITCH CENTERLINE                        |  |
| DITCH TOP OF BANK                       |  |

## PROPOSED FEATURES

|                                              |  |
|----------------------------------------------|--|
| SEPTIC RESERVE AREA BOUNDARY                 |  |
| STORMWATER BASIN POND LINE                   |  |
| EDGE OF GRAVEL PARKING/ROADWAY               |  |
| SPREADER STRIP                               |  |
| SIDEWALK                                     |  |
| SHEETFLOW ZONE                               |  |
| CONTOUR                                      |  |
| SPOT ELEVATION                               |  |
| FOREST CONSERVATION LINE                     |  |
| LIMIT OF CLEARANCE LINE                      |  |
| NON-TIDAL WETLAND RETAINING WALL             |  |
| CURBLINE                                     |  |
| FOREST CONSERVATION LINE AND EASEMENT        |  |
| FIBERGLASS REINFORCED PLASTIC (FRP) BULKHEAD |  |
| POROUS PAVERS                                |  |
| POROUS ASPHALT                               |  |
| BIKE RACKS (BR)                              |  |
| BENCHES (B)                                  |  |

## FOREST CONSERVATION NOTE:

THIS SITE IS SUBJECT TO THE WORCESTER COUNTY FOREST CONSERVATION LAW. THIS SITE IS SUBJECT TO FOREST CONSERVATION PLAN NO. 15-15, DATED 07/24/15. THIS SITE HAS BEEN SUBJECT TO A REGULATED ACTIVITY UNDER WORCESTER COUNTY FOREST CONSERVATION LAW. ANY FUTURE APPROVAL OF THIS SITE FOR A REGULATED ACTIVITY SHALL BE SUBJECT TO THE COUNTY FOREST CONSERVATION LAW. A FOREST CONSERVATION PLAN HAS BEEN APPROVED AND IS ON FILE WITH THE DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING. A PERPETUAL PROTECTIVE AGREEMENT, AND THE PLAT SHOWING THE DEED OF FOREST CONSERVATION EASEMENT, WORCESTER COUNTY, MARYLAND, WILL BE RECORDED IN THE LAND RECORDS OF WORCESTER COUNTY, MARYLAND.

## SITE DATA:

PARCEL 54; ID# 03-016811 TOTAL SITE AREA: 19.319 +/- AC.  
EXISTING ZONING:

C-2, GENERAL COMMERCIAL  
EXISTING PRINCIPAL USES:  
RETAIL AND SERVICE ESTABLISHMENTS (OFFICE)  
SELF-STORAGE FACILITIES

PROPOSED NEW PRINCIPAL USE:  
SELF-STORAGE FACILITIES

SETBACKS (C-2):  
FRONT YARD: 25 FEET  
SIDE YARD: 6 FEET  
REAR YARD: 20 FEET

MINIMUM LOT AREA: 6,000 SQUARE FEET  
MINIMUM LOT WIDTH: 60 FEET

MAXIMUM 40,000 S.F. GROSS FLOOR AREA FOR ANY SINGLE STORAGE ESTABLISHMENT AND 100,000 S.F. FOR ALL ESTABLISHMENTS.

## PROPOSED STORAGE BUILDINGS:

| NO.    | TYPE         | SIZE       | # OF UNITS |
|--------|--------------|------------|------------|
| L)     | MINI-STORAGE | 2,400 S.F. | 17         |
| M)     | MINI-STORAGE | 2,400 S.F. | 17         |
| N)     | MINI-STORAGE | 2,400 S.F. | 12         |
| TOTAL: |              | 7,200 S.F. | 46         |

## PARKING DATA:

### EXISTING PARKING:

OFFICE BUILDING NO. 1 - 2,450 S.F.  
OFFICE BUILDING NO. 3 - 4,239 S.F.  
1 SPACE PER 350 SQUARE FEET (MIN) REQUIRED = 19.11, SAY 19 SPACES  
1 SPACE PER 200 SQUARE FEET (MAX) PERMITTED = 33.45, SAY 33 SPACES

ACCESSORY APARTMENT BUILDING NO. 2  
2 SPACES PER APARTMENT UNIT = 2 PARKING SPACES

SELF-STORAGE BUILDINGS A - K (216 UNITS)  
1 SPACE PER 40 UNITS (MIN) = 5.4, SAY 5 SPACES  
1 SPACE PER 20 UNITS (MAX) = 10.80, SAY 11 SPACES

TOTAL MINIMUM PARKING SPACES REQUIRED: 26 (19+2+5) SPACES REQUIRED

EXISTING PROVIDED PARKING = 34 PARKING SPACES - NO ADDITIONAL PARKING SPACES REQUIRED OR PROPOSED

## SEWER FLOW SUMMARY

### REQUIRED

### FOR EXISTING USES:

BUILDING NOS. 1, 2 & 3 ARE CONNECTED TO THE EXISTING SEPTIC SYSTEM. ONE IN GROUND SYSTEM (FIRST RESERVE) IS EXISTING. AREA FOR A SECOND RESERVE SYSTEM IS DEDICATED ON THIS SITE PLAN (AREA 4A).

### PROVIDED

SEPTIC 1: 10,050 S.F. SRA = 750 GPD (EXISTING)  
SEPTIC 2: 10,500 S.F. SRA = 800 GPD (EXISTING)  
SEPTIC 3: 10,440 S.F. SRA = 800 GPD (EXISTING)  
TOTAL PROVIDED = 2,250 GPD (EXISTING)

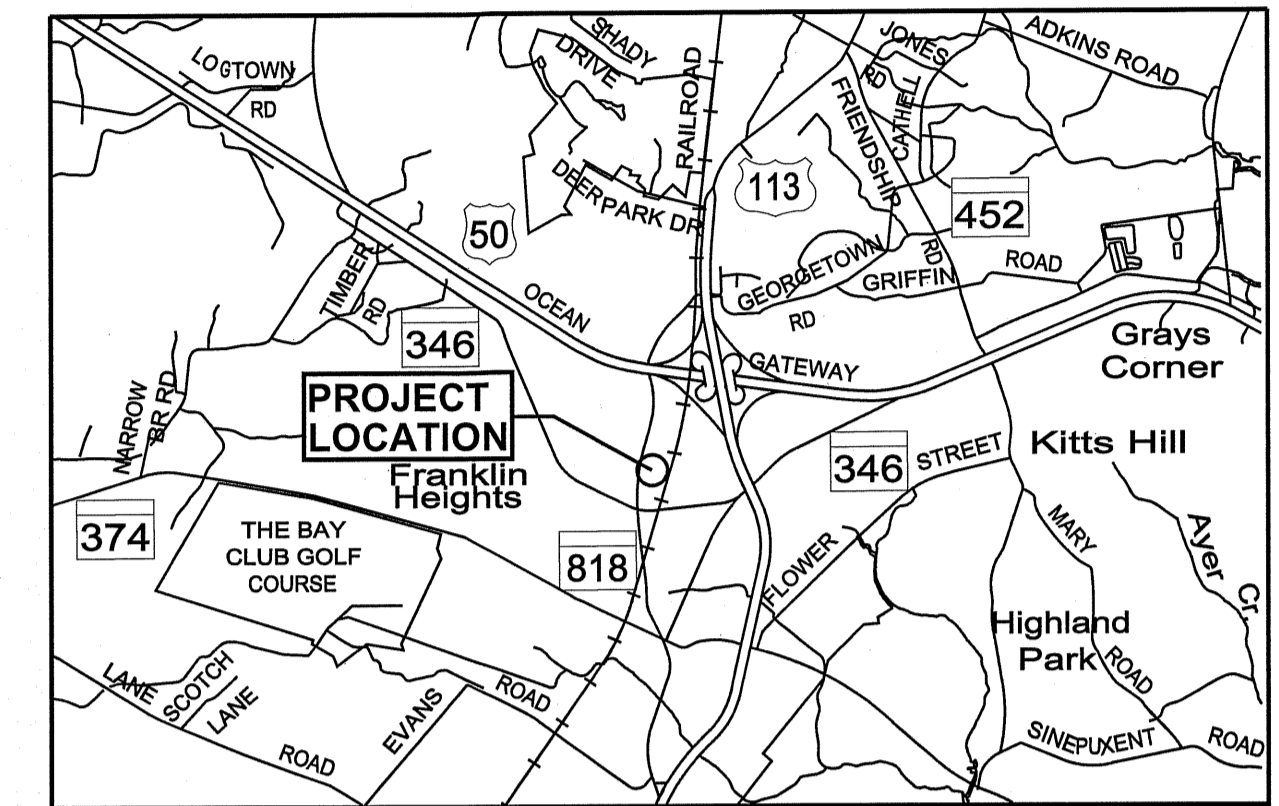
### NO ADDITIONAL SEWER IS REQUIRED FOR THE STORAGE USE.

### SEWER NOTES:

IT IS ANTICIPATED THAT SOME USE FLEXIBILITY MAY BE REQUIRED, SUCH AS MORE RETAIL AREAS AND LESS OFFICE AREA OR SHIFTING OF THE OFFICE LOCATION WITHIN THE GIVEN BUILDING FOOTPRINTS. ACTUAL SEWER ALLOCATION SHALL BE APPROVED AND TRACKED BY WORCESTER COUNTY ENVIRONMENTAL PROGRAMS AND SHALL BE BASED UPON ACTUAL TENANT FIT-OUTS AND OCCUPANCY PERMITS. SEWER SHALL NOT BE ALLOCATED BEYOND THE APPROVED CAPACITY, UNLESS ADDITIONAL ON-SITE DISPOSAL IS IDENTIFIED AND APPROVED. THE TOTAL SEWER FLOW USE SHOULD BE BASED ON THIS FORMULA:

TOTAL SEWER FLOW = [(S.F. OF OFFICE) x (0.10 GPD / S.F.)] + [(S.F. OF RETAIL) x (0.05 GPD / S.F.)]

THIS SITE PLAN HAS SUFFICIENT SEWER FOR THE USES SHOWN.



VICINITY MAP  
SCALE: 1" = 4,000 FT

## INDEX OF DRAWINGS:

| DRAWING NO.: | SHEET NO.: | TITLE                                                         |
|--------------|------------|---------------------------------------------------------------|
| 216-04-001   | 1 of 6     | COVER SHEET, NOTES, INDEX & VICINITY MAP                      |
| 216-04-002   | 2 of 6     | EXISTING CONDITIONS PLAN                                      |
| 216-04-003   | 3 of 6     | SITE AND LANDSCAPE PLAN                                       |
| 216-04-004   | 4 of 6     | STORMWATER MANAGEMENT (SWM) PLAN                              |
| 216-04-005   | 5 of 6     | SOIL EROSION AND SEDIMENT CONTROL (SESC) AND LANDSCAPING PLAN |
| 216-04-006   | 6 of 6     | NOTES & DETAILS                                               |

AS THE PROPERTY OWNER/DEVELOPER, I AM IN FULL AGREEMENT WITH THE SITE PLAN SUBMITTED HERewith, AND I AM RESPONSIBLE FOR THE COMPLETION OF THE IMPROVEMENT SHOWN ON THE APPROVED SITE PLAN, AND I UNDERSTAND THAT I CAN NOT ALLOW THE PROPERTY OR BUILDINGS TO BE OCCUPIED UNTIL THE CERTIFICATE OF USE AN OCCUPANCY HAS BEEN ISSUED BY THE DEPARTMENT OF DEVELOPMENT, REVIEW AND PERMITTING.

SIGNATURE/OWNER

## FOREST CONSERVATION CALCULATION

|                                                          |           |
|----------------------------------------------------------|-----------|
| TOTAL TRACT AREA                                         | 19.32 AC. |
| TIDAL WETLANDS/WATERBODIES                               | 0.00 AC.  |
| AREA REMAIN IN AG BODIES                                 | 0.00 AC.  |
| NET TRACT AREA                                           | 19.32 AC. |
| ZONING DISTRICT                                          | C-2       |
| AFFORESTATION THRESHOLD (C-2 ZONE)                       | 15%       |
| REFORESTATION THRESHOLD (C-2 ZONE)                       | 15%       |
| EXISTING FOREST                                          | 12.16 AC. |
| AREA OF FOREST COVER                                     | 9.26 AC.  |
| AFFORESTATION THRESHOLD                                  | 9.26 AC.  |
| AREA OF FOREST ABOVE REFORESTATION THRESHOLD             | 9.26 AC.  |
| BREAK EVEN POINT                                         | 4.75 AC.  |
| CLEARING PERMITTED - NO MITIGATION                       | 7.41 AC.  |
| TOTAL FOREST AREA CLEARED                                | 7.41 AC.  |
| TOTAL FOREST AREA RETAINED                               | 4.83 AC.  |
| REFORESTATION FOR CLEARING ABOVE REFORESTATION THRESHOLD | 0.00 AC.  |
| REFORESTATION FOR CLEARING BELOW REFORESTATION THRESHOLD | 0.00 AC.  |
| CREDIT FOR REFORESTATION ABOVE REFORESTATION THRESHOLD   | 0.00 AC.  |
| TOTAL REFORESTATION REQUIRED                             | 0.00 AC.  |
| TOTAL AFFORESTATION REQUIRED                             | 0.00 AC.  |
| TOTAL A/REFORESTATION REQUIRED                           | 0.00 AC.  |

|                                                                                                                                            |                                                                                                                                                                             |
|--------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>OWNER/APPLICANT/DEVELOPER:</b><br/><b>ARDEN CENTER, LLC</b><br/>P.O. BOX 311<br/>CAPE CHARLES, VA 23310<br/>PHONE : 410.251.4066</p> | <p><b>ENGINEER/SURVEYOR/DESIGNER:</b><br/><b>J. W. SALM ENGINEERING, INC.</b><br/>P.O. BOX 397, 9842 MAIN STREET, SUITE 3<br/>BERLIN, MD 21811<br/>PHONE : 410.641.0126</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

APPROVED BY WORCESTER COUNTY PLANNING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

John W. Salm, III, President JWS3 Enterprises, Inc.  
Manager for Arden Center, LLC

**OWNER/APPLICANT/DEVELOPER:**  
ARDEN CENTER, LLC  
P.O. BOX 311  
CAPE CHARLES, VA 23310  
410.251.4066

PLAN PREPARED BY:  
J. W. SALM ENGINEERING, INC.  
P.O. BOX 397, 9842 MAIN STREET, SUITE 3  
BERLIN, MD 21811  
410.641.0126

DESIGNED BY: JWS3  
DRAWN BY: AMS  
CHECKED BY: JWS3

REVISIONS

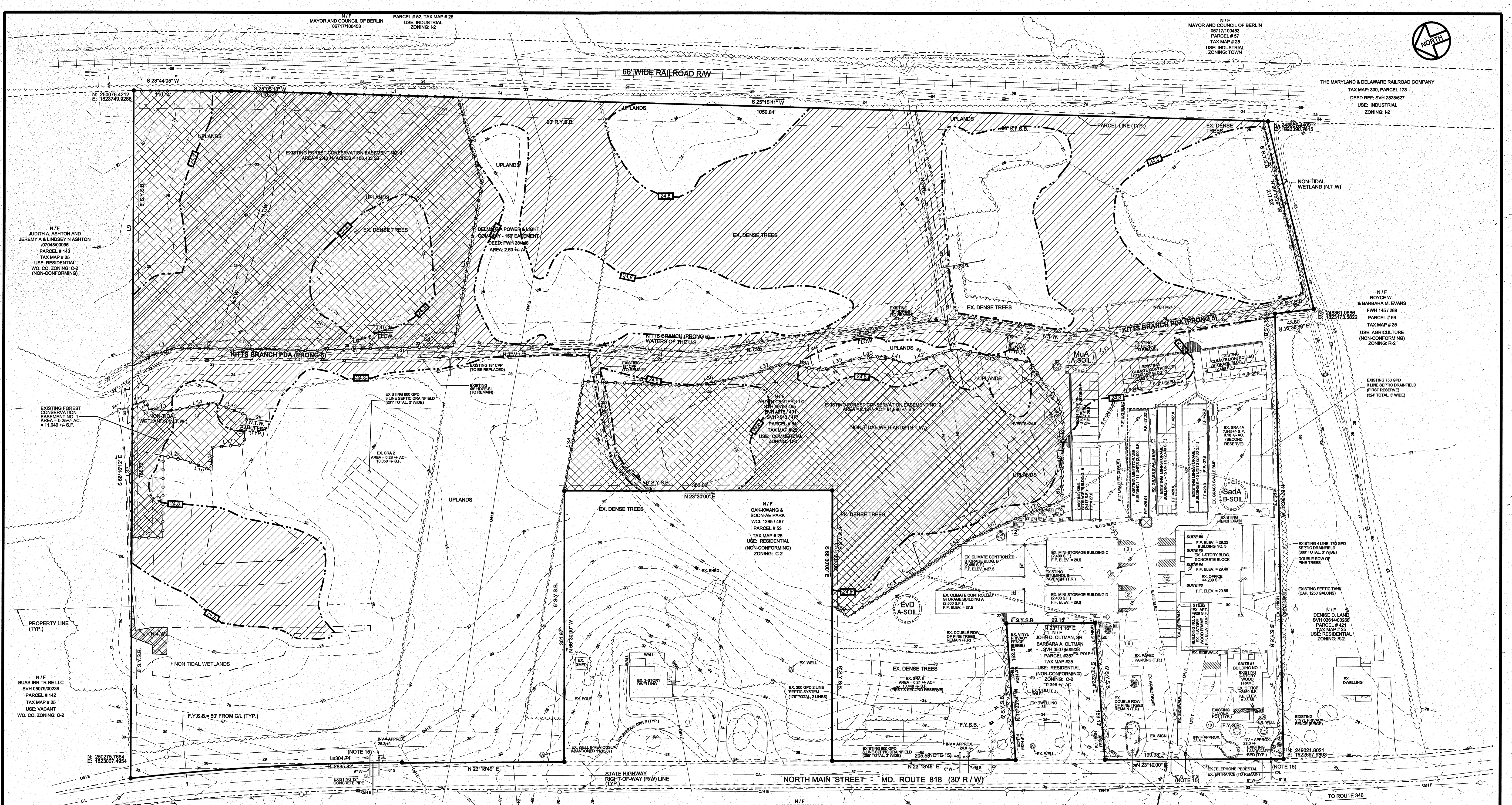
STATE OF MARYLAND  
J. W. SALM  
MARYLAND PROFESSIONAL ENGINEER LICENSE NO.: 19731

COVER SHEET, NOTES, INDEX & VICINITY MAP

**MAIN STREET STORAGE BUILDINGS: L, M, & N**  
PARCEL 54, TAX MAP 25  
THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND

**J. W. SALM ENGINEERING, INC.**  
P.O. BOX 397, 9842 MAIN STREET, SUITE 3  
BERLIN, MD 21811

SCALE: AS SHOWN DATE: JAN. 2021 DRAWING No.: 216-0-0201 SHEET No.: 1 of 6



N/F JUDITH A. ASHTON AND JEREMY A. LINDSEY N ASHTON 0704800035 PARCEL # 143 TAX MAP # 25 USE: RESIDENTIAL WO. CO. ZONING: C-2 (NON-CONFORMING)

N/F BUAS IRR TR RE LLC SVH 0007900238 PARCEL # 142 TAX MAP # 25 USE: VACANT WO. CO. ZONING: C-2

N/F CANGEM, CHARLES P AND CANGEM, KATHI G. 0748900409 PARCEL # 7 TAX MAP # 25, PARCEL # 7 USE: AGRICULTURAL WO. CO. ZONING: R-2 (NON-CONFORMING)

N/F INGLESIDE FARM, LLC SVH 0511900040 TAX MAP # 25, PARCEL # 148 USE: AGRICULTURE WO. CO. ZONING: R-2 (NON-CONFORMING)

N/F DELMARVA POWER & LIGHT COMPANY - FEE SIMPLE TAX MAP # 25, PARCEL # 470 USE: INDUSTRIAL WO. CO. ZONING: R-2 (NON-CONFORMING)

N/F INGLESIDE FARM LLC SVH 0511900040 TAX MAP # 25, PARCEL # 148 USE: AGRICULTURE WO. CO. ZONING: R-2 (NON-CONFORMING)

N/F OAK-KWANG & SOON-AE PARK W.C. 1585 1487 PARCEL # 53 TAX MAP # 25 USE: RESIDENTIAL (NON-CONFORMING) ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

N/F JOHN D. OLTMAN, SR BARBARA A. OLTMAN SVH 0007900238 PARCEL # 54 TAX MAP # 25 USE: COMMERCIAL ZONING: C-2

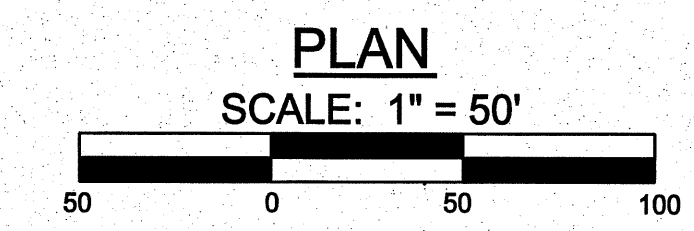
**SURVEY NOTES:**

- THE BOUNDARY, EXISTING TOPOGRAPHY AND WETLAND LINES AND FLAG LOCATIONS WERE TAKEN FROM A PLAT ENTITLED LOT 1 AND LOT 2, SUBDIVISION OF LANDS OF OLTMAN PROPERTIES, LLC AND BOUNDARY LINE ADJUSTMENT BETWEEN LANDS OF OLTMAN PROPERTIES, LLC AND GLORIA WATTS', DATED 04/10/05, PREPARED BY L. E. BURNING SURVEYS, INC.
- RAILROAD SPIKE IN POWER POLE LOCATED ON THE WEST SIDE OF MAIN STREET EXTENDED ACROSS FROM THE EXISTING PAVED DRIVE THAT LEADS TO THE EXISTING PAVED PARKING AREA FOR BUILDING NUMBERS 2 & 3. MARK IS PART OF LEVEL LOOP BY D.B.F. INC. FOR THE TOWN OF BERLIN. SPIKE IS SET AT ELEVATION 38.59 NAVD83 DATUM WHICH IS THE DATUM USED FOR ALL ELEVATIONS SHOWN ON THIS PLAN.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 240471 01581 AND 240470 1548, DATED 07/16/2015, PROPERTY IS SITUATED IN ZONE AE & X.
- THIS SITE IS NOT LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREAS.

**FLOOD ZONE CONVERSION:**  
FIRM MAP B.F.E. = 24.0 (NAVD88) =  
PROJECT ELEVATION 24.8 (NAVD29)

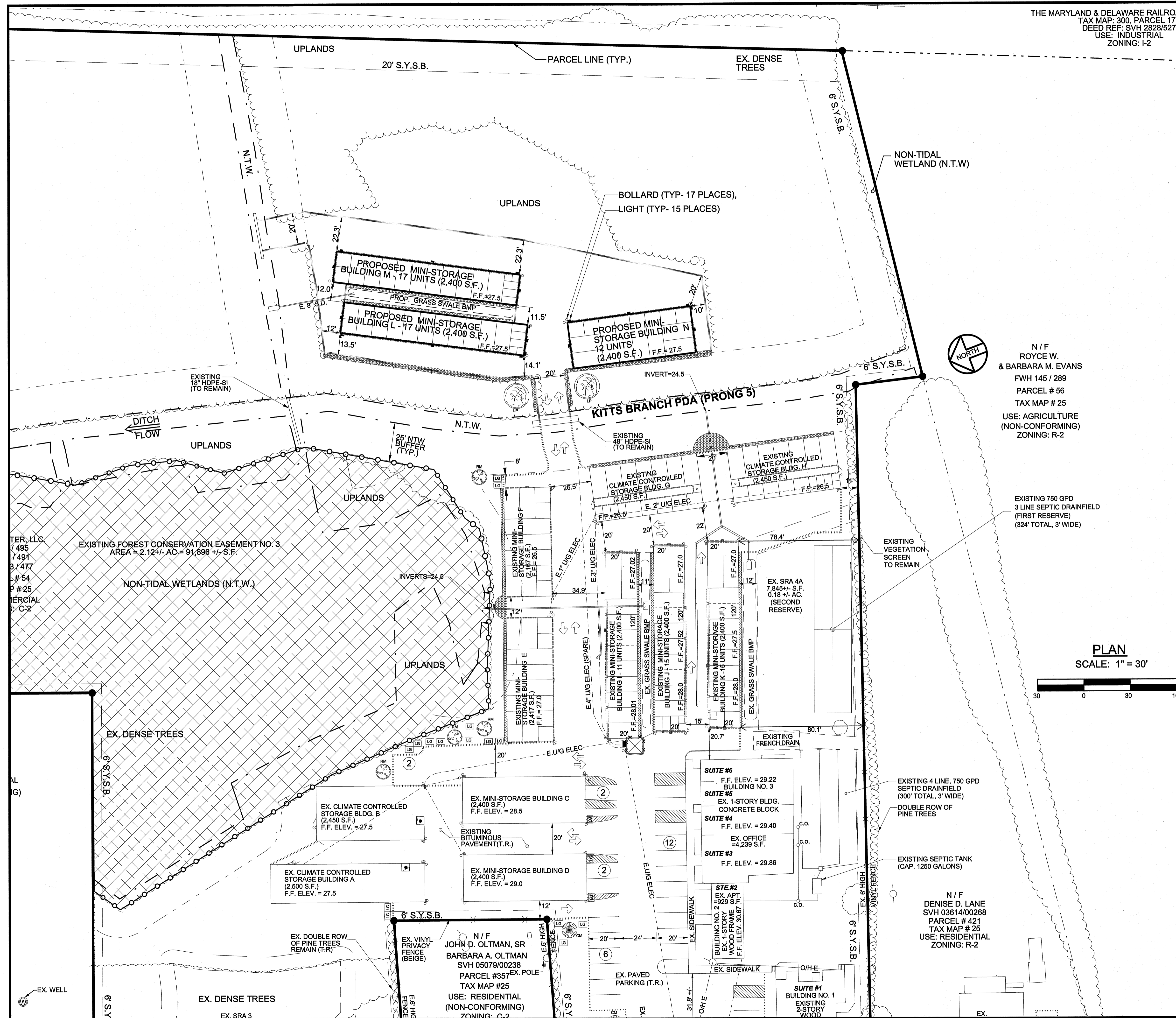
**EXISTING CONDITIONS PLAN NOTES:**

- RELOCATE EXISTING SWALE AND REMOVE EXISTING FENCE. (SEE SHEETS 3 & 4).
- MODIFY EXISTING STORM DRAIN (SEE SHEETS 3 & 4).
- ABANDON SRA 4B.
- SAW CUT EXISTING PAVEMENT.
- REMOVE GREEN GIANTS.
- EX. UNDERGROUND GAS TANK - TO BE RELOCATED.



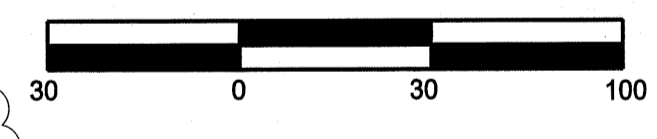
| DESIGNED BY:                   | DRAWN BY: | CHECKED BY: | EXISTING CONDITIONS PLAN                                                                                                                                                                                                                                                   |           |                             |
|--------------------------------|-----------|-------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|-----------------------------|
| JWS3                           | JWS3      | JWS3        | <b>MAIN STREET STORAGE BUILDINGS: L, M &amp; N</b><br><b>PARCEL 54, TAX MAP 25</b><br><small>THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND</small><br><b>J. W. SALM ENGINEERING, INC.</b><br><small>P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811</small> |           |                             |
| JOHN W. SALM, III<br>REVISIONS |           |             |                                                                                                                                                                                                                                                                            |           |                             |
|                                |           |             | SCALE:                                                                                                                                                                                                                                                                     | DATE:     | DRAWING No.:                |
|                                |           |             | 1" = 50'                                                                                                                                                                                                                                                                   | JAN, 2021 | 216-04-202                  |
|                                |           |             |                                                                                                                                                                                                                                                                            |           | <b>SHEET No.:</b><br>2 OF 6 |

THE MARYLAND & DELAWARE RAILROAD COMPANY  
 TAX MAP: 300, PARCEL 173  
 DEED REF: SVH 2828/527  
 USE: INDUSTRIAL  
 ZONING: I-2



N / F  
 ROYCE W.  
 & BARBARA M. EVANS  
 FWH 145 / 289  
 PARCEL # 56  
 TAX MAP # 25  
 USE: AGRICULTURE  
 (NON-CONFORMING)  
 ZONING: R-2

PLAN  
 SCALE: 1" = 30'



**SITE PLAN NOTES:**

- BUILDING FOUNDATIONS "I" DIMENSIONS ARE 120.13 FEET BY 20.13 FEET. BUILDING FOUNDATIONS "J & K" DIMENSIONS ARE 120.25 FEET BY 20.13 FEET.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
- TOWN OF BERLIN PUBLIC WATER SERVICE IS NOT PROVIDED TO THIS PROPERTY.
- PHOTO-CELL CONTROLLED, DARK-SKY, FULL CUT-OFF LED WALL PACK (9240 LUMENS MAX).
- NO AGRICULTURAL STRUCTURES EXIST WITHIN 200 FEET OF THIS PROJECT SITE.
- ALL NEW STANDARD PARKING STALLS SHALL BE 10' X 20' AND MARKED BY PAINTED LINES ON PAVEMENT. ALL NEW HANDICAP SPACES SHALL BE VAN ACCESSIBLE. SIGNAGE MARKINGS IN ACCORDANCE WITH ADA AND WORCESTER COUNTY REQUIREMENTS SHALL BE PROVIDED. HARD SURFACE LANDING AREAS SHALL BE PROVIDED FOR ACCESS AISLES.
- PORTIONS OF THIS PARCEL LIE IN THE AE ZONE (B.F.E 24') AND THE X ZONE. THIS PROJECT IS LOCATED ENTIRELY IN THE X ZONE AS SHOWN ON THE FIRM MAP, COMMUNITY PANEL NO. 24047C0153H, EFFECTIVE DATE JULY 16, 2015. BUILDINGS I, J, & K LINE ENTIRELY IN ZONE X. THE FINISHED FLOOR OF THESE BUILDINGS WILL BE SET AT ELEVATION 27.0 WHICH IS GREATER THAN ONE FOOT ABOVE THE B.F.E. OF 24.8 (NAVD29).
- PROVISIONS FOR WASTE REMOVAL ARE EXISTING.
- NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- THIS SITE IS NOT LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
- LANDSCAPING SHALL BE MAINTAINED BY THE OWNER. WATER SHALL BE PROVIDED VIA PORTABLE GARDEN HOSES CONNECTED TO SPIGOTS ON THE EXISTING BUILDINGS.
- FIRE LANES SHALL BE PROVIDED AT THE START OF THIS PROJECT AND SHALL BE NOT LESS THAN 20 FEET IN UNOBSTRUCTED WIDTH WITH A MINIMUM VERTICAL CLEARANCE OF 13'-6".
- REFER TO THE FOREST CONSERVATION PLAN PROVIDED UNDER SEPARATE COVER FOR FOREST CONSERVATION DETAILS AND REQUIREMENTS FOR THE PROJECT.
- PROPOSED BOLLARD PAIRS (TYP. - 7 PLACES).
- LOCATION OF SIX-INCH DIAMETER TOWN WATER SERVICE AND SIX-INCH DIAMETER TOWN SEWER LATERAL. THESE ARE SHOWN FOR REFERENCE ONLY. WATER SUPPLY FOR THIS PROPERTY IS PRIVATE. SEWER SERVICE IS ON-SITE.
- RELOCATE EXISTING LIROPIE GRASS AND INSTALL ONE ADDITIONAL LIROPIE GRASS.
- INSTALL ONE LIROPIE GRASS.

**LANDSCAPING LEGEND:**

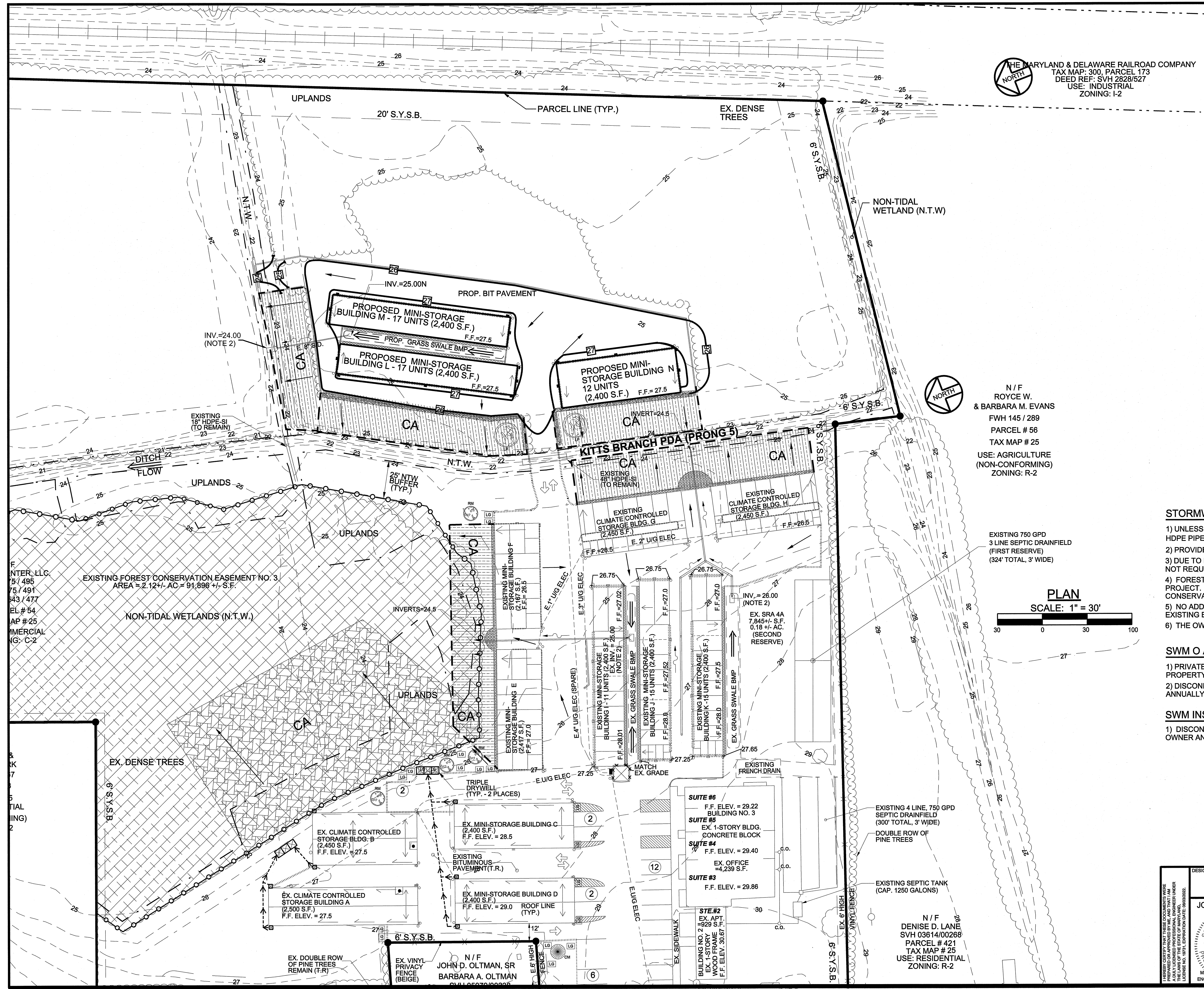
| TREE FORMS |                             |      |                          |              |   |
|------------|-----------------------------|------|--------------------------|--------------|---|
| SYMBOL     | NAME                        | SIZE | HEIGHT PLANTING MATURITY | TOTAL NUMBER |   |
| (Symbol)   | LOBLOLLY PINE (PINUS TAEDA) | 1.5" | 10'                      | 100'         | 2 |

**LANDSCAPING NOTES:**

1) PLANT TYPES MAY BE SUBSTITUTED FOR OTHERS USING MATERIALS NATIVE TO WORCESTER COUNTY WITH DRP APPROVAL. PERIODICALLY EXAMINE LANDSCAPING FOR ROUTINE MAINTENANCE SUCH AS MULCHING, PLANT REPLACEMENT AND PRUNING. MAINTAIN WATERING, ESPECIALLY DURING DRY SEASON. WATERING SHALL BE VIA PORTABLE HOSES FROM BUILDING MOUNTED HOSE BIBBS.

|                                    |                    |                            |                                                                                                                                                                                                                                                                                     |
|------------------------------------|--------------------|----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DESIGNED BY:<br>JWS3               | DRAWN BY:<br>AMS   | CHECKED BY:<br>JWS3        | <b>SITE AND LANDSCAPING PLAN</b><br><b>MAIN STREET STORAGE BUILDINGS L, M, AND N</b><br><b>PARCEL 54, TAX MAP 25</b><br>THIRD TAX DISTRICT BERLIN, WORCESTER COUNTY, MARYLAND<br><b>J. W. SALM ENGINEERING, INC.</b><br>P.O. BOX 379, 9842 MAIN STREET, SUITE 3<br>BERLIN, MD 21811 |
| JOHN W. SALM, III<br>REVISIONS<br> |                    |                            |                                                                                                                                                                                                                                                                                     |
| SCALE:<br>1" = 30'                 | DATE:<br>JAN. 2021 | DRAWING No.:<br>216-04-003 | SHEET No.:<br><b>3 of 6</b>                                                                                                                                                                                                                                                         |

THE MARYLAND & DELAWARE RAILROAD COMPANY  
 TAX MAP: 300, PARCEL 173  
 DEED REF: SVH 2828/527  
 USE: INDUSTRIAL  
 ZONING: I-2

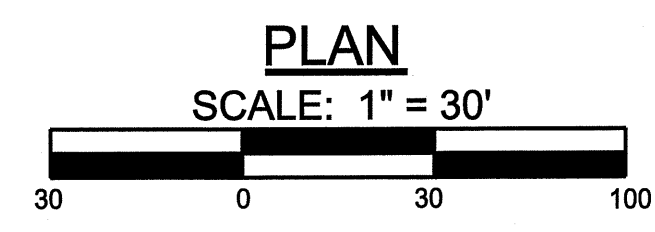


**FLOW DIRECTION ARROWS**

- PIPE FLOW
- SWALE/DITCH FLOW
- ROOF FLOW
- PAVEMENT SLOPE
- SHEET FLOW
- RAIN/DOWNSPOUT/DRAIN
- GUTTER FLOW

N / F  
 ROYCE W.  
 & BARBARA M. EVANS  
 FWH 145 / 289  
 PARCEL # 56  
 TAX MAP # 25  
 USE: AGRICULTURE  
 (NON-CONFORMING)  
 ZONING: R-2

EXISTING 750 GPD  
 3 LINE SEPTIC DRAINFIELD  
 (FIRST RESERVE)  
 (324' TOTAL, 3' WIDE)



**STORMWATER MANAGEMENT (SWM) NOTES:**

- 1) UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE CORRUGATED HDPE PIPE.
- 2) PROVIDE 2.0 C.Y. OF RIP RAP ON FABRIC, D50 = 4-INCHES.
- 3) DUE TO HAVING LESS THAN 1.0 ACRE OF DISTURBED AREA, A SWM NOI IS NOT REQUIRED.
- 4) FOREST CONSERVATION PROVISIONS ARE REQUIRED FOR THIS PROJECT. THE OWNER SHALL COMPLY WITH ALL APPLICABLE FOREST CONSERVATION REQUIREMENTS.
- 5) NO ADDITIONAL IMPERVIOUS AREA IS BEING PROPOSED FOR THE EXISTING BUILDING COMPLEX NO. 1 - NO. 3. AND A - K.
- 6) THE OWNER WILL BE RESPONSIBLE FOR SWM MEASURE MAINTENANCE.

**SWM O AND M REQUIREMENTS:**

- 1) PRIVATELY OWNED PRACTICES SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- 2) DISCONNECTS AND GRASS SWALES SHALL BE INSPECTED AND CLEANED ANNUALLY.

**SWM INSPECTION:**

- 1) DISCONNECTS AND GRASS SWALES SHALL BE INSPECTED BY THE OWNER ANNUALLY.

F  
 NTER, LLC.  
 5 / 495  
 75 / 491  
 343 / 477  
 AP # 54  
 AP # 25  
 MRCIAL  
 G: C-2

5  
 K  
 7  
 5  
 TIAL  
 (ING)  
 2

SUITE #6  
 F.F. ELEV. = 29.22  
 BUILDING NO. 3  
 SUITE #5  
 EX. 1-STORY BLDG.  
 CONCRETE BLOCK  
 SUITE #4  
 F.F. ELEV. = 29.40  
 EX. OFFICE  
 4,239 S.F.  
 SUITE #3  
 F.F. ELEV. = 29.86

EXISTING 4 LINE, 750 GPD  
 SEPTIC DRAINFIELD  
 (300' TOTAL, 3' WIDE)  
 DOUBLE ROW OF  
 PINE TREES  
 EXISTING SEPTIC TANK  
 (CAP. 1250 GALLONS)

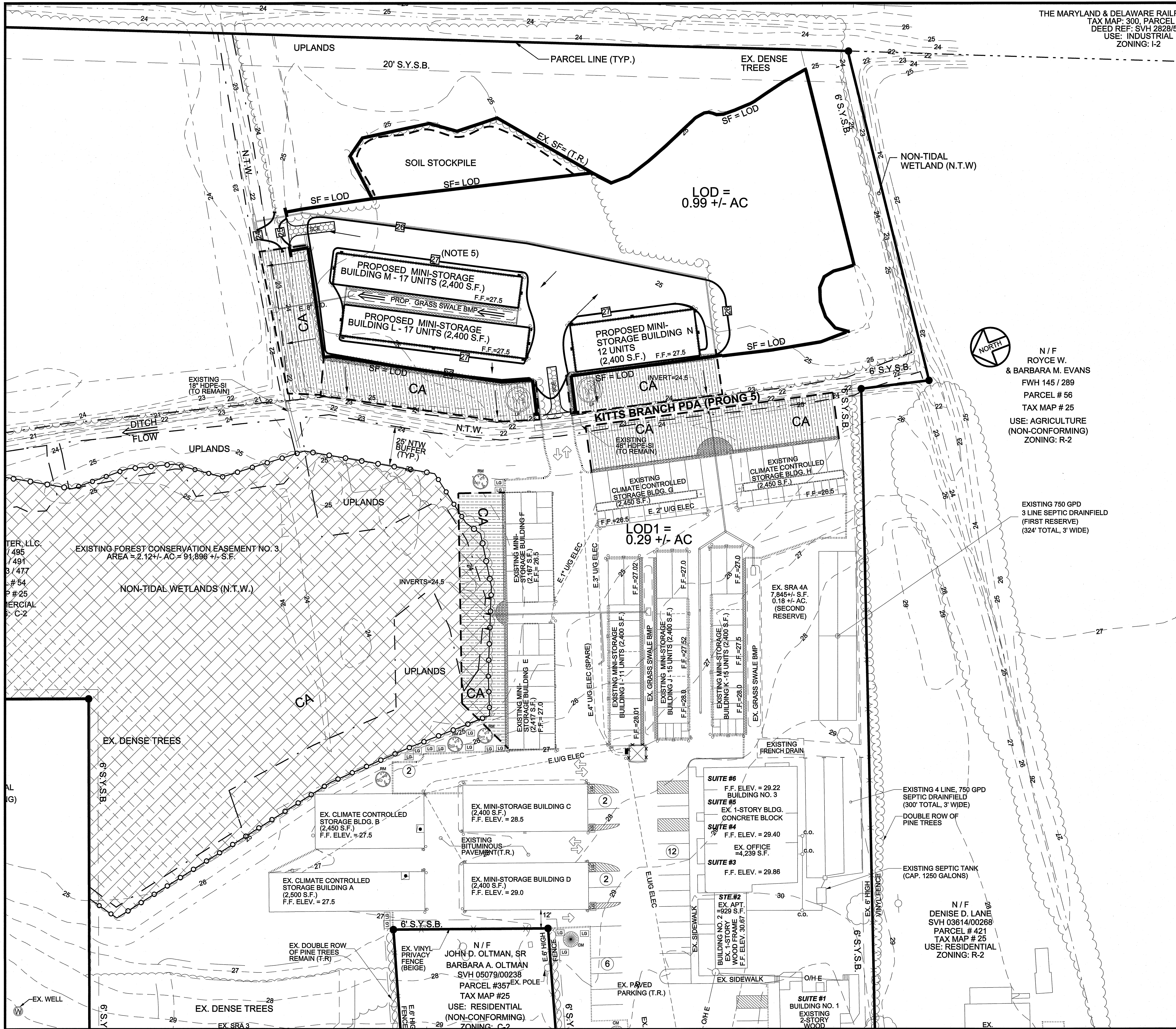
N / F  
 DENISE D. LANE  
 SVH 03614/00268  
 PARCEL # 421  
 TAX MAP # 25  
 USE: RESIDENTIAL  
 ZONING: R-2

N / F  
 JOHN D. OLTMAN, SR  
 BARBARA A. OLTMAN  
 CIVIL 05670/00295

|                                |                    |                     |                                                                                                                                    |  |
|--------------------------------|--------------------|---------------------|------------------------------------------------------------------------------------------------------------------------------------|--|
| DESIGNED BY:<br>JWS3           | DRAWN BY:<br>AMS   | CHECKED BY:<br>JWS3 | <b>STORMWATER MANAGT (SWM) PLAN</b>                                                                                                |  |
| JOHN W. SALM, III<br>REVISIONS |                    |                     | <b>MAIN STREET STORAGE</b><br>BUILDINGS: L, M, & N<br>PARCEL 54, TAX MAP 25<br>THIRD TAX DISTRICT BERLIN WORCESTER COUNTY MARYLAND |  |
|                                |                    |                     | <b>J. W. SALM ENGINEERING, INC.</b><br>P.O. BOX 379, 9842 MAIN STREET, SUITE 3<br>BERLIN, MD 21811                                 |  |
| SCALE:<br>1" = 30'             | DATE:<br>JAN. 2021 | DRAWING No.:        | SHEET No.:                                                                                                                         |  |
|                                |                    | 216-04-004          | 4 of 6                                                                                                                             |  |

THE MARYLAND & DELAWARE RAILROAD COMPANY  
 TAX MAP: 300, PARCEL 173  
 DEED REF: SVH 2828/527  
 USE: INDUSTRIAL  
 ZONING: I-2

| STANDARD SESC SYMBOLS / LEGEND |         |                                  |      |
|--------------------------------|---------|----------------------------------|------|
| EARTH DIKE                     | A-2 B-3 | STANDARD INLET PROTECTION        | GP   |
| SWALE                          | A-2 B-3 | AT GRADE INLET PROTECTION        | AGIP |
| PERIMETER DIKE/SWALE           | PDS-1   | CURB INLET PROTECTION            | CP   |
| PIPE SLOPE DRAIN               | PSD-1   | MEDIAN INLET PROTECTION          | MI   |
| ROCK OUTLET PROTECTION         | ROK     | GABION INFLOW PROTECTION         | GIP  |
| STONE CHECK DAM                | SCD     | RIP RAP INFLOW PROTECTION        | RIP  |
| STONE OUTLET STRUCTURE         | SOS     | SUMP PIT                         | SP   |
| SILT FENCE                     | SF      | STABILIZED CONSTRUCTION ENTRANCE | SCE  |
| LIMIT OF DISTURBANCE           | LOD     | REMOVABLE PUMP STATION           | RPS  |
|                                |         | SESC PHASE LINE                  |      |



NORTH

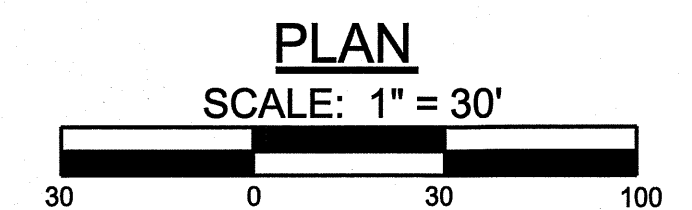
N / F  
 ROYCE W.  
 & BARBARA M. EVANS  
 FWH 145 / 289  
 PARCEL # 56  
 TAX MAP # 25  
 USE: AGRICULTURE  
 (NON-CONFORMING)  
 ZONING: R-2

EXISTING 750 GPD  
 3 LINE SEPTIC DRAINFIELD  
 (FIRST RESERVE)  
 (324' TOTAL, 3' WIDE)

LIMIT OF DISTURBANCE (LOD) = 0.99 +/- AC

**SOIL EROSION AND SEDIMENT CONTROL (SESC) NOTES:**

- 1) THE CONTRACTOR SHALL PROTECT AGAINST OVERNIGHT FLOWS OF SEDIMENT LADEN OR CLEAN WATER FLOWING INTO OR OFF THE SITE.
- 2) DEWATERING IS NOT ANTICIPATED. IF DEWATERING IS REQUIRED IT SHALL BE PERFORMED BY THE CONTRACTOR IN AN ACCEPTABLE MANNER.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR SESC MEASURE MAINTENANCE.
- 4) THE EXISTING PRIVATE DRIVEWAY SHALL SEVE AS THE CONSTRUCTION ENTRANCE.
- 5) GRADE TO EL. 25.5



|                                                                                    |                   |                     |                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------|-------------------|---------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DESIGNED BY:<br>JWS3                                                               | DRAWN BY:<br>JWS3 | CHECKED BY:<br>JWS3 | <b>SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN</b><br><b>MAIN STREET STORAGE BUILDINGS: J, J &amp; K</b><br>PARCEL 54, TAX MAP 25<br>THIRD TAX DISTRICT BERLIN, WORCESTER COUNTY, MARYLAND<br><b>J. W. SALM ENGINEERING, INC.</b><br>P.O. BOX 379, 9842 MAIN STREET, SUITE 3<br>BERLIN, MD 21811 |
| JOHN W. SALM, III<br>REVISIONS                                                     |                   |                     |                                                                                                                                                                                                                                                                                                    |
| SCALE: 1" = 30'<br>DATE: AUG. 2020<br>DRAWING No.: 216-03-004<br>SHEET No.: 5 OF 6 |                   |                     |                                                                                                                                                                                                                                                                                                    |

**SEQUENCE OF CONSTRUCTION FOR SWM & SESC**

- A) CONTACT THE WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER."
- B) INSTALL PERIMETER CONTROLS ONLY: SILT FENCES. REQUEST INSPECTION FROM WORCESTER COUNTY PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- C) CLEAR AND GRUB THE SITE.
- D) THE CONTRACTOR SHALL PERFORM THE GRADING OPERATIONS IN ACCORDANCE WITH THIS PLAN. PAD OUT THE SITE.
- E) DISTURBED AREAS SHALL BE SEED AND MULCHED AS EXCAVATION PROCEEDS, IN ACCORDANCE WITH THE 3/7 DAY RULE.
- F) ONCE THE BUILDINGS ARE UP OUT OF THE GROUND, TEMPORARILY STABILIZE ALL DRIVE AREAS.
- G) THE CONTRACTOR SHALL COORDINATE WORK WITH ALL TRADES TO ENSURE THAT ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES REMAIN IN EFFECTIVE WORKING CONDITION.
- H) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A REVISED SEDIMENT AND EROSION CONTROL PLAN IF THE CONTRACTOR DEVIATES FROM THESE DRAWINGS.
- I) UPON COMPLETION OF ALL WORK, REMOVE TEMPORARY SOIL EROSION CONTROL DEVICES AND CLEAN OUT STRUCTURES AFTER FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS GRANTED.

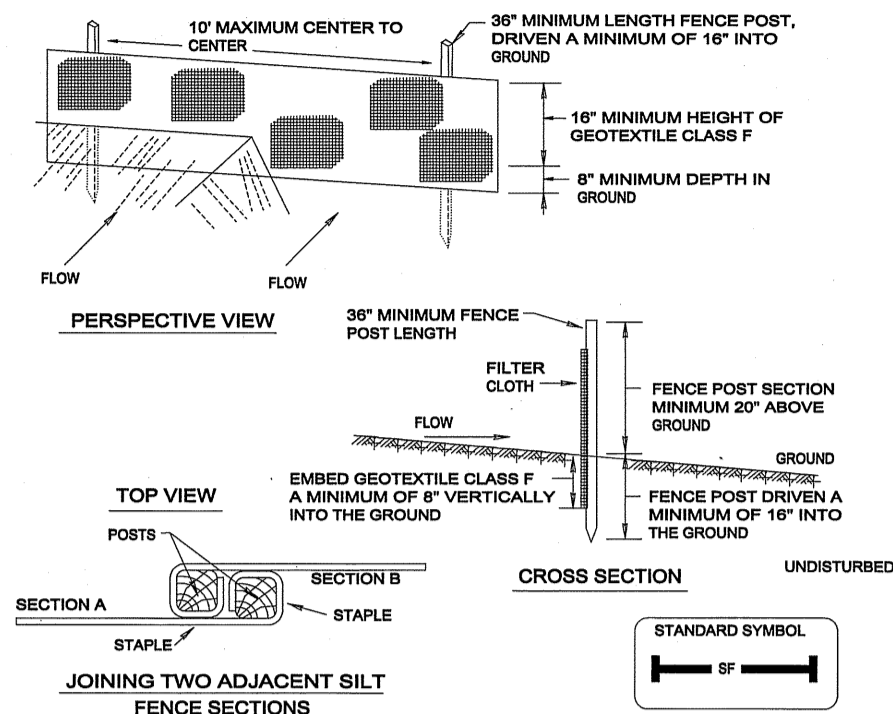
**DUST CONTROL NOTES:**

- 1. THE CONTRACTOR SHALL PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY. THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.
- 2. TEMPORARY METHODS:
  - A. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED OR PREVENT BLOWING.
  - B. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
  - C. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHESEL-TYPE PLOWS SPACED ABOUT 12' APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
  - D. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED, AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
  - E. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- 3. PERMANENT METHODS:
  - A. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
  - B. TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS.
  - C. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

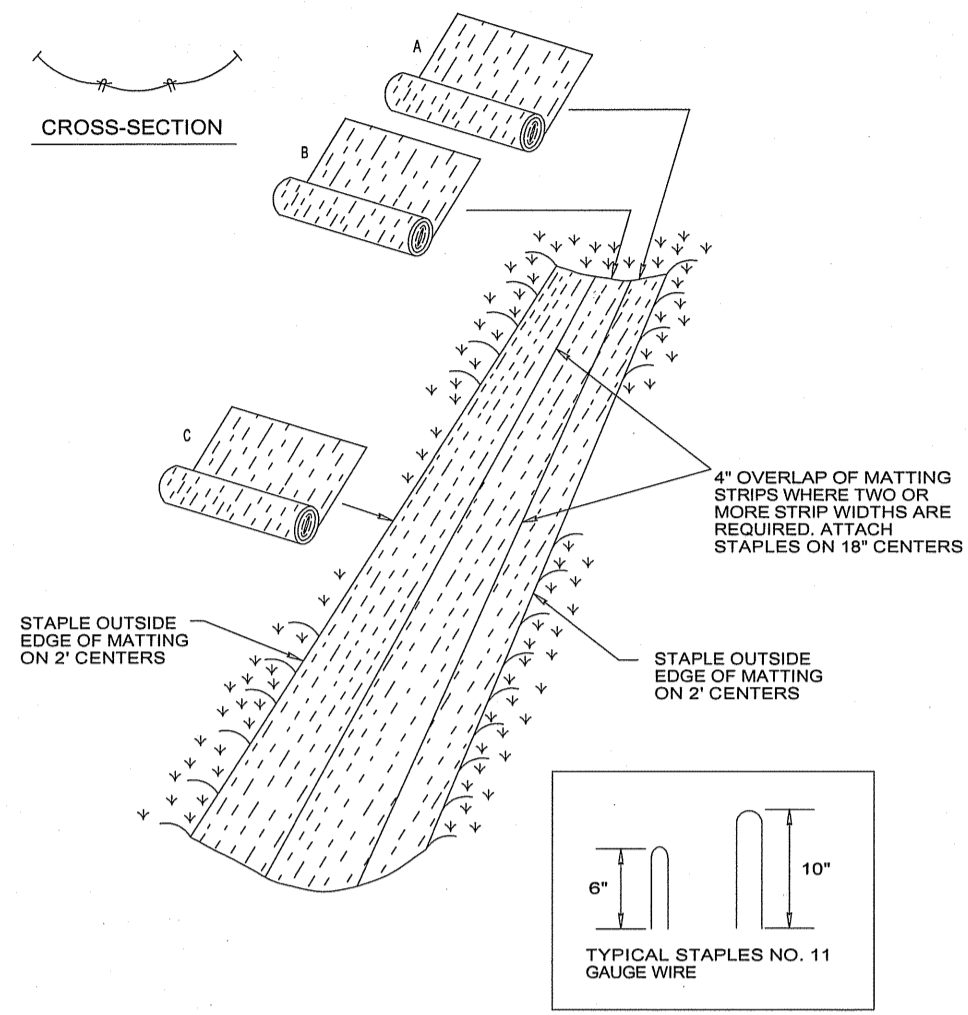
- 1. LIMITS OF SOIL DISTURBANCE, GRADING, PAVING AND/OR SEEDING/STABILIZATION INCLUDE ALL CONSTRUCTION AREAS AND ADJACENT SITES WITHIN THE LIMITS AS SHOWN.
- 2. THE CONTRACTOR SHALL CONTACT THE WORCESTER COUNTY DEVELOPMENT REVIEW AND PERMITTING AT 410-632-1220, AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO CONTACT WORCESTER COUNTY MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER."
- 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SEDIMENT CONTROL AND STORMWATER MANAGEMENT MEASURES ARE INSTALLED AS SPECIFIED HEREIN, PRIOR TO START OF ANY GRADING OF THE SITE OR ANY OTHER CONSTRUCTION ACTIVITIES.
- 4. EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO GRADING. THEY SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS AND THE WORCESTER COUNTY REQUIREMENTS.
- 5. STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SOIL EROSION CONTROL BASINS AND SILT FENCES OR OTHER CONTROL ITEMS WHICH MAY BE REQUIRED SHALL BE CONSTRUCTED AS DETAILED HEREIN.
- 6. ALL SEDIMENT CONTROL DEVICES SHALL BE CLEANED PERIODICALLY DURING CONSTRUCTION TO INSURE THEIR INTEGRITY AND PROPER FUNCTION.
- 7. EACH AREA SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED WHEN SITE DEVELOPMENT WORK, GRADING OR OTHER EARTH DISTURBANCE ACTIVITIES CEASE TO BE CONTINUOUS FOR MORE THAN 7 DAYS.
- 8. ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN OPERATION UNTIL CONSTRUCTION PROJECT IS FULLY STABILIZED BY VEGETATION OR PAVING AND FREE FROM SEDIMENT.
- 9. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES MUST BE PROVIDED TO INSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED.
- 10. DURING THE LAYOUT OF SEDIMENT CONTROL DEVICES SHOWN ON PLANS, FIELD ADJUSTMENTS SHALL BE MADE TO INSURE THAT PROPER PLACEMENT HAS BEEN MADE TO ARREST AND CONTROL ANY SEDIMENT THAT COULD LEAVE THE CONSTRUCTION SITE.
- 11. ALL OUTFALLS ARE TO BE PROTECTED FROM EROSION VELOCITIES.
- 12. PUBLIC ROADS AND OTHER RIGHT-OF-WAYS SHALL BE KEPT FREE OF SEDIMENT DEPOSITS LEFT FROM HEAVY TRUCK TRAFFIC LEAVING THE CONSTRUCTION SITE.
- 13. PERMANENT STABILIZATION OF ALL AREAS NOT TO BE SODDED OR PAVED SHALL BE SEEDING AND MULCHED IN ACCORDANCE WITH THESE DRAWINGS.
- 14. IMMEDIATELY AFTER FINAL GRADES ARE OBTAINED, ALL AREAS TO BE PAVED, SHALL BE PAVED.
- 15. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY SITE STABILIZATION SHALL BE COMPLETED WITHIN:
  - A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
  - B) SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 16. ALL TEMPORARY STOCKPILES THAT ARE TO BE LEFT UNDISTURBED SHALL, IMMEDIATELY AFTER PILING, BE FERTILIZED, LIMED AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 1 LB. PER 1,000 SF. ALL TEMPORARY STABILIZATION SHALL BE AS FOLLOWS:
  - A) IF STOCKPILE SLOPES ARE GREATER THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT 3 DAYS OR LONGER, IF SLOPES ARE LESS THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT TO BE UNDISTURBED 7 DAYS OR LONGER.
  - B) PULVERIZED DOLOMITIC LIMESTONE APPLIED AT A RATE OF 2,000 LBS. PER ACRE OR 45 LBS. PER 1,000 SF.
  - C) FERTILIZER (5-5-5) APPLIED AT A RATE OF 500 POUNDS PER ACRE OR 11.5 LBS. PER 1,000 SF.
  - D) RYE GRASS APPLIED AT A RATE OF 40 LBS. PER ACRE AND MULCH WITH STRAW AT 1.5 TONS PER ACRE.
- 17. ANYTIME AN EROSION OR SEDIMENT PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CORRECT IT.
- 18. THE SOIL CONSERVATION DISTRICT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT RESERVE THE RIGHT TO ADD, MODIFY OR OTHERWISE ALTER THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN AS NECESSARY TO PROVIDE ADEQUATE PROTECTION. IF THIS PLAN IS REVISED, THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEER FOR RESUBMITTAL TO THE SOIL CONSERVATION DISTRICT.

**SILT FENCE (SF)**



- 1. Fence posts shall be a minimum of 3/8" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
- 2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
  - Tensile Strength 50 lbs/in (min.) Test: MSMT 509
  - Tensile Modulus 20 lbs/in (min.) Test: MSMT 509
  - Flow Rate 0.3 gal ft / minute (max.) Test: MSMT 322
  - Filtration Efficiency 75% (min.) Test: MSMT 322
- 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- 4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

**DETAIL 30 - EROSION CONTROL MATTING**



- 1. 4" OVERLAP OF MATTING STRIPS WHERE TWO OR MORE STRIP WIDTHS ARE REQUIRED. ATTACH STAPLES ON 18" CENTERS.
- 2. STAPLE OUTSIDE EDGE OF MATTING ON 2" CENTERS.
- 3. TYPICAL STAPLES NO. 11 GAUGE WIRE.

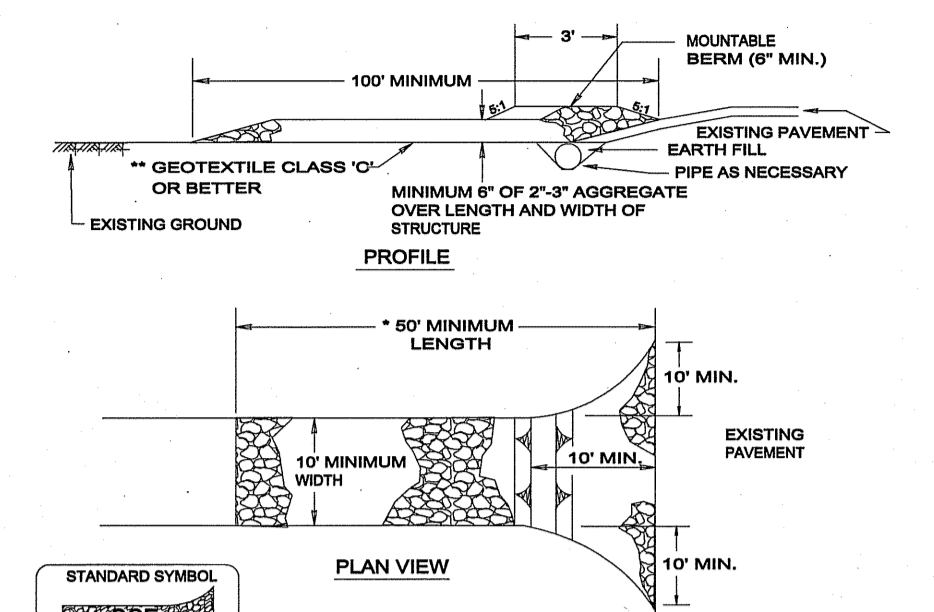
**Temporary Seeding Summary**

| No. | Species | Seed Mixture (Hardness Zone 7b) (From Table 26) |                            | Seeding Depth | Fertilizer Rate (10-10-10)   | Lime Rate                     |
|-----|---------|-------------------------------------------------|----------------------------|---------------|------------------------------|-------------------------------|
|     |         | Application Rate (lb/ac)                        | Seeding Dates              |               |                              |                               |
| 1.  | RYE     | 140                                             | 2/1 - 4/30<br>8/15 - 11/30 | 1"-2"         | 600 lb/ac<br>(15 lb/1000 sf) | 2 tons/ac<br>(100 lb/1000 sf) |
| 2.  |         |                                                 |                            |               |                              |                               |
| 3.  |         |                                                 |                            |               |                              |                               |

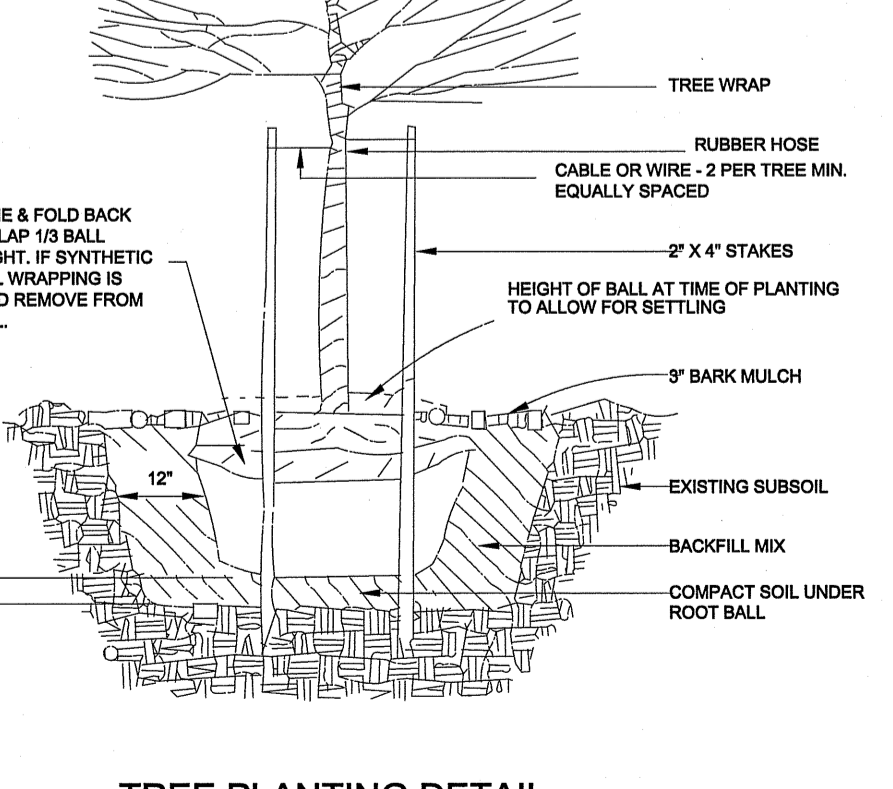
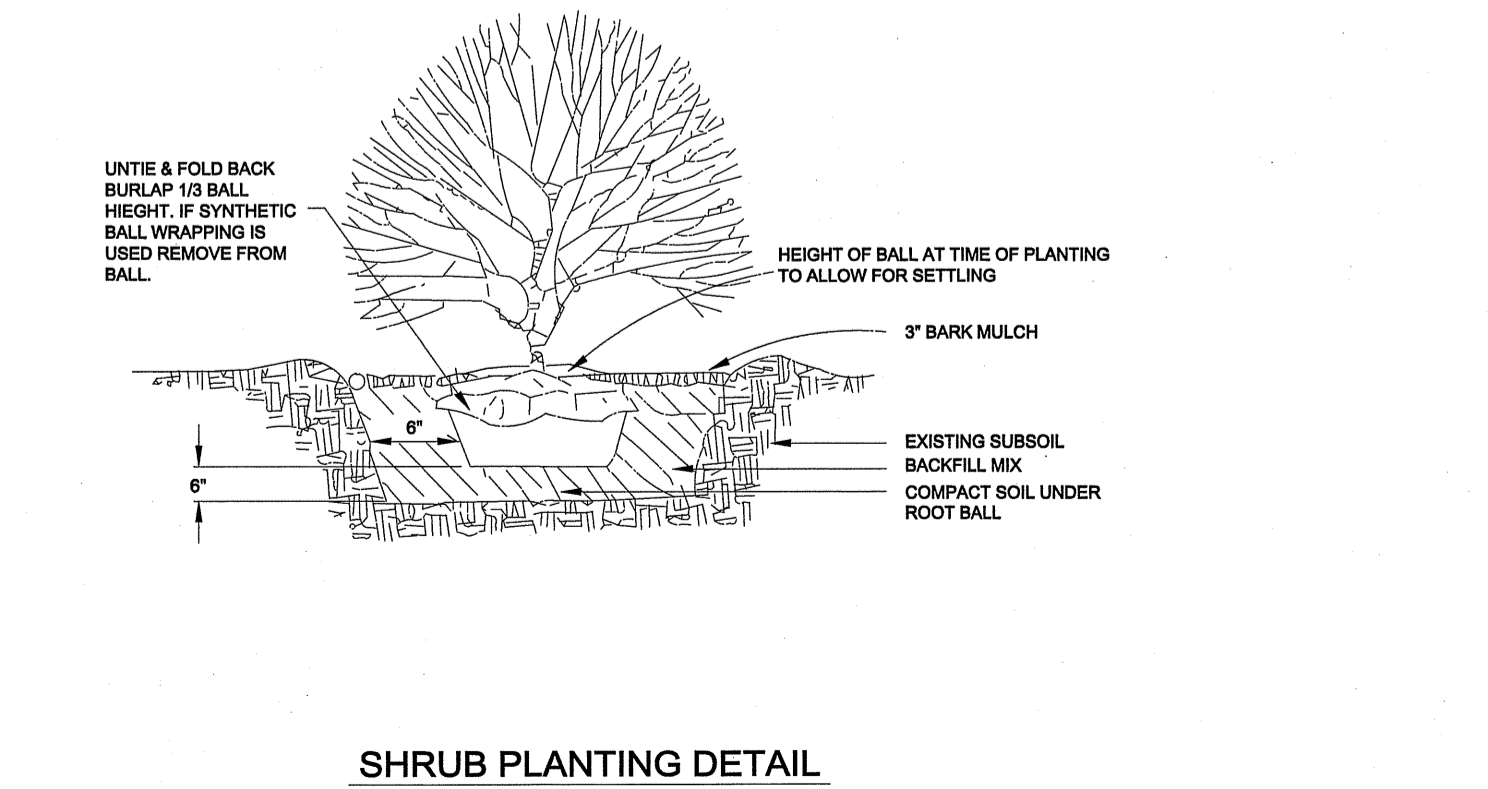
**Permanent Seeding Summary**

| No. | Species                    | Seed Mixture (For Hardness Zone 7b) (From Table 26) |                            | Seeding Depth | Fertilizer Rate (10-20-20)   |                             |                             | Lime Rate                     |
|-----|----------------------------|-----------------------------------------------------|----------------------------|---------------|------------------------------|-----------------------------|-----------------------------|-------------------------------|
|     |                            | Application Rate (lb/ac)                            | Seeding Dates              |               | N                            | P205                        | K20                         |                               |
| 10. | Tall Fescue<br>Hard Fescue | 120<br>30                                           | 3/1 - 5/15<br>8/15 - 11/15 | 1"-2"         | 90 lb/ac<br>(2.0 lb/1000 sf) | 175 lb/ac<br>(4 lb/1000 sf) | 175 lb/ac<br>(4 lb/1000 sf) | 2 tons/ac<br>(100 lb/1000 sf) |
| 11. |                            |                                                     |                            |               |                              |                             |                             |                               |
| 12. |                            |                                                     |                            |               |                              |                             |                             |                               |

**STABILIZED CONSTRUCTION ENTRANCE (SCE)**



- 1. Length - minimum of 50' (30' for single residence lot).
- 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
- 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.



**SITE DATA:**

- 1) TAX MAP 25, P. 54; ID# 03-016811
- 2) TOTAL TRACT: 18.319 +/- AC
- 3) TOTAL DISTURBED AREA: 0.99 +/- AC
- 4) ONSITE SOILS CONSIST OF:
  - Fa - FALLSINGTON SANDY LOAM
  - Fg - FALLSINGTON LOAM
  - LkD - LAKELAND LOAMY SAND
  - LmB - LAKELAND LOAMY SAND
  - Pm - POCOMOKE LOAM
  - WgB - WOODSTOWN SANDY LOAM
- 5) CONTACT WORCESTER COUNTY AT 410.632.1220, PRIOR TO PERFORMING ANY WORK ON THIS PROJECT IN ORDER TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE.
- 6) AN NOI IS NOT REQUIRED DUE TO THE SITE HAVING LESS THAN 1.0 ACRES OF DISTURBED AREA.
- 7) OWNER/APPLICATION/DEVELOPER:
  - ARDEN CENTER, LLC
  - P.O. BOX 311
  - CAPE CHARLES, VA 23310
  - PHONE: 410.221.4066

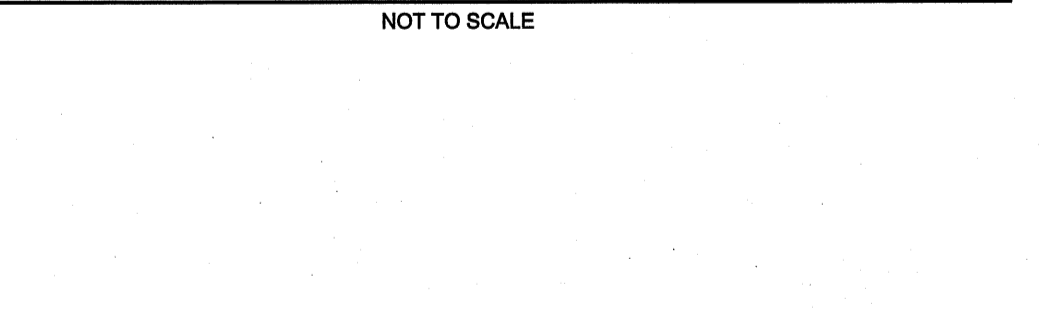
ALL DEVELOPMENT AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE 1994 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. THE OWNER AUTHORIZES THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE WORCESTER SOIL CONSERVATION DISTRICT, MARYLAND DEPARTMENT OF THE ENVIRONMENT OR THEIR AUTHORIZED AGENTS.\* (1) ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN. (2) ALL RESPONSIBLE PERSONNEL (ONE MINIMUM) INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. (3) THE OWNER OR DEVELOPER SHALL CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ENFORCEMENT AUTHORITY AND/OR MDE.

John W. Salm, III, President JWSS Enterprises, Inc.  
Manager for Arden Center, LLC  
1/18/20  
SIGNATURE/OWNER PRINTED NAME/OWNER DATE

ANYTIME A SOIL EROSION OR SEDIMENT CONTROL PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES WILL BE TAKEN BY THE OWNER AND/OR CONTRACTOR TO CORRECT THE PROBLEM. ALL PHASES OF CONSTRUCTION WILL ADHERE TO ALL SEDIMENT AND EROSION CONTROL MEASURES AS SET FORTH IN THE APPROVED SEDIMENT AND EROSION CONTROL PLAN FOR THIS SITE.

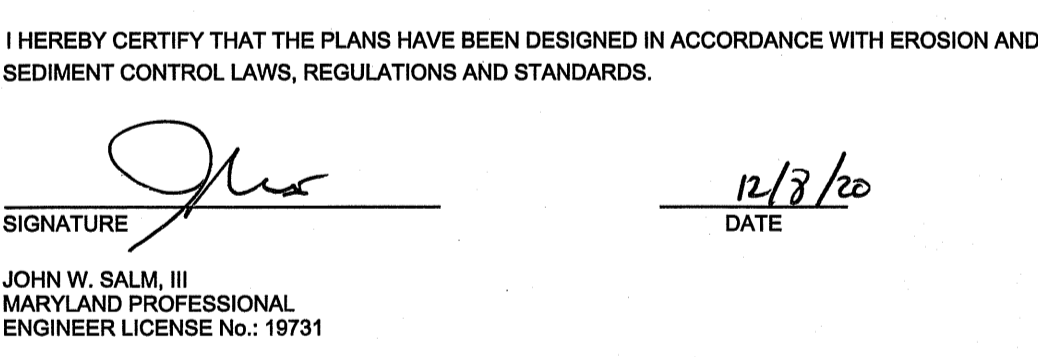
John W. Salm, III, President JWSS Enterprises, Inc.  
Manager for Arden Center, LLC  
1/18/20  
SIGNATURE/OWNER PRINTED NAME/OWNER DATE

**TYPICAL ROOFTOP DISCONNECT MANIFOLD DETAIL**



- 1. MANIFOLD SHALL BE LEVEL TO INSURE EQUAL DISTRIBUTION TO 4" DISCONNECTS OUTFALLS.
- 2. THERE SHALL BE ONE 4" DISCONNECT OUTFALL FOR EACH 500 S.F. OF IMPERVIOUS ROOF AREA.
- 3. CONTRACTOR SHALL NOTIFY WORCESTER COUNTY SWM/SEC INSPECTOR (410) 632-1200 EXT. 1140 48 HOURS PRIOR TO COVERING THE MANIFOLD AND DISCONNECT OUTFALLS.
- 4. RUNOFF FROM PARKING AREAS AND DRIVES SHALL BE TREATED VIA STONE SPREADER STRIPS WITH 75' DISCONNECTS.
- 5. DISCONNECT AREAS MAY CONSIST OF WOODS, LAWN, NON-TIDAL WETLANDS AND BUFFERS.
- 6. NO MORE THAN 500 S.F. OF ROOF TOP RUNOFF SHALL BE DIRECTED TO ANY ONE DISCONNECT OUTFALL.
- 7. MANIFOLDS MAY BE UTILIZED TO DISTRIBUTE LARGER FLOWS TO MULTIPLE DISCONNECT OUTFALLS AS LONG AS FLOWS ARE EQUALIZED TO INSURE THAT FLOWS TO ANY ONE DISCONNECT DOES NOT EXCEED THE RUNOFF GENERATED FROM 500 S.F. OF ROOFTOP.
- 8. DISCONNECT OUTFALLS SHALL BE NO CLOSER THAN 10' FROM ANY OTHER DISCONNECT OUTFALL.

**WORCESTER COUNTY PAVEMENT SECTION DETAIL**



ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS.

John W. Salm, III  
MARYLAND PROFESSIONAL ENGINEER LICENSE No. 19731  
1/18/20  
SIGNATURE/APPLICANT DATE

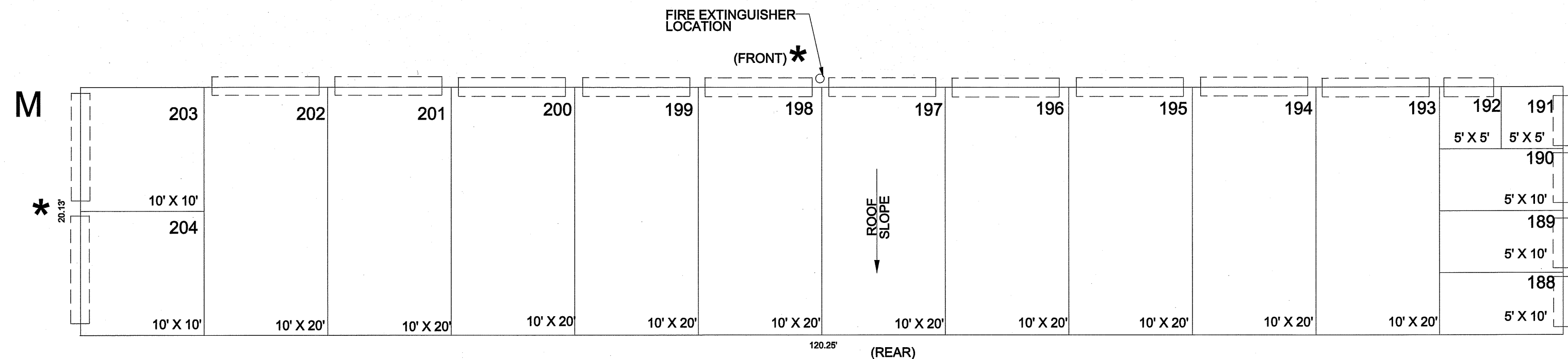
**NOTES AND DETAILS**

**MAIN STREET STORAGE BUILDINGS: L, M & N**  
PARCEL 54, TAX MAP 25  
THIRD TAX DISTRICT, BERLIN, MARYLAND

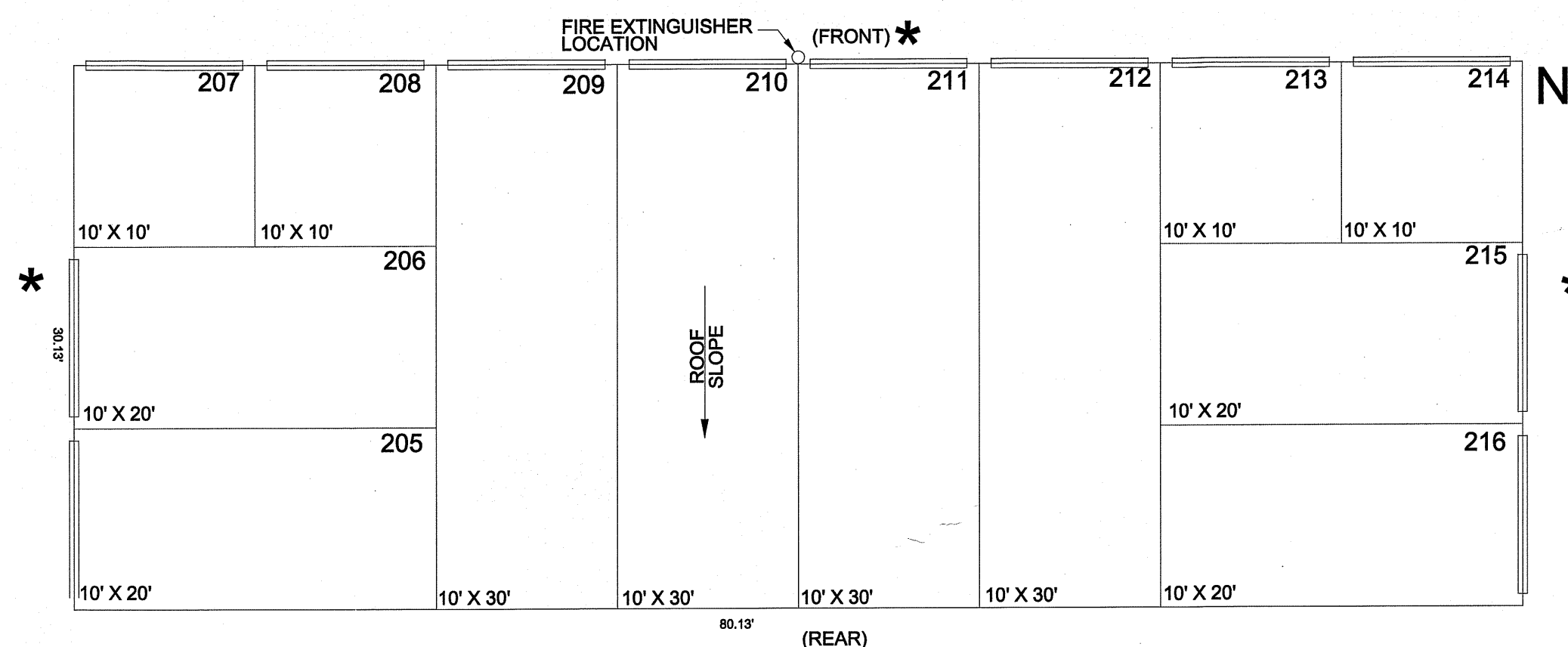
**J. W. SALM ENGINEERING, INC.**  
P. O. BOX 397, 9842 MAIN STREET, SUITE 3  
BERLIN, MD 21813

SCALE: AS SHOWN DATE: JAN. 2021 DRAWING No.: 216-04-006 SHEET No.: 6 of 6

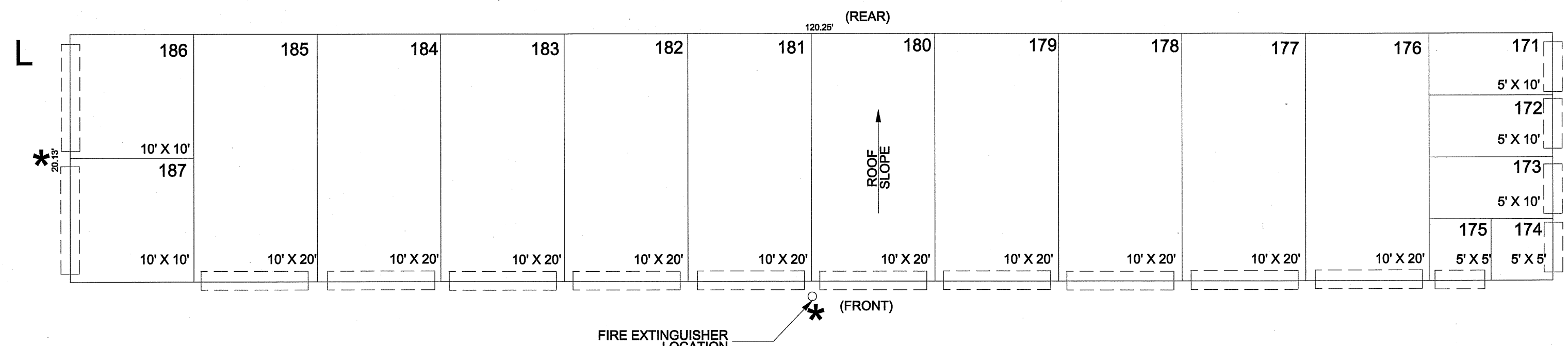




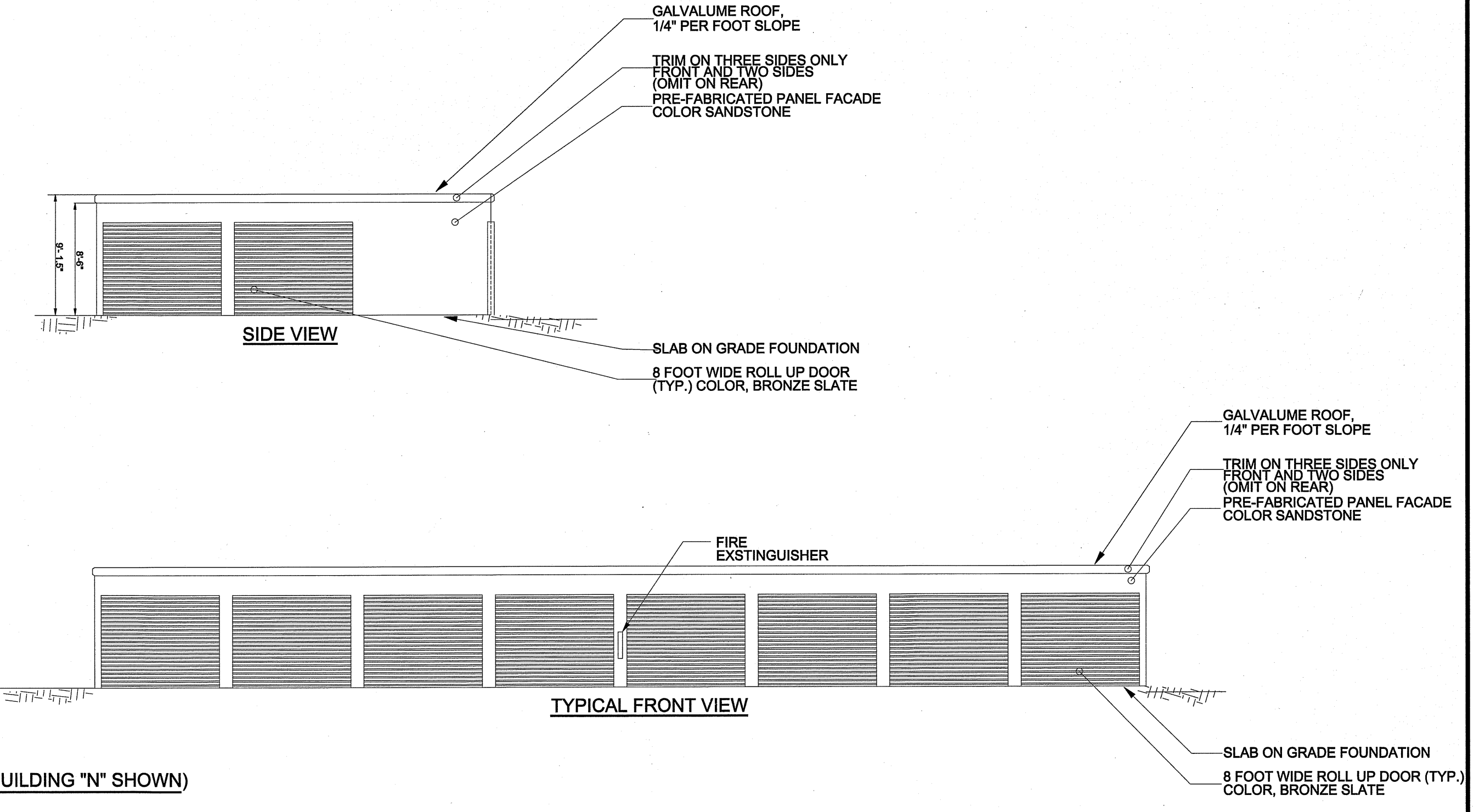
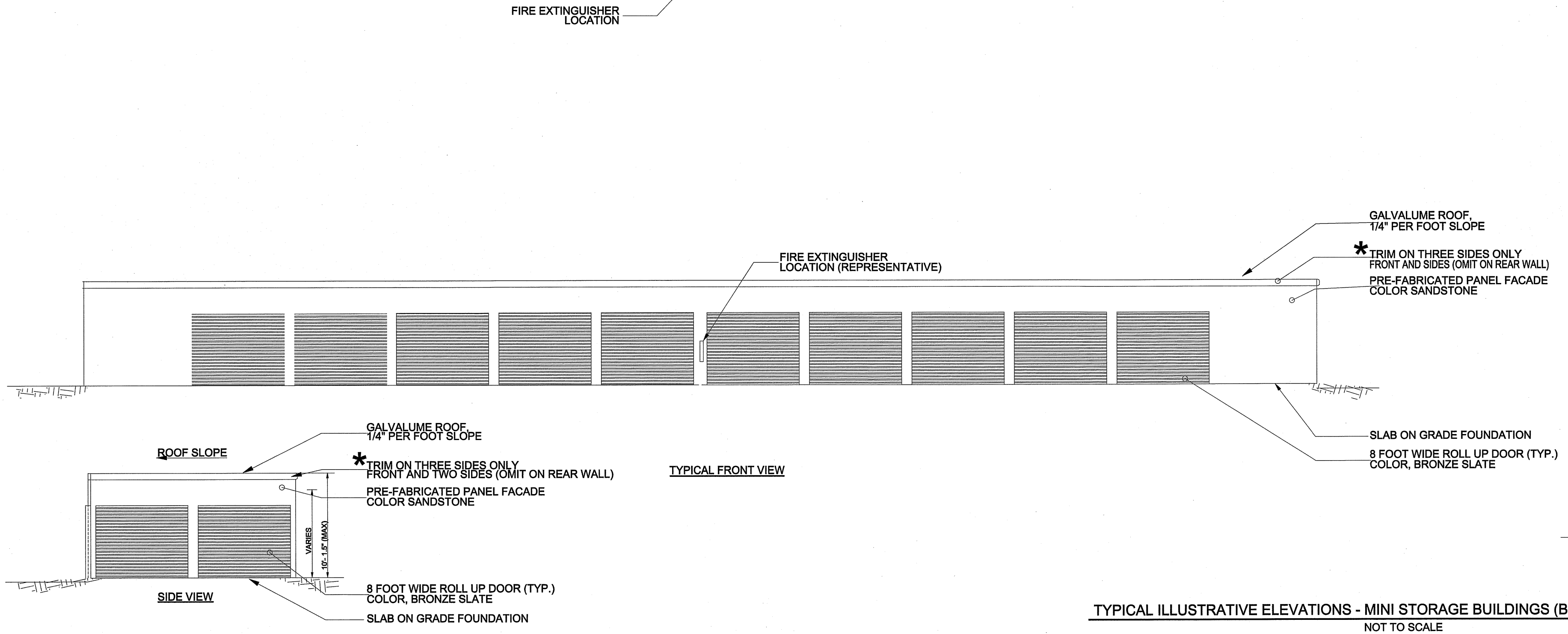
| STORAGE BUILDING "M" |       |
|----------------------|-------|
| SIZE                 | TOTAL |
| 5' X 5'              | 2     |
| 5' X 10'             | 3     |
| 10' X 10'            | 2     |
| 10' X 15'            | 0     |
| 10' X 20'            | 10    |
| 10' X 30'            | 0     |
| TOTAL                | 17    |



| STORAGE BUILDING "N" |       |
|----------------------|-------|
| SIZE                 | TOTAL |
| 5' X 5'              | 0     |
| 5' X 10'             | 0     |
| 10' X 10'            | 4     |
| 10' X 15'            | 0     |
| 10' X 20'            | 4     |
| 10' X 30'            | 4     |
| TOTAL                | 12    |



| STORAGE BUILDING "L" |       |
|----------------------|-------|
| SIZE                 | TOTAL |
| 5' X 5'              | 2     |
| 5' X 10'             | 3     |
| 10' X 10'            | 2     |
| 10' X 15'            | 0     |
| 10' X 20'            | 10    |
| 10' X 30'            | 0     |
| TOTAL                | 17    |



TYPICAL ILLUSTRATIVE ELEVATIONS - MINI STORAGE BUILDINGS (BUILDING "N" SHOWN)  
NOT TO SCALE

EXTERIOR COLORS:  
WALLS - SANDSTONE  
ROOF - GALVALUME, SINGLE SLOPE, NO GUTTERS  
TRIM - BRONZE SLATE  
\* THREE SIDES: FRONT AND TWO SIDES (OMIT ON REAR WALL)  
DOORS - BRONZE SLATE  
PROPOSED MINI-STORAGE  
BUILDINGS L, M, N  
TOTAL UNITS: 46  
SCALE: 1/8" = 1'-0"

|                                                                 |                                           |                                                                                                                           |            |
|-----------------------------------------------------------------|-------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|------------|
| DESIGNED BY:<br>JWS3<br>DRAWN BY:<br>AMS<br>CHECKED BY:<br>JWS3 | REVISIONS<br>JOHN W. SALM, III<br>12/8/20 | BUILDINGS L, M AND N - FLOOR PLANS                                                                                        |            |
|                                                                 |                                           | MAIN STREET STORAGE<br>AT ARDEN CENTER<br>PARCEL 54, TAX MAP 25<br>THIRD TAX DISTRICT, BERLIN, WORCESTER COUNTY, MARYLAND |            |
| MARYLAND PROFESSIONAL ENGINEER LICENSE No.: 19731               |                                           | <b>J. W. SALM ENGINEERING, INC.</b><br>P.O. BOX 397, 9842 MAIN STREET, SUITE 3<br>BERLIN, MD 21811                        |            |
| SCALE:<br>N.T.S.                                                | DATE:<br>JAN 2021                         | DRAWING No.:                                                                                                              | SHEET No.: |
|                                                                 |                                           | 216-04-201                                                                                                                | 1 OF 1     |



GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1003  
SNOW HILL, MARYLAND 21863-1194  
TEL: 410-632-5666  
FAX: 410-632-5664

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## TECHNICAL REVIEW COMMITTEE COMMENTS

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**PROJECT: Main Street Storage at Arden Center**  
**LOCATION: Tax Map 25; Parcel 54**  
**CONTACT: Arden Center LLC**  
**MEETING DATE: February 10, 2021**

**TRC #: 2021029**

**COMMENTS BY: Matthew Owens**  
**Chief Deputy Fire Marshal**

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As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

### Scope of Project

Proposed construction of three self-storage buildings.

### General Comments

1. A water supply for fire protection shall be identified indicating the following:
  - a. Water Source
  - b. Engineering study for reliability of water source
  - c. Size (in gallons) of water source
  - d. Replenishment of water supply
  - e. Diameter of in ground pipe
  - f. Number of hydrants
  - g. Location of hydrants
  - h. Roadway width and surface types
  - i. Distance from hydrant to roadway
2. If public water source, approved plans by the public works department.
3. Water source plans must be approved prior to recording of plat.
4. Fire hydrants shall be located within 3 ft. of curb line. Placement of fire hydrants shall be coordinated with this office prior to installation.

5. Obstructions shall not be placed or kept near fire hydrants, fire department inlet connections, or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately visible and accessible.
6. All underground water mains and hydrants **shall be installed, completed, and in service** prior to construction work or as soon as combustible material accumulates, whichever comes first. A stop work order will be issued if fire hydrants are not in service prior to construction work start.
7. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
8. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

#### Specific Comments

1. Complete set of building plans shall be submitted and approved prior to start of construction.
2. An automatic fire sprinkler system shall be installed throughout all mini-storage buildings greater than 2500 square feet. (NFPA 1 - 13.3.2.25.4)
3. Location and marking of fire lanes shall be coordinated with our office.
4. If a gated access is provided, fire department access shall be provided to the gated entrance through the use of an approved device or system.
5. No further comments at this time.



# Worcester County

Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Worcester County Technical Review Committee

**From:** Joy S. Birch, Natural Resources Specialist III (JB)

**Subject:** February 10, 2021 - Technical Review Committee Meeting

**Date:** January 26, 2021

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- **Main Street Storage** – Proposed construction of three (3) self-storage buildings (buildings L, M, & N) 2400sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. No Comment.

**Citizens and Government Working Together**




**Worcester County**  
Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Technical Review Committee

**From:** David Mathers, Natural Resources Planner 

**Subject:** Forest Conservation & Stormwater Management Review

**Date:** January 29, 2021

**Date of Meeting:** February 10, 2021

**Project:** Main Street Storage – Self Storage

**Location:** 9842 Main Street; Tax Map: 25; Parcel: 54

**Owner/Developer:** Arden Center, LLC

**Engineer:** J.W. Salm Engineering, Inc.

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**This project is subject to the Worcester County Forest Conservation Law.** This property is subject to Forest Conservation Plan #15-15. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of on-site Forest Conservation Easements. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements. This property is currently under review to amend the Forest Conservation Easements.

**This project is subject to the Worcester County Stormwater Ordinance.** The project has obtained Stormwater Concept Plan approval. This project will need stormwater final plan approval prior to issuance of a Stormwater Management and Sediment Control Permit.

All projects with a limits of disturbance (LOD) over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

**Citizens and Government Working Together**



DEPARTMENT OF  
ENVIRONMENTAL PROGRAMS


## Worcester County

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1306  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS  
STORMWATER MANAGEMENT  
SEDIMENT AND EROSION CONTROL  
SHORELINE CONSTRUCTION  
AGRICULTURAL PRESERVATION  
ADVISORY BOARD

WELL & SEPTIC  
WATER & SEWER PLANNING  
PLUMBING & GAS  
CRITICAL AREAS  
FOREST CONSERVATION  
COMMUNITY HYGIENE

### MEMORANDUM

DATE: March 11, 2020  
TO: Applicant  
FROM: Jenelle Gerthoffer, Natural Resources Administrator   
SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

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Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Jenelle Gerthoffer, at (410) 632-1220, ext. 1147.

January 28, 2021

Ms. Kristen Tremblay, Zoning Administrator  
Department of Developing, Review, and Planning  
Worcester County Government Center  
One West Market Street, Room 1201  
Snow Hill MD 21863

Dear Ms. Tremblay:

Thank you for the opportunity to review the minor site plan submission for the proposed addition to Main Street Storage, located at 9842 Main St., Berlin, MD. The Maryland Department of Transportation State Highway Administration (MDOT SHA) has reviewed the plans, and we are pleased to respond.

This minor site plan proposes the construction of three additional self-storage buildings, consisting of 7,200 square feet. A field review of this property determined an existing access point on MD 818, which is capable of supporting the increase in trips for the subject development addition. Subject to our aforementioned comments, we do not anticipate the project will negatively impact the surrounding State roadway network. Therefore, the MDOT SHA has no objection to the construction as proposed.

If you have any questions, or require anything additional, please contact Mr. Daniel Wilson, District 1 Access Management Regional Engineer, at 410-677-4048, by using our toll-free number (in Maryland only) at 1-800-825-4742 (x4048), or via email at [dwilson12@mdot.maryland.gov](mailto:dwilson12@mdot.maryland.gov). Mr. Wilson will be happy to assist you.

Sincerely,



James W. Meredith  
District Engineer

cc: Mr. Dallas Baker, D-1 Assistant District Engineer-Project Development, MDOT SHA  
Mr. Jeff Fritts, D-1 Access Management Inspector, MDOT SHA  
Mr. Rodney Hubble, Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA  
Mr. Tony Turner, Assist. Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA  
Mr. Daniel Wilson, D-1 Access Management Regional Engineer, MDOT SHA



## Worcester County

Department of Environmental Programs  
Environmental Programs Division

### Memorandum

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**To:** Technical Review Committee (TRC) for February 10, 2021 Meeting

**From:** Environmental Programs Staff

**Subject:** **Minor Site Plan: Main Street Storage at Arden Center – TM 25 P 54**

**Date:** February 1, 2021

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Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. There is no sewage flow attached to these structures, therefore, Environmental Programs has no comment on this project.

**Citizens and Government Working Together**



**WORCESTER COUNTY  
DEPARTMENT OF PUBLIC WORKS  
WATER & WASTEWATER DIVISION  
INTEROFFICE MEMORANDUM**

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**TO:** Kristen M. Tremblay, Zoning Administrator  
Development Review and Permitting

**FROM:** John S. Ross, P.E., Deputy Director of Public Works

**DATE:** February 1, 2021

**SUBJECT:** TRC Meeting – February 10, 2021



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**Site Plan Review**

**A. EJF Real Estate - Office Building**

Construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer

1. No Comment Well and Septic

**B. Bishopville Materials, LLC - Storage Areas**

Construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 58,197 sf total, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC, Engineer

1. No Comment Well and Septic

**C. Main Street Storage - Self-Storage**

Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

**D. B & C Business Park – Contractor Shops**

Construction of one (1) 9600 sf contractor shop building with 300 sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

cc: John H. Tustin, P.E. Director



**Worcester County**  
**DEPARTMENT OF PUBLIC WORKS**  
6113 TIMMONS ROAD  
SNOW HILL, MARYLAND 21863

**JOHN H. TUSTIN, P.E.**  
DIRECTOR

**JOHN S. ROSS, P.E.**  
DEPUTY DIRECTOR

TEL: 410-632-5623  
FAX: 410-632-1753

**MEMORANDUM**

**TO:** Kristen Tremblay, Zoning Administrator  
**FROM:** Frank J. Adkins, Roads Superintendent (FA)  
**DATE:** January 27, 2021  
**SUBJECT:** TRC Meeting – February 10, 2021

**DIVISIONS**

**MAINTENANCE**  
TEL: 410-632-3766  
FAX: 410-632-1753

**ROADS**  
TEL: 410-632-2244  
FAX: 410-632-0020

**SOLID WASTE**  
TEL: 410-632-3177  
FAX: 410-632-3000

**FLEET  
MANAGEMENT**  
TEL: 410-632-5675  
FAX: 410-632-1753

**WATER AND  
WASTEWATER**  
TEL: 410-641-5251  
FAX: 410-641-5185

.....  
**Section 1-325 Site Plan Review**

**A. EJF Real Estate – Office Building**

1. Will require commercial entrance permit and posting of a \$5,000.00 bond prior to permit signature.

**B. Bishopville Materials, LLC – Storage Area**

1. This projects borders State Highway and does not require a County commercial entrance permit.

**C. Main Street Storage – Self Storage**

1. No comments at this time.

**D. B & C Business Park – Contractor Shops**

1. No comments at this time.

cc: John H. Tustin, P.E.

FJA:ll\wfile2\users\llawrence\TRC\2021\2.10.21

**TECHNICAL REVIEW COMMITTEE**

STAFF PERSON:  Kristen M. Tremblay  DATE OF MEETING:  February 10, 2021

PROJECT:  **B & C Business Park – Contractor Shops (Minor Site Plan Review)**

Construction of one (1) 9600 sf contractor shop building with 300 sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

APPLICANT(S) IN ATTENDANCE: \_\_\_\_\_

TRC MEMBERS IN ATTENDANCE:

- \_\_\_\_\_ Tremblay, Zoning Administrator
- \_\_\_\_\_ Zirkle, DRP Specialist II
- \_\_\_\_\_ Miller, Building Plans Reviewer III
- \_\_\_\_\_ Mitchell, Environmental Programs
- \_\_\_\_\_ Marsh, Environmental Programs
- \_\_\_\_\_ Bradford, Environmental Programs
- \_\_\_\_\_ Birch, Environmental Programs
- \_\_\_\_\_ Gerthoffer, Environmental Programs
- \_\_\_\_\_ Mathers, Environmental Programs
- \_\_\_\_\_ Owens, Fire Marshal
- \_\_\_\_\_ Adkins, County Roads
- \_\_\_\_\_ Berdan, County Roads
- \_\_\_\_\_ Wilson, State Highway Admin.
- \_\_\_\_\_ Conner, State Highway Admin.
- \_\_\_\_\_ Ross, W & WW, DPW
- \_\_\_\_\_ Clayville, Planning Commission Rep.

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Under the terms of ZS 325(f)(1), this application is considered to be a minor site plan since the square footage of all structural improvements does not exceed 10,000 square feet in area. All minor site plans are reviewed and approved by the Technical Review Committee. The Technical Review Committee shall have the authority to forward an application to the Planning Commission when it is determined the site plan shall have a broad impact on the County or where otherwise deemed appropriate.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

February 10, 2021

Project: B & C Business Park – Contractor Shop Building (Minor site plan review). Construction of one (1) 9600 square foot contractor shop building with a 300 square foot attached shed, 9900 square feet in total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

Prepared by: Stuart White, DRP Specialist

Contact: swhite@co.worcester.md.us or (410) 632-1200, extension 1139

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete Building Permit Application along with the initial fee of \$300 made payable to “Worcester County.”
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Three (3) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections’ agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-210	C-2 General Commercial District
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-321	Off-Street Loading Zones
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-323	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

Basic Site Plan Corrections Required:

1. Please correct the Tax District identifier on the cover sheet to read “Third Tax District.”
2. Please make sure revision date is updated accordingly.

Access and Traffic Circulation:

1. Due to proximity of the intersection of Pitts Road and Old Worcester Highway as well as sight line concerns, it is recommended to locate the entranceway as far north as possible, south of Middle Branch, as further recommended by MDOT in the attachments.
2. Designate the proposed interparcel connector as “proposed future interparcel connector” on the site plan and amend the note to indicate that it will be installed at the time that parcel 173 is developed with a commercial land use.

Landscaping:

1. Please add additional landscape buffering on the southern side of the parcel between the proposed development and the existing residence on parcel 173.
2. In accordance with §ZS 1-322(g), a maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will be required to be provided at permit stage to accurately determine the bond amount.

Other:

1. There are a set of concrete stairs along the southern portion of the property’s frontage. Are there any plans to remove these?

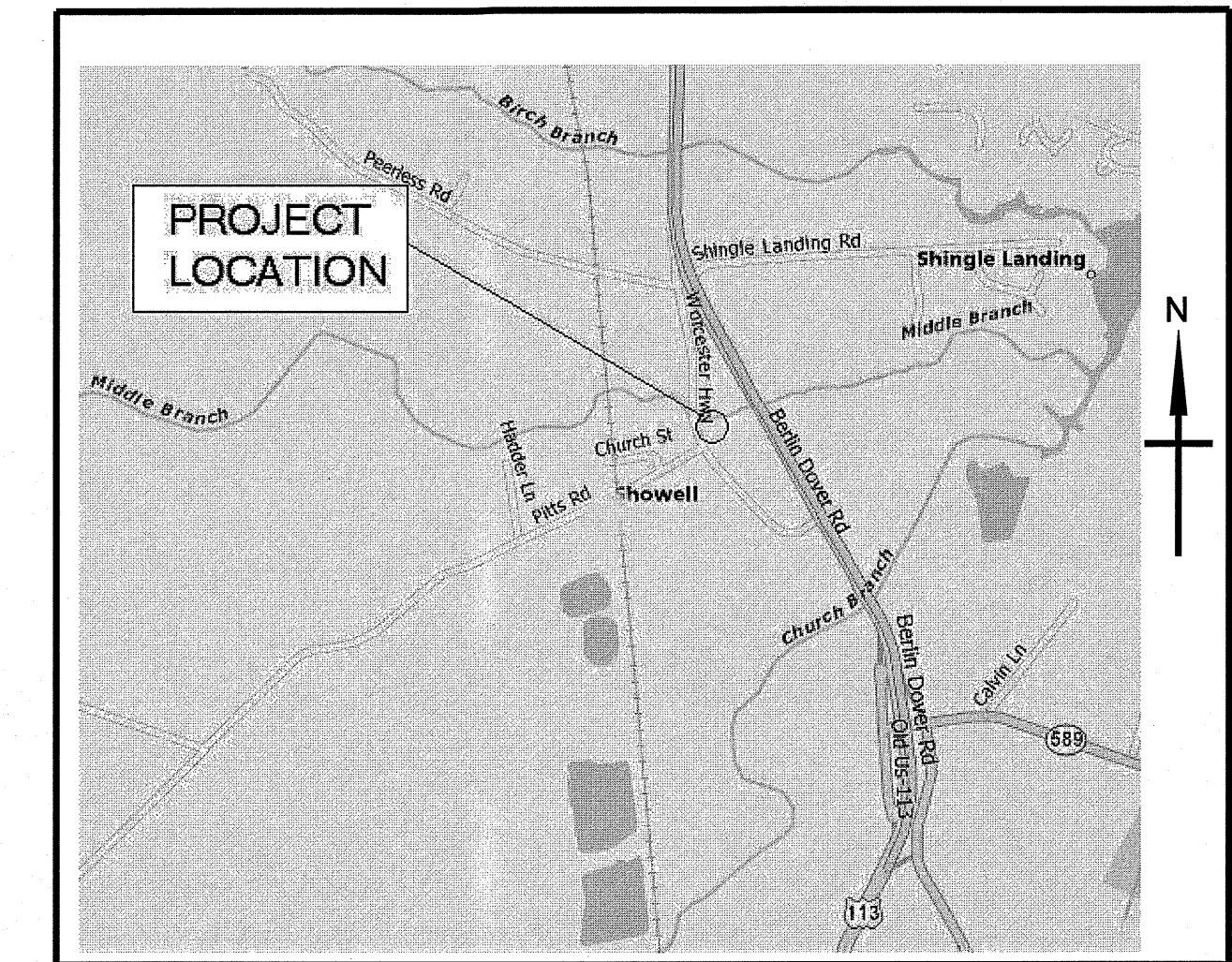
Other Agency Approvals:

1. Information relative to the water and wastewater facilities are required to be provided on the plans per §ZS 1-325(e)(3)(O&P). Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs and the Department of Public Works prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.
4. Approval from the Worcester County Health Department will be required at the permitting stage.

SITE PLAN, STORMWATER MANAGEMENT (SWM) PLAN AND, SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN, B & C BUSINESS PARK

PARCEL 114, TAX MAP 15

FIFTH TAX DISTRICT SHOWELL WORCESTER COUNTY MARYLAND



VICINITY MAP
SCALE : 1 IN. = 1,900 FT.

GENERAL NOTES:

1. ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED, IT IS CONSIDERED INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK. ITEMS LABELED "BY OTHERS" ARE NOT INCLUDED UNDER THIS WORK.
2. ALL EXISTING SITE CONDITIONS ARE BASED UPON THE FOREST STAND DELINEATION PLAN, FOREST CONSERVATION PLAN AND EXISTING CONDITIONS PLAN PREPARED BY R.D. BY HAND AND ASSOCIATES, DATED MARCH 31, 2008. LATEST SUPPLEMENTAL TOPOGRAPHIC SURVEY INFORMATION BY J. W. SALM ENGINEERING, INC., DATED JANUARY 2008. REVISION TO THE CORPS OF ENGINEERS AND MDE REGULATORY PROGRAMS AND THE DRAINAGE AREA AND SWM PLAN PREPARED BY FRANK G. LYNCH, JR. AND ASSOCIATES, INC. DATED JULY 18, 2006. PROVIDED BY THE OWNER. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID PLAN(S) AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS SATISFACTION, THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED.
3. UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN AND SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE PIPES ARE TOP OF PIPE ELEVATIONS.
4. THESE DRAWINGS SHOW INFORMATION REGARDING ABOVEGROUND AND UNDERGROUND UTILITIES WHICH EXIST OR MAY EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM RECORDS MADE AVAILABLE TO THE ENGINEER BY THE OWNER AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE DRAWINGS OR NOT. SHOULD ANY UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VERIFICATION OF ALL EXISTING SEWER INVERTS AND EXISTING STORM DRAIN INVERTS PRIOR TO THE START OF CONSTRUCTION.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF THE WORCESTER COUNTY, MARYLAND STATE HIGHWAY DEPARTMENT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT.
6. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED STRUCTURES AND SHALL BE STABILIZED WITH TOPSOIL, SEED AND MULCH, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE, RESEDED AND REMULCHED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE SEED TYPE AS SPECIFIED.
7. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
8. THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION. THE OWNER SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL ONLY.
9. THE CONTRACTOR SHALL HYDRAULICALLY TEST ALL PIPES AND CHAMBERS IN THE PRESENCE OF THE ENGINEER. FORTY EIGHT HOURS NOTICE SHALL BE GIVEN TO THE ENGINEER PRIOR TO THE CONTRACTOR PERFORMING TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THIS TESTING. SHOULD ANY PORTION OF THE WORK FAIL TO MEET THE CRITERIA, THE CONTRACTOR SHALL TAKE CORRECTIVE MEASURES, AT HIS OWN EXPENSE, TO CONFORM TO THE TEST REQUIREMENTS.
10. THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
11. NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH TO GROUND WATER. GENERALLY, PIPING, TRENCH AND STRUCTURE CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DEWATERED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
12. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
13. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.
 A) WORCESTER COUNTY, DRP (410) 632-1200
 B) MISS UTILITY (800) 441-8355
 C) J. W. SALM ENGINEERING, INC. (410) 641-0126
 D) MARYLAND DOT (410) 677-4000
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF AND/OR RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL STOCKPILES UPON COMPLETION OF WORK.
15. THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
16. TRENCH COMPACTION FOR ALL UTILITIES SHALL BE AS FOLLOWS:
 A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2% OF THE OPTIMUM MOISTURE CONTENT.
 B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT
17. THIS SITE IS NOT LOCATED WITH IN THE ATLANTIC COASTAL BAYS CRITICAL AREAS.
18. THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS REGARDING REGARDING IMPACTNON-TIDAL WETLANDS.
19. A MARYLAND DEPARTMENT OF ENVIRONMENT NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE. AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, AN INSPECTION MUST BE PERFORMED ONSITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ONSITE AT ALL TIMES.
20. THE OWNER IS REQUIRED TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF THE MARYLAND FOREST CONSERVATION ACT. FOREST CONSERVATION HAS BEEN PLATTED ON THE SITE.

LEGEND:

EXISTING FEATURES

- PARCEL LINE
- CONTOUR
- ZONING BOUNDARY
- EASEMENT
- OVERHEAD ELECTRIC LINE AND UTILITY POLE
- CULVERT PIPE
- EDGE OF PAVEMENT
- PUBLIC RIGHT-OF-WAY LINE
- BUILDING RESTRICTION LINE (BRL)
- NON-TIDAL WETLAND (N.T.W.) LINE
- N.T.W. BUFFER LINE
- TREELINE
- FLOOD ZONE BOUNDARY
- DITCH CENTERLINE
- DITCH TOP OF BANK

PROPOSED FEATURES

- PROPOSED BUILDING
- EDGE OF PARKING/ROADWAY
- SPREADER STRIP
- SIDEWALK
- SHEETFLOW ZONE
- CONTOUR
- SPOT ELEVATION
- FOREST CONSERVATION LINE
- FOREST CONSERVATION LINE AND EASEMENT

SITE DATA:

PARCEL 114 ID# 03-004325 TOTAL SITE AREA : 3.66+/- AC.

EXISTING ZONING:

C2, GENERAL COMMERCIAL AND RP: RESOURCE PROTECTION
PROPOSED NEW PRINCIPAL USE: CONTRACTOR SHOP

SETBACKS (C2):
FRONT YARD: 25 FEET
SIDE YARD: 8 FEET
REAR YARD: 20 FEET
MINIMUM LOT AREA: 6,000 S.F.
MINIMUM LOT WIDTH: 60 FT

PROPOSED BUILDINGS:

TYPE	SIZE	UNIT
CONTRACTOR SHOP	9,600 S.F.	12
ATTACHED SHED	300 S.F.	NA

PARKING DATA:

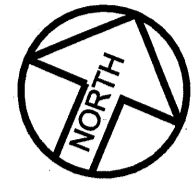
BUILDING	9,600 S.F.	12 UNITS
PARKING AT 14,000 S.F.	2.40	SAY 2 SPACES

INDEX OF DRAWINGS:

DRAWING NO.:	SHEET NO.:	TITLE
453-01-001	1 of 6	COVER SHEET, NOTES, INDEX & VICINITY MAP
453-01-002	2 of 6	EXISTING CONDITIONS PLAN
452-01-003	3 of 6	SITE PLAN
453-01-004	4 of 6	STORMWATER MANAGEMENT (SWM) PLAN
453-01-005	5 of 6	SOIL EROSION AND SEDIMENT CONTROL (SESC)
453-01-006	6 of 6	NOTES & DETAILS

<p>OWNER:</p> <p>B & C BUSINESS PARK</p> <p>11730 GUM POINT ROAD BERLIN, MD 21811 PHONE : 410.251.8751</p>	<p>ENGINEER/DESIGNER:</p> <p>J. W. SALM ENGINEERING, INC.</p> <p>P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811 PHONE : 410.641.0126</p>	<p>SURVEYOR:</p> <p>FRANK G. LYNCH JR. & ASSOC., INC.</p> <p>10535 RACETRACK ROAD BERLIN, MARYLAND 21811 PHONE : 410.641.5353</p>
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DESIGNED BY: JWS3	DRAWN BY: AMS	CHECKED BY: JWS3	COVER SHEET, NOTES, INDEX & VICINITY MAP B & C BUSINESS PARK PARCEL 114, TAX MAP 15 FIFTH TAX DISTRICT SHOWELL WORCESTER COUNTY MARYLAND J. W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811
JOHN W. SALM, III MARYLAND PROFESSIONAL ENGINEER LICENSE NO. 19731 EXPIRATION DATE: 08/01/2022			REVISIONS SCALE: AS SHOWN DATE: JAN. 2021 DRAWING No.: 199-03-001 SHEET No.: 1 of 6



TAX MAP 15 - PARCEL 119
N/F LANDS OF
JASON AND JENNIFER STITELY
DEED REF.: 3049/136
ZONED: C2
CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 177
E/F REAL ESTATE
DEED REF.: 7780/1
ZONED: C1/RP
CURRENT USE: VACANT

TAX MAP 15 - PARCEL 178
SMITH FARMS LIMITED PARTNERSHIP
DEED REF.: 6908/250
ZONED: I2
CURRENT USE: VACANT

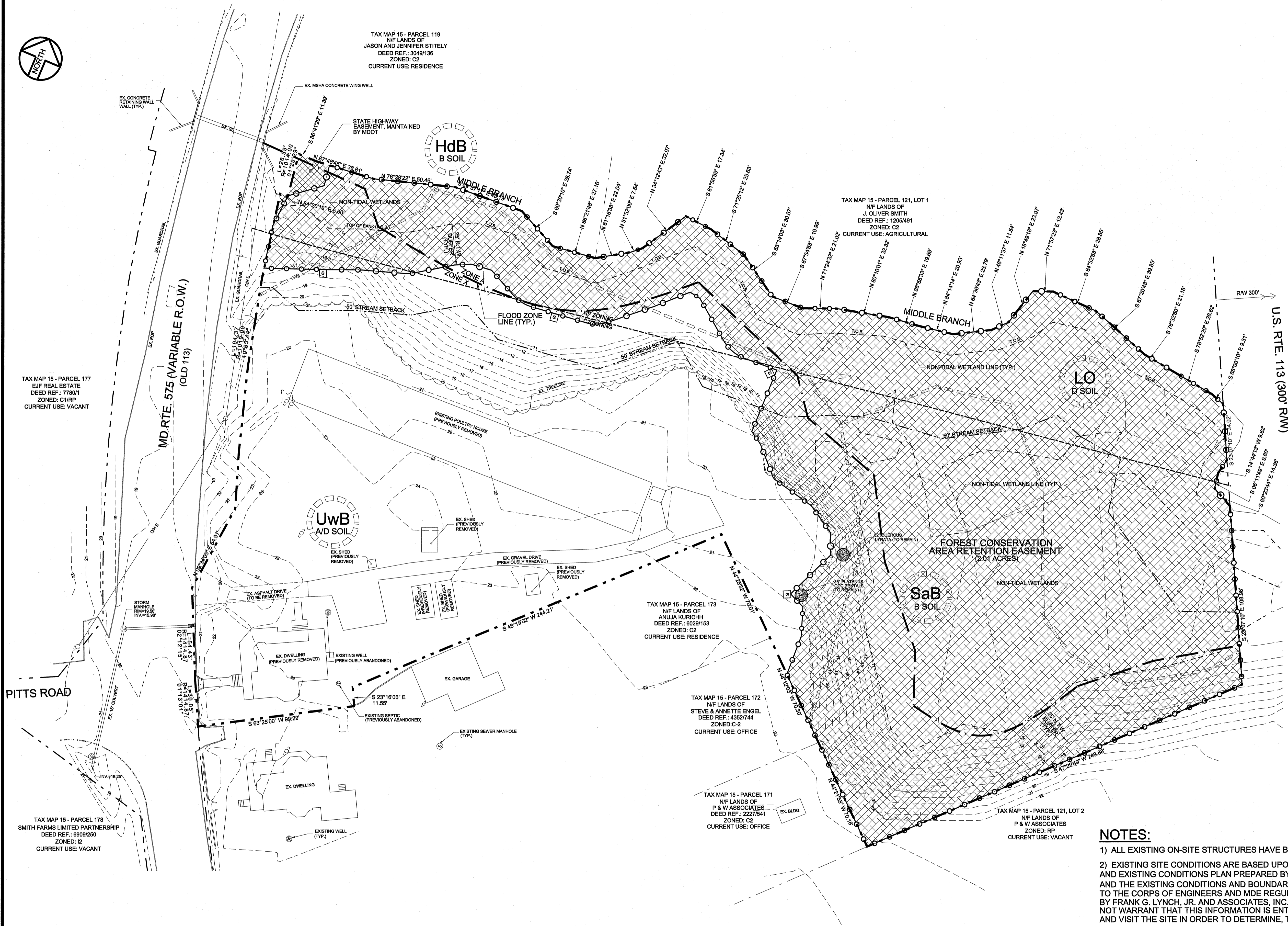
TAX MAP 15 - PARCEL 173
N/F LANDS OF
ANILIA KURICH
DEED REF.: 6029/163
ZONED: C2
CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 172
N/F LANDS OF
STEVE & ANNETTE ENGEL
DEED REF.: 4327/44
ZONED: C2
CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 171
N/F LANDS OF
P & W ASSOCIATES
DEED REF.: 2227/541
ZONED: C2
CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 121, LOT 1
N/F LANDS OF
J. OLIVER SMITH
DEED REF.: 1025/491
ZONED: C2
CURRENT USE: AGRICULTURAL

TAX MAP 15 - PARCEL 121, LOT 2
N/F LANDS OF
P & W ASSOCIATES
DEED REF.: 1025/491
ZONED: C2
CURRENT USE: VACANT

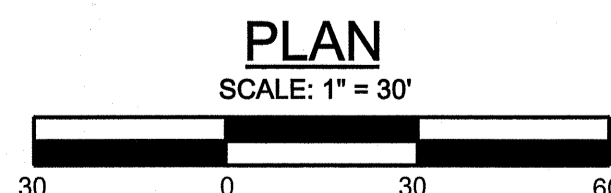


NOTES:

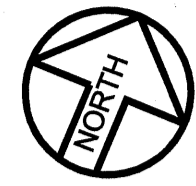
- 1) ALL EXISTING ON-SITE STRUCTURES HAVE BEEN REMOVED IN ACCORDANCE WITH DEMO PERMIT NO. 9905.
- 2) EXISTING SITE CONDITIONS ARE BASED UPON THE FOREST STAND DELINEATION PLAN, FOREST CONSERVATION PLAN AND EXISTING CONDITIONS PLAN PREPARED BY R.D. HAND AND ASSOCIATES, DATED MARCH 31, 2006, LATEST REVISION AND THE EXISTING CONDITIONS AND BOUNDARY OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS AND MDE REGULATORY PROGRAMS AND THE DRAINAGE AREA AND SWM PLAN PREPARED BY FRANK G. LYNCH, JR. AND ASSOCIATES, INC. DATED JULY 18, 2006, PROVIDED BY THE OWNER. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID PLAN(S) AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS SATISFACTION THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED.

PRE-DEVELOPMENT IMPERVIOUS AREA SUMMARY

ASPHALT & GRAVEL DRIVE	4,248 SQ.FT.
POULTRY HOUSE	7,755 SQ.FT.
DWELLING	2,315 SQ.FT.
SHEDS	586 SQ.FT.
TOTAL IMPERVIOUS AREA:	14,904 SQ.FT.



DESIGNED BY: JWS3	DRAWN BY: AMS	CHECKED BY: JWS3	EXISTING CONDITIONS PLAN	
JOHN W. SALM, III			B & C BUSINESS PARK PARCEL 114, TAX MAP 15	
MARYLAND PROFESSIONAL ENGINEER LICENSE NO. 19731			FIFTH TAX DISTRICT SNOWELL WORCESTER COUNTY MARYLAND	
REVISIONS			J. W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE: 1" = 30'	DATE: JAN. 2021	DRAWING No.:	SHEET No.:	
		199-03-002	2 of 6	



TAX MAP 15 - PARCEL 119
 N/F LANDS OF
 JASON AND JENNIFER STITELY
 DEED REF.: 3048/138
 ZONED: C2
 CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 121, LOT 1
 N/F LANDS OF
 J. OLIVER SMITH
 DEED REF.: 12054/91
 ZONED: C2
 CURRENT USE: AGRICULTURAL

TAX MAP 15 - PARCEL 177
 E/JF REAL ESTATE
 DEED REF.: 7780/1
 ZONED: C1/RP
 CURRENT USE: VACANT

TAX MAP 15 - PARCEL 173
 N/F LANDS OF
 ANJLIA KURICHH
 DEED REF.: 6029/153
 ZONED: C2
 CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 172
 N/F LANDS OF
 STEVE & ANNETTE ENGEL
 DEED REF.: 4352/744
 ZONED: C-2
 CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 171
 N/F LANDS OF
 P & W ASSOCIATES
 DEED REF.: 2227/541
 ZONED: C2
 CURRENT USE: OFFICE

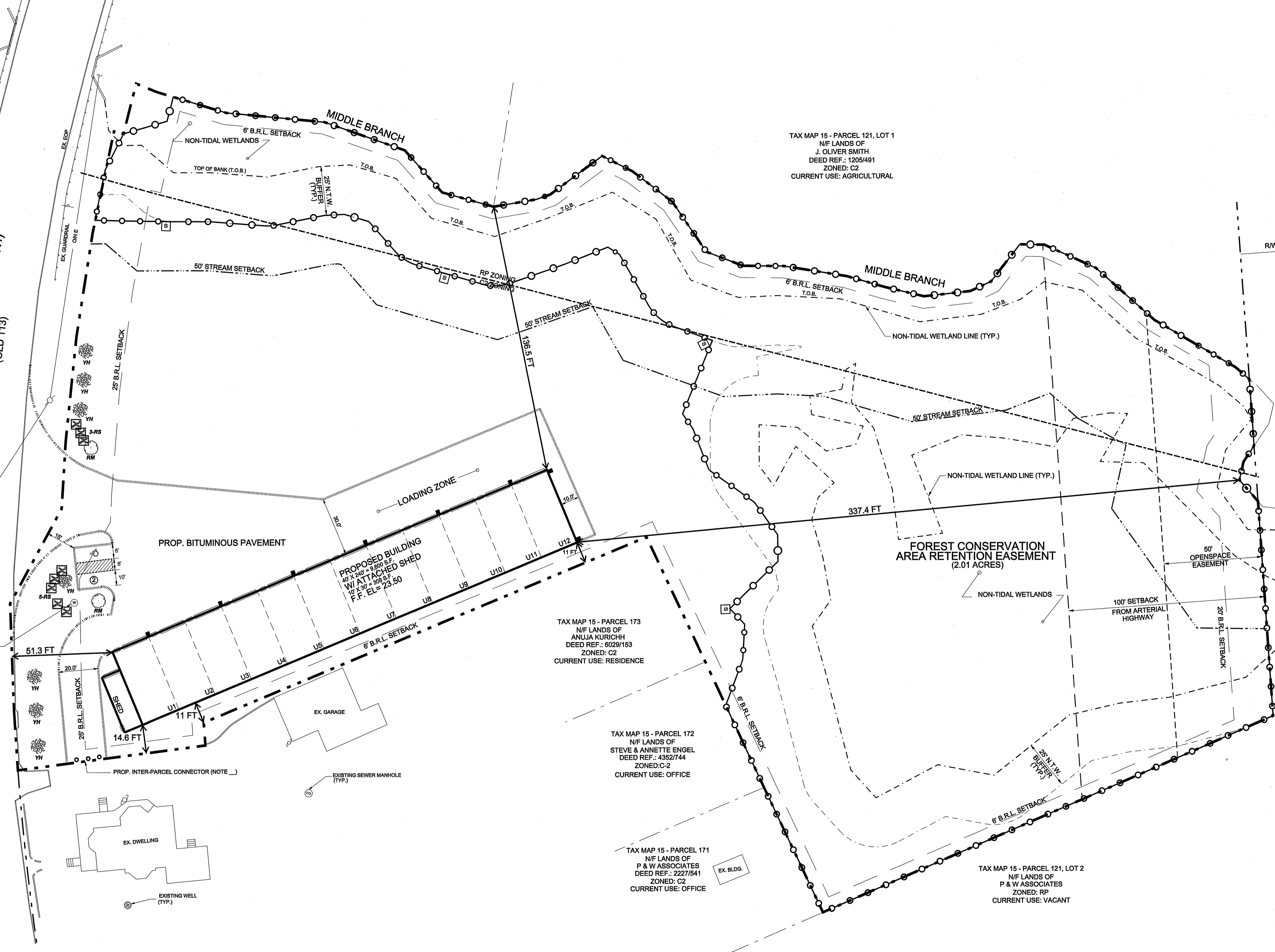
TAX MAP 15 - PARCEL 121, LOT 2
 N/F LANDS OF
 P & W ASSOCIATES
 ZONED: RP
 CURRENT USE: VACANT

TAX MAP 15 - PARCEL 178
 SMITH FARMS LIMITED PARTNERSHIP
 DEED REF.: 6909/250
 ZONED: I2
 CURRENT USE: VACANT

PITTS ROAD

MD RTE. 575 (VARIABLE R.O.W.)
 (OLD 113)

U.S. RTE. 113 (300' R.W.)

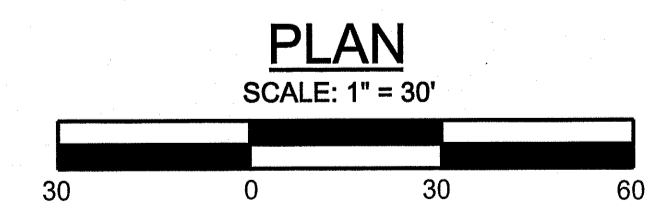


SITE PLAN NOTES:

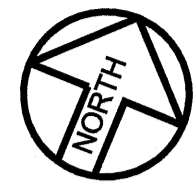
- 1) ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
- 2) THERE IS NO SEWER SERVICE FOR THIS PROPERTY.
- 3) WATER SUPPLY FOR IRRIGATION SHALL BE BY PRIVATE WELL.
- 4) PHOTO-CELL CONTROLLED, DARK-SKY, FULL CUT-OFF LED WALL PACK (9240 LUMENS MAX).
- 5) NO AGRICULTURAL STRUCTURES EXIST WITHIN 200 FEET OF THIS PROJECT SITE.
- 6) ALL NEW STANDARD PARKING STALLS SHALL BE 10' X 20' AND MARKED BY PAINTED LINES ON PAVEMENT. ALL NEW HANDICAP SPACES SHALL BE VAN ACCESSIBLE. SIGNAGE MARKINGS IN ACCORDANCE WITH ADA AND WORCESTER COUNTY REQUIREMENTS SHALL BE PROVIDED. HARD SURFACE LANDING AREAS SHALL BE PROVIDED FOR ACCESS AISLES.
- 7) PORTIONS OF THIS PARCEL LIE IN THE AE ZONE (B.F.E 24) AND THE X ZONE. THIS PROJECT IS LOCATED ENTIRELY IN THE X ZONE AS SHOWN ON THE FIRM MAP, COMMUNITY PANEL NO. 2404700153H, EFFECTIVE DATE JULY 16, 2015. BUILDING LIES IN ENTIRELY IN ZONE X.
- 8) PROVISIONS FOR WASTE REMOVAL SHALL BE BY WASTE WHEELER.
- 9) NO PAVEMENT SHALL BE PLACED WITHIN 4 FEET OF ANY TREE TRUNK.
- 10) THIS SITE IS NOT LOCATED WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
- 11) LANDSCAPING SHALL BE MAINTAINED BY THE OWNER. WATER SHALL BE PROVIDED VIA ON-SITE WELL CONNECTED TO THE AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR.
- 12) FIRE LANES SHALL BE PROVIDED AT THE START OF THIS PROJECT AND SHALL BE NOT LESS THAN 20 FEET IN UNOBSTRUCTED WIDTH WITH A MINIMUM VERTICAL CLEARANCE OF 13'-6".
- 13) REFER TO THE FOREST CONSERVATION PLAN PROVIDED UNDER SEPARATE COVER FOR FOREST CONSERVATION DETAILS AND REQUIREMENTS FOR FOREST CONSERVATION IS EXISTING.
- 14) PROPOSED BOLLARD PAIRS (TYP. - 2 PLACES).
- 15) PROPOSED INTER-PARCEL CONNECTOR LOCATION WITH THREE BOLLARDS. BOLLARDS SHALL BE REMOVED AT THE TIME THAT PARCEL 173 IS DEVELOPED.

LANDSCAPING LEGEND											
TREE FORM LEGEND	NATIVE ES	QUANTITY	PLANTING		HEIGHT AT MATURITY	SHRUB/GRASSES LEGEND	NATIVE ES	QUANTITY	PLANTING		HEIGHT AT MATURITY
			HEIGHT	CALIPER/SIZE					HEIGHT	CALIPER/SIZE	
RED MAPLE (<i>Acer rubrum</i>)	Y	2	10'	1.5"	25'	ROSES SHRUB (<i>Rosa laetifolia</i>)	N	9	N/A	3 gal	2.5'
YALEPON HOLLY (<i>Ilex verticillata</i>)	Y	7	10'	1.5"	12"-25"						

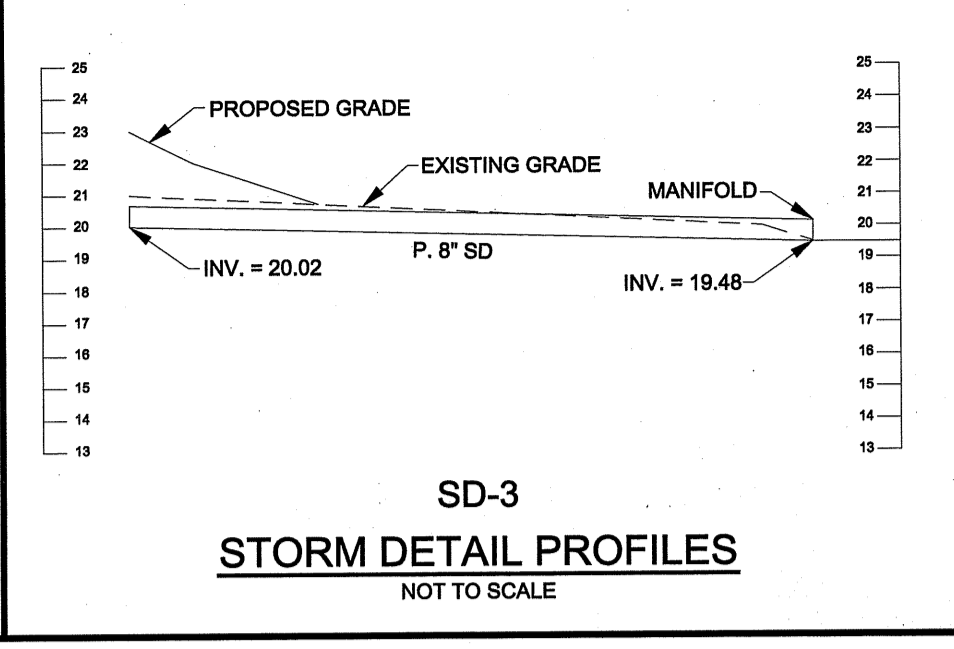
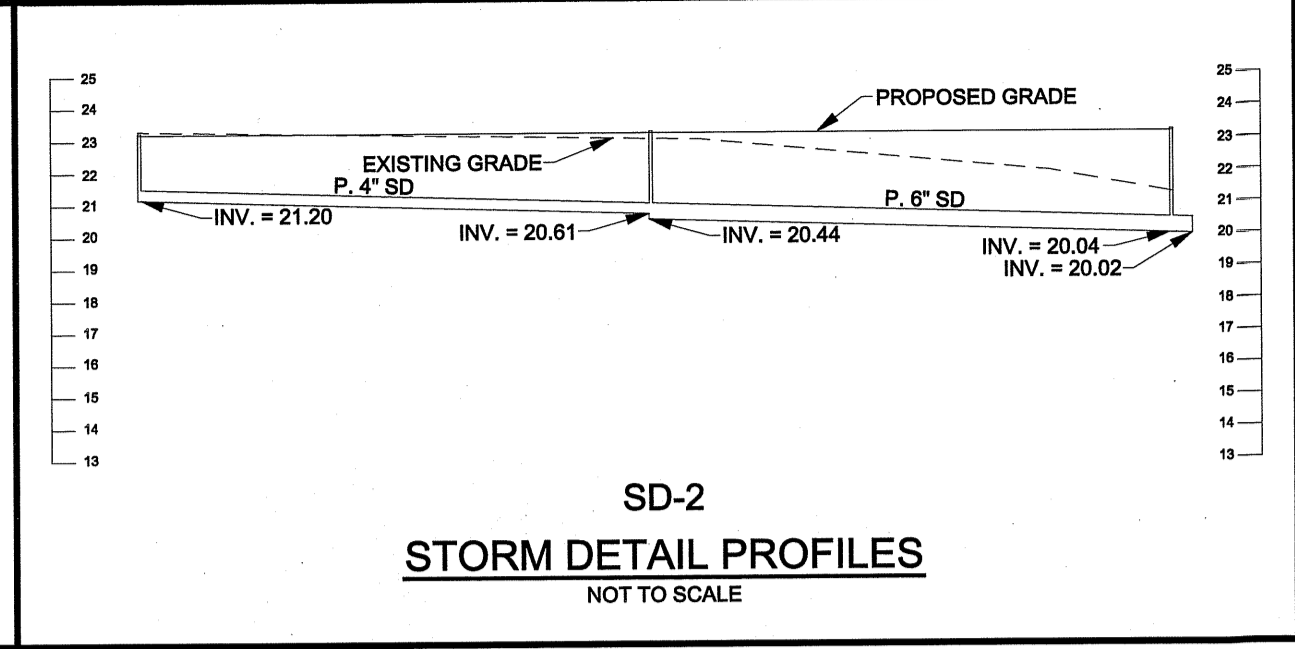
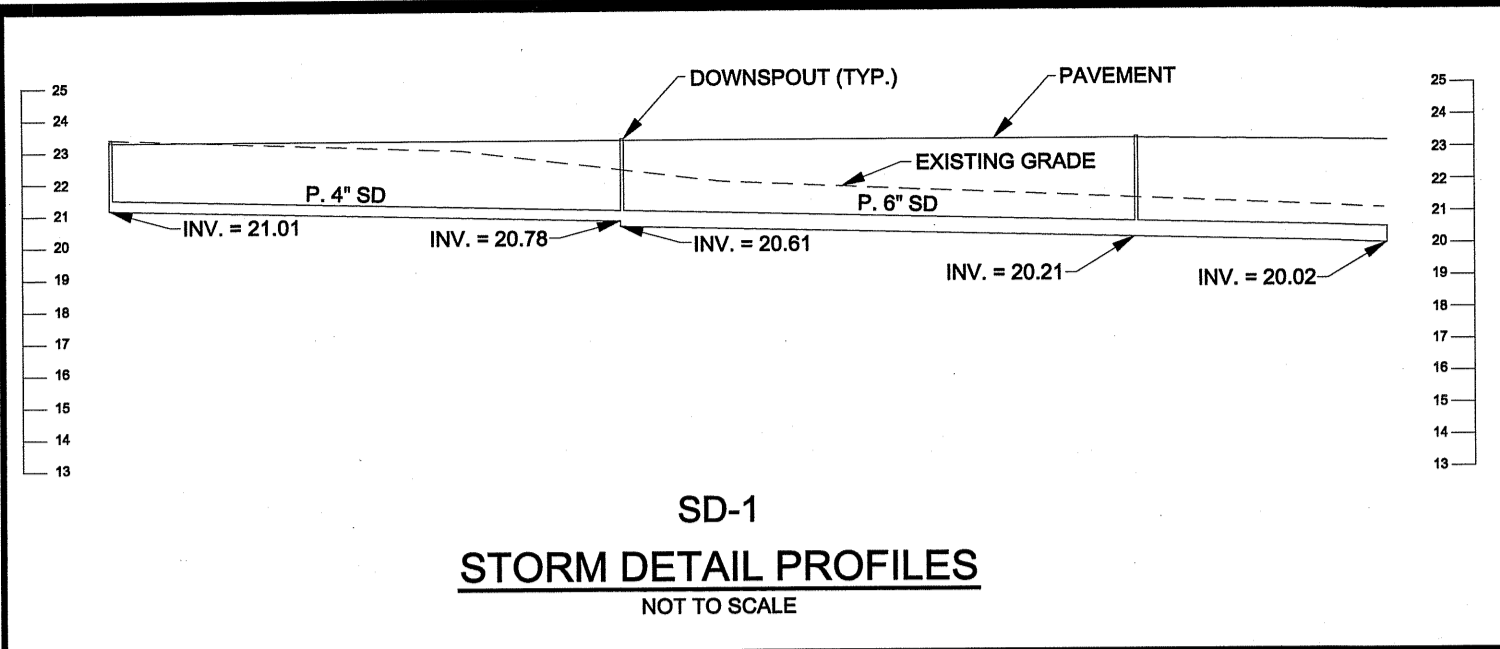
LANDSCAPING NOTES:
 1) PLANT TYPES MAY BE SUBSTITUTED FOR OTHERS USING MATERIALS NATIVE TO WORCESTER COUNTY WITH DRP APPROVAL. PERIODICALLY EXAMINE LANDSCAPING FOR ROUTINE MAINTENANCE SUCH AS MULCHING, PLANT REPLACEMENT AND PRUNING. MAINTAIN WATERING, ESPECIALLY DURING DRY SEASON. WATERING SHALL BE VIA AUTOMATIC SPRINKLER SYSTEM WITH RAIN SENSOR.



DESIGNED BY: JR	DRAWN BY: AMS	CHECKED BY: JWS3	SITE PLAN			
REVISIONS						
 JOHN W. SALM, III MARYLAND PROFESSIONAL ENGINEER LICENSE No. 19731			B & C BUSINESS PARK PARCEL 114, TAX MAP 15 FIFTH TAX DISTRICT SHOWELL WORCESTER COUNTY MARYLAND J. W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			
SCALE: 1" = 30'	DATE: JAN. 2021	DRAWING No.:	SHEET No.:			
		199-03-003	3 of 6			



TAX MAP 15 - PARCEL 119
N/F LANDS OF
JASON AND JENNIFER STITELY
DEED REF.: 3049/136
ZONED: C2
CURRENT USE: RESIDENCE



TAX MAP 15 - PARCEL 177
EJF REAL ESTATE
DEED REF.: 7780/1
ZONED: C1RP
CURRENT USE: VACANT

MD RTE. 575 (VARIABLE R.O.W.)
(OLD 113)

PITTS ROAD

TAX MAP 15 - PARCEL 178
SMITH FARMS LIMITED PARTNERSHIP
DEED REF.: 6909/290
ZONED: I2
CURRENT USE: VACANT

TAX MAP 15 - PARCEL 121, LOT 1
N/F LANDS OF
J. OLIVER SMITH
DEED REF.: 12054/91
ZONED: C2
CURRENT USE: AGRICULTURAL

TAX MAP 15 - PARCEL 173
N/F LANDS OF
ANILIA KURICHH
DEED REF.: 6029/153
ZONED: C2
CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 172
N/F LANDS OF
STEVE & ANNETTE ENGEL
DEED REF.: 4392/744
ZONED: C-2
CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 171
N/F LANDS OF
P & W ASSOCIATES
DEED REF.: 2227/541
ZONED: C2
CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 121, LOT 2
N/F LANDS OF
P & W ASSOCIATES
ZONED: RP
CURRENT USE: VACANT

FLOW DIRECTION ARROWS

- PIPE FLOW
- SWALE/DITCH FLOW
- ROOF FLOW
- PAVEMENT SLOPE
- SHEET FLOW
- RAIN/DOWNSPOUT/LEADER/DRAIN
- GUTTER FLOW

U.S. RTE. 113 (300' R/W)

FOREST CONSERVATION
AREA RETENTION EASEMENT
(2.01 ACRES)

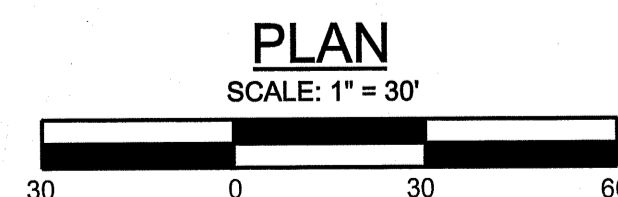
100' SETBACK
FROM ARTERIAL
HIGHWAY

SEQUENCE OF CONSTRUCTION FOR SWM & SESC

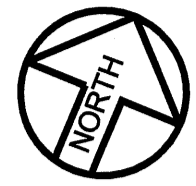
- A) CONTACT THE WORCESTER COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS AT 410-632-1220 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER."
- B) INSTALL PERIMETER CONTROLS ONLY; CONSTRUCTION ENTRANCE, SILT FENCES. REQUEST INSPECTION FROM WORCESTER COUNTY PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- C) CLEAR AND GRUB THE SITE.
- D) THE CONTRACTOR SHALL PERFORM THE GRADING OPERATIONS IN ACCORDANCE WITH THIS PLAN. PAD OUT THE SITE.
- E) DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS EXCAVATION PROCEEDS, IN ACCORDANCE WITH THE 37 DAY RULE.
- F) ONCE THE BUILDINGS ARE UP AND OUT OF THE GROUND, TEMPORARILY STABILIZE ALL DRIVE AREAS.
- G) CONTRACTOR SHALL INSTALL DRY WELLS AND STORM DRAIN PIPES. CONNECT ALL GUTTER DOWN SPOUTS.
- H) THE CONTRACTOR SHALL COORDINATE WORK WITH ALL TRADES TO ENSURE THAT ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES REMAIN IN EFFECTIVE WORKING CONDITION.
- I) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A REVISED SEDIMENT AND EROSION CONTROL PLAN IF THE CONTRACTOR DEVIATES FROM THESE DRAWINGS.
- J) UPON COMPLETION OF ALL WORK, REMOVE TEMPORARY SOIL EROSION CONTROL DEVICES AND CLEAN OUT STRUCTURES AFTER FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS GRANTED.

SWM O & M NOTES (MAINTENANCE & INSPECTION)

- 1) THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM.
- 2) ALL STORMDRAIN PIPE, MANIFOLDS, OUTLETS AND DRY WELLS SHALL BE EXAMINED ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. ANY DAMAGE SHALL BE PROPERLY REPAIRED.



DESIGNED BY: JR	DRAWN BY: AMS	CHECKED BY: JWS3	STORMWATER MANAGEMENT AND GRADING PLAN B & C BUSINESS PARK PARCEL 114, TAX MAP 15
REVISIONS			
 JOHN W. SALM, III MARYLAND PROFESSIONAL ENGINEER LICENSE NO.: 19731			FIFTH TAX DISTRICT SHOWELL WORCESTER COUNTY MARYLAND J. W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811
SCALE: 1" = 30'	DATE: JAN. 2021	DRAWING No.: 199-03-004	SHEET No.: 4 of 6



TAX MAP 15 - PARCEL 119
N/F LANDS OF
JASON AND JENNIFER STITELY
DEED REF.: 3049/136
ZONED: C2
CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 121, LOT 1
N/F LANDS OF
J. OLIVER SMITH
DEED REF.: 12054/41
ZONED: C2
CURRENT USE: AGRICULTURAL

TAX MAP 15 - PARCEL 177
EJF REAL ESTATE
DEED REF.: 778/1
ZONED: C1/RP
CURRENT USE: VACANT

TAX MAP 15 - PARCEL 173
N/F LANDS OF
ANILIA KURICHH
DEED REF.: 6029/153
ZONED: C2
CURRENT USE: RESIDENCE

TAX MAP 15 - PARCEL 172
N/F LANDS OF
STEVE & ANNETTE ENGEL
DEED REF.: 4392/744
ZONED: C-2
CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 171
N/F LANDS OF
P & W ASSOCIATES
DEED REF.: 2227/541
ZONED: C2
CURRENT USE: OFFICE

TAX MAP 15 - PARCEL 121, LOT 2
N/F LANDS OF
P & W ASSOCIATES
ZONED: RP
CURRENT USE: VACANT

SESC GENERAL NOTES:

1. CONSTRUCT ALL STORM DRAINS IN AN UPSTREAM DIRECTION. WORK FROM OUTLETS OR OUTFALLS TOWARDS CATCH BASINS OR INLETS. NO SEDIMENT LOADED WATER SHALL ENTER STORM DRAIN PIPES.
2. CONNECT SILT FENCES AND DRAINAGE CONTROLS TO STONE OUTLET STRUCTURES AFTER STRUCTURES ARE CONSTRUCTED AND SURROUNDING EMBANKMENTS ARE STABILIZED. REMOVE PORTIONS OF SILT FENCES ACROSS OUTLETS WHEN CONSTRUCTION IS COMPLETE TO PREVENT CONCENTRATED FLOWS INTO SILT FENCES. WRAP SILT FENCE OVER THE TOP OF OUTLET PIPES AS NEEDED.
3. THE PROJECT SHALL BE IN COMPLIANCE WITH ALL SECTIONS OF THE ANNOTATED CODE OF MARYLAND, ENVIRONMENTAL ARTICLE, SUBTITLE 1, SEDIMENT CONTROL 4-101 THROUGH 4-116, COMAR 26.17.01.11 AND THE 2011 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
4. ALL PROPOSED CONSTRUCTION MUST BE REFERENCED IN OR REPRESENTED BY A SPECIFIC SOC.
5. ALL STAGES MUST REFERENCE ALL RELEVANT SESC NOTES IN THE APPROPRIATE SECTION.

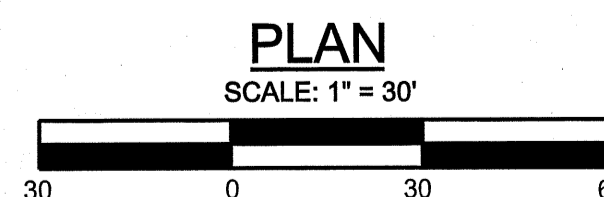
DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY. THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.
2. TEMPORARY METHODS:
 - A. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED OR PREVENT BLOWING.
 - B. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
 - C. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESEL-TYPE PLOWS SPACED ABOUT 17' APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - D. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
 - E. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
3. PERMANENT METHODS:
 - A. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
 - B. TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS.
 - C. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

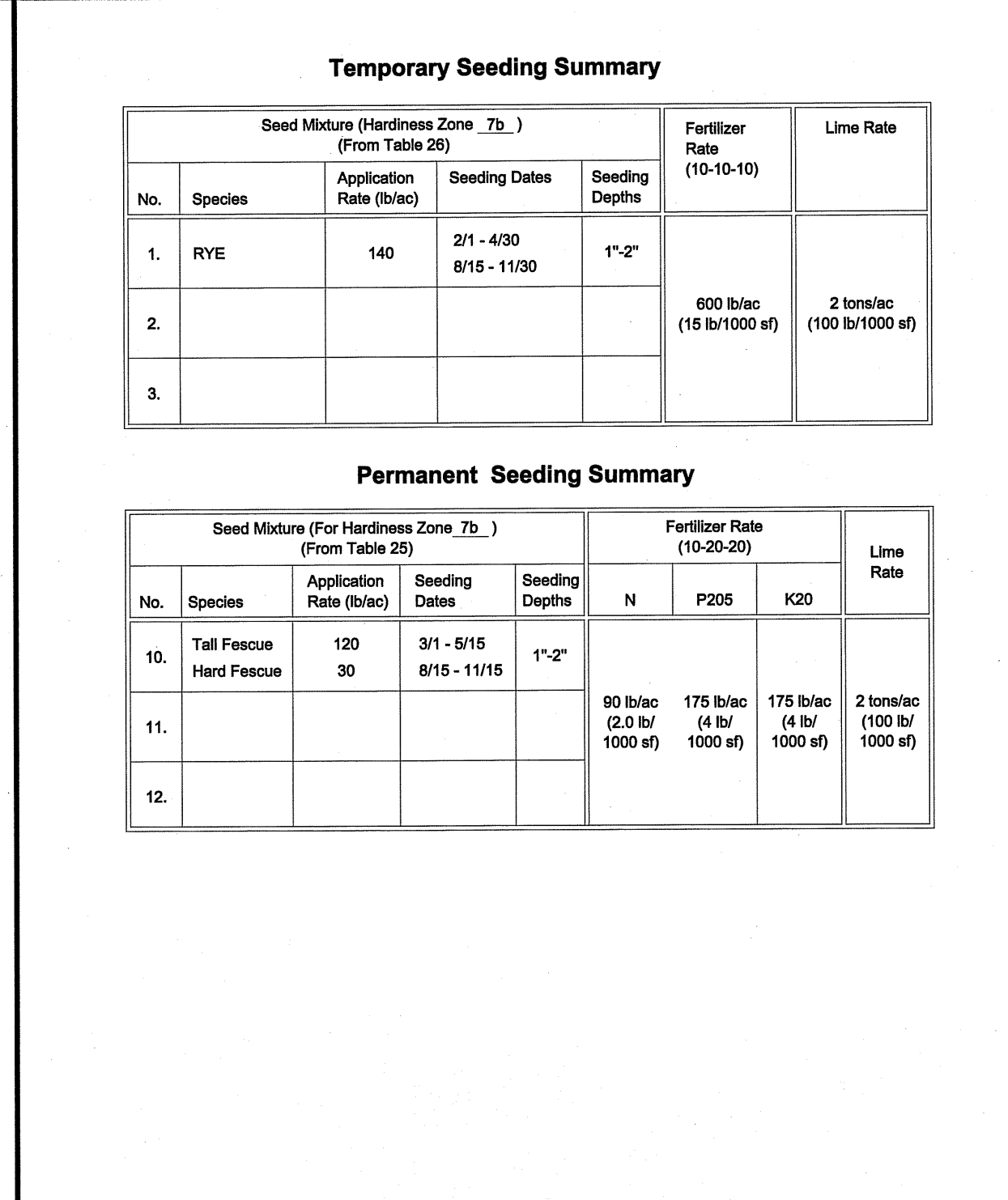
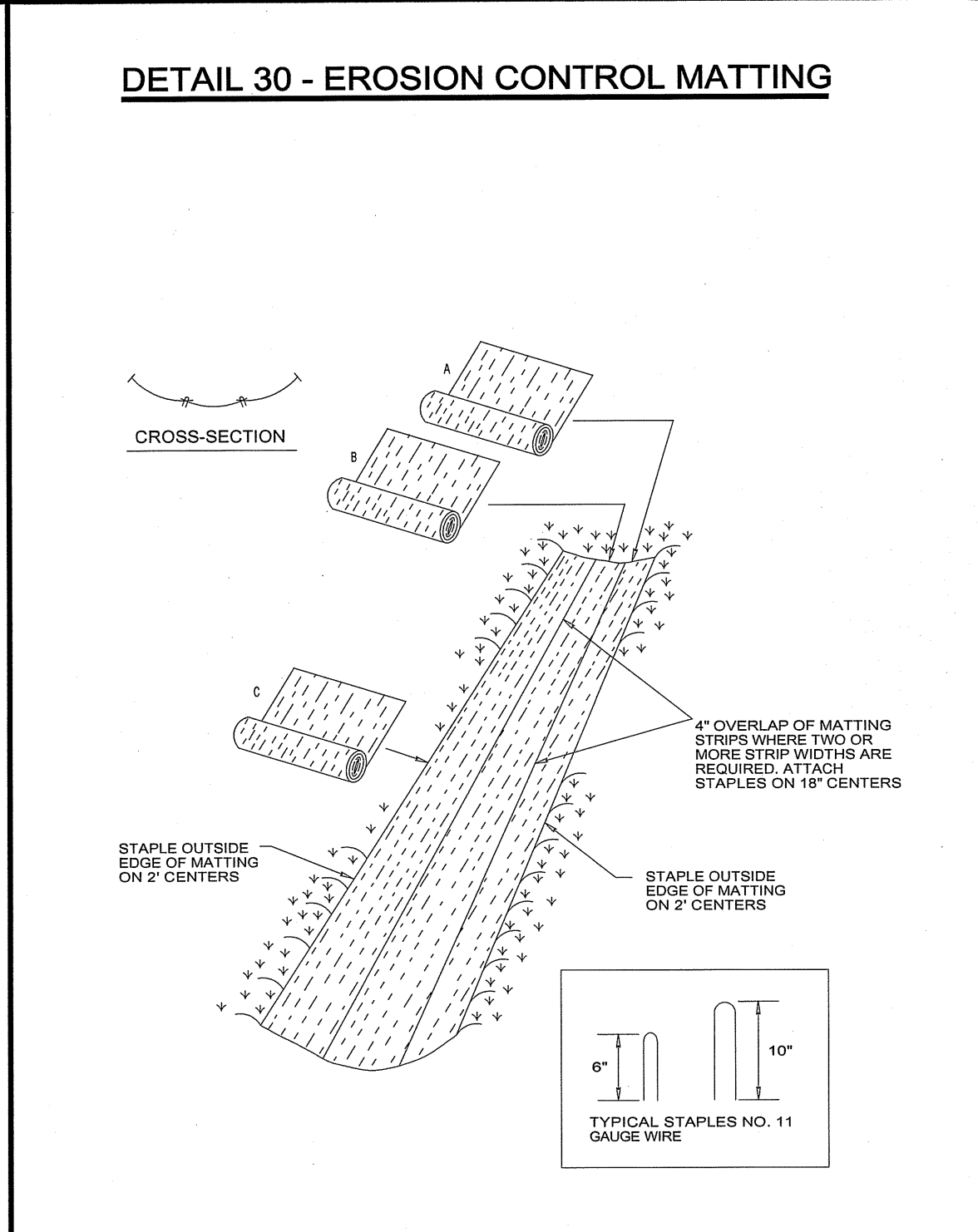
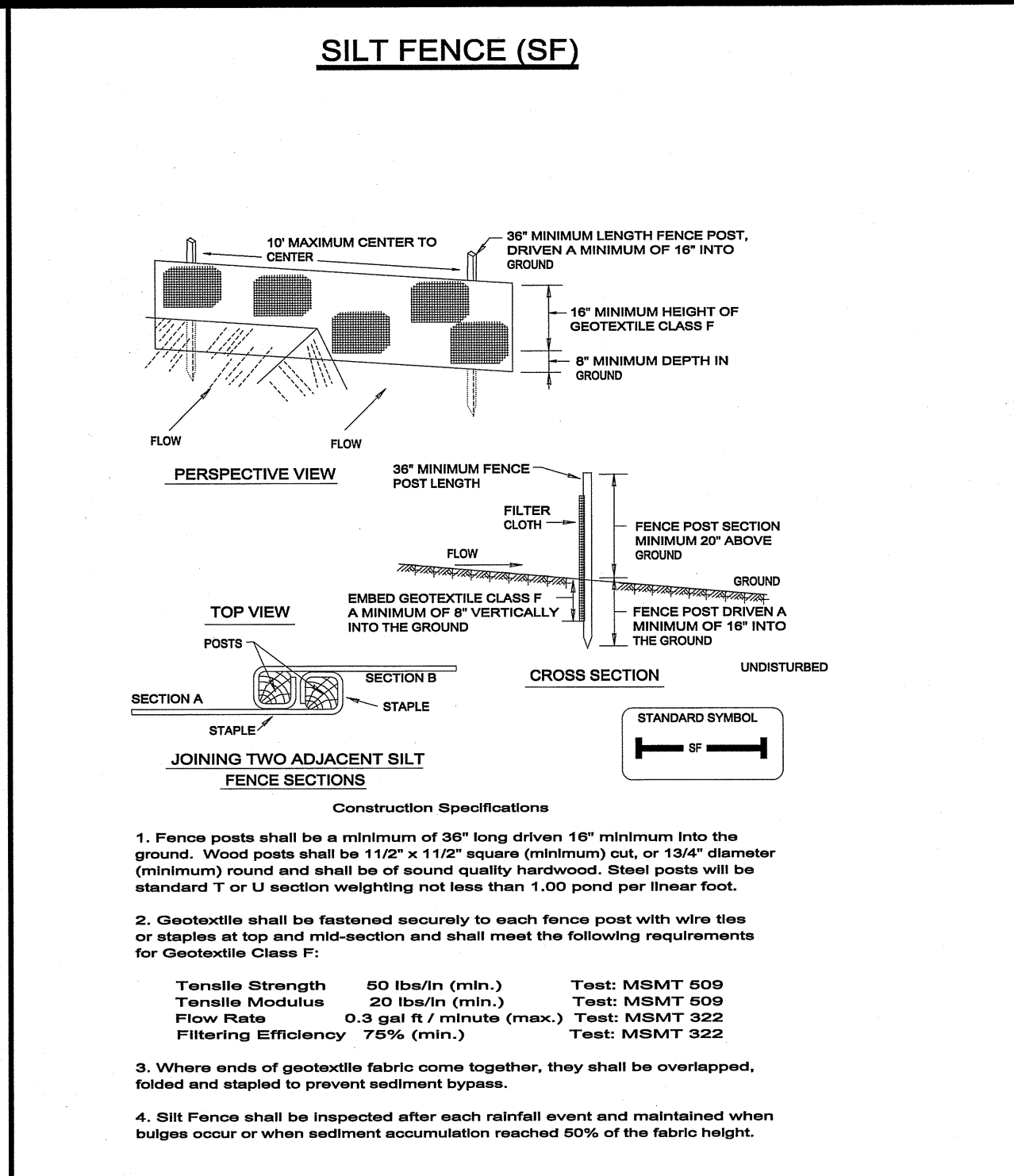
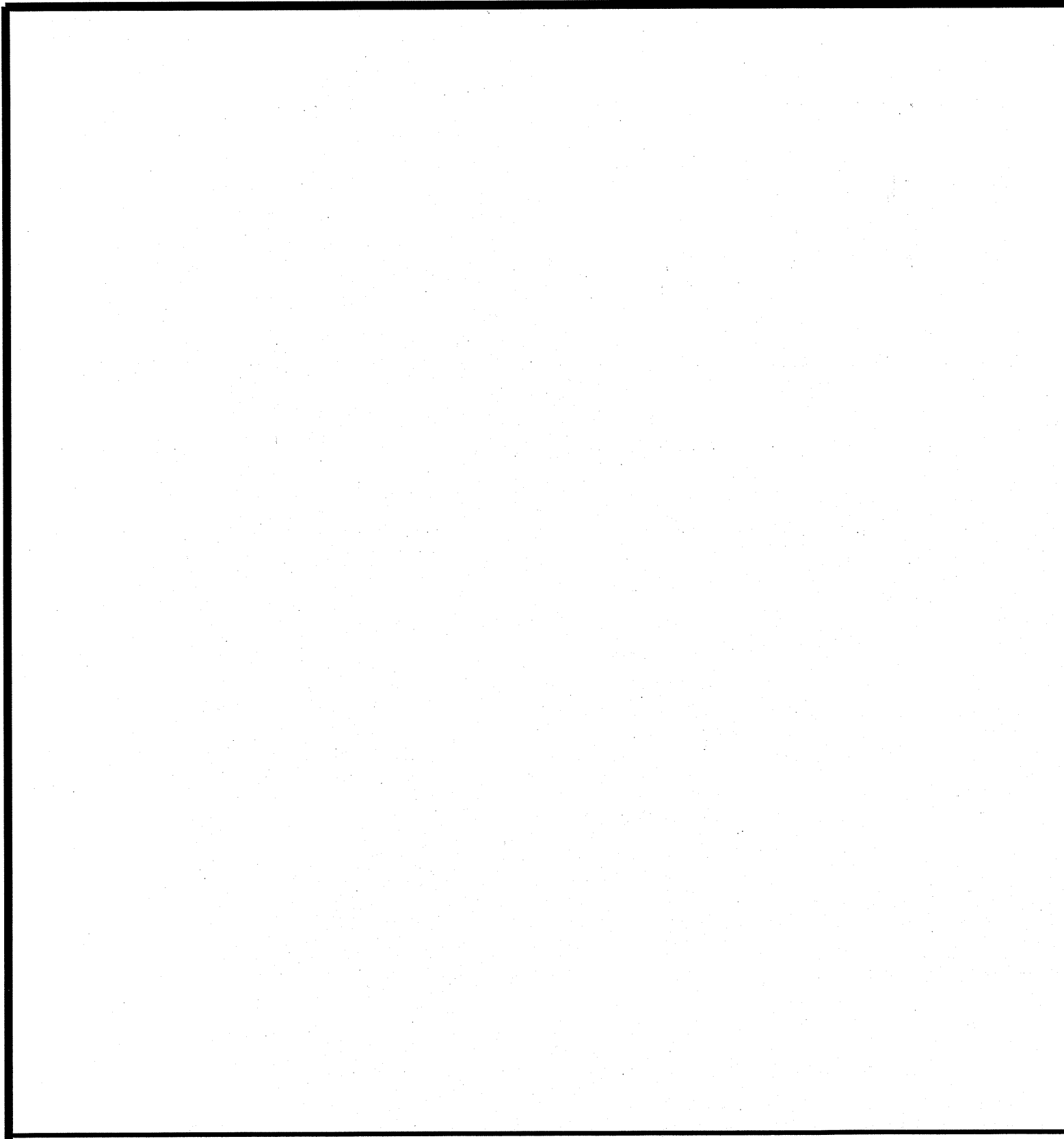
STANDARD SESC SYMBOLS / LEGEND

EARTH DIKE	A-2 B-3
SWALE	A-2 B-3
PERIMETER DIKE/SWALE	PDS-1
PIPE SLOPE DRAIN	PSD-12
ROCK OUTLET PROTECTION	ROCK
STONE CHECK DAM	CD
STONE OUTLET STRUCTURE	SOS
SILT FENCE	SF
SUPER SILT FENCE	SSF
STRAW BALE DIKE	SD
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
MEDIAN INLET PROTECTION	MIP
GABION INFLOW PROTECTION	GM
RIP RAP INFLOW PROTECTION	RRP
SUMP PIT	SP
STABILIZED CONSTRUCTION ENTRANCE	SCE
REMOVABLE PUMP STATION	RPS
RIP RAP OUTLET SEDIMENT TRAP	RTS
LIMIT OF DISTURBANCE	LOD

LIMIT OF DISTURBANCE
= 0.99 +/- AC.

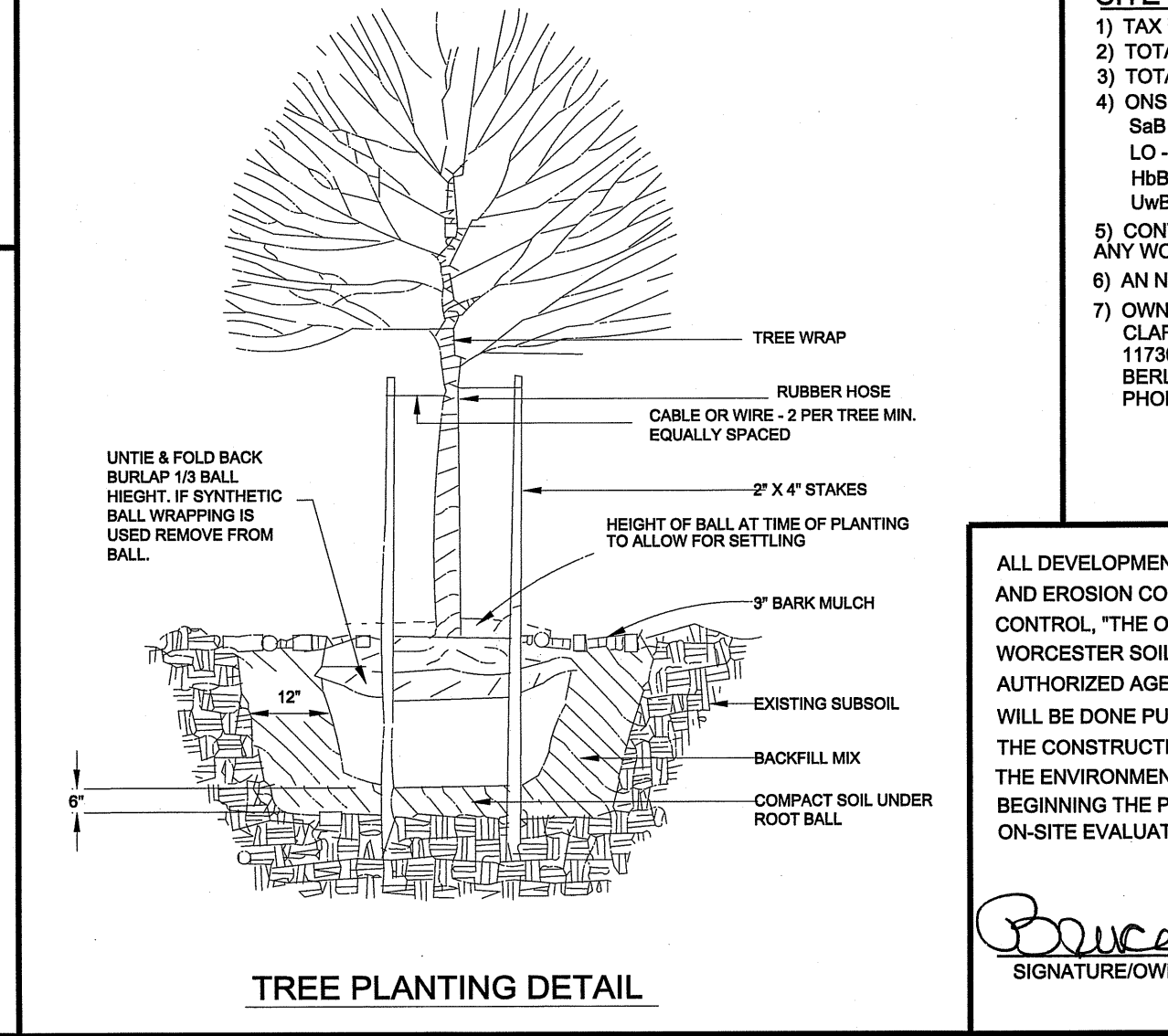
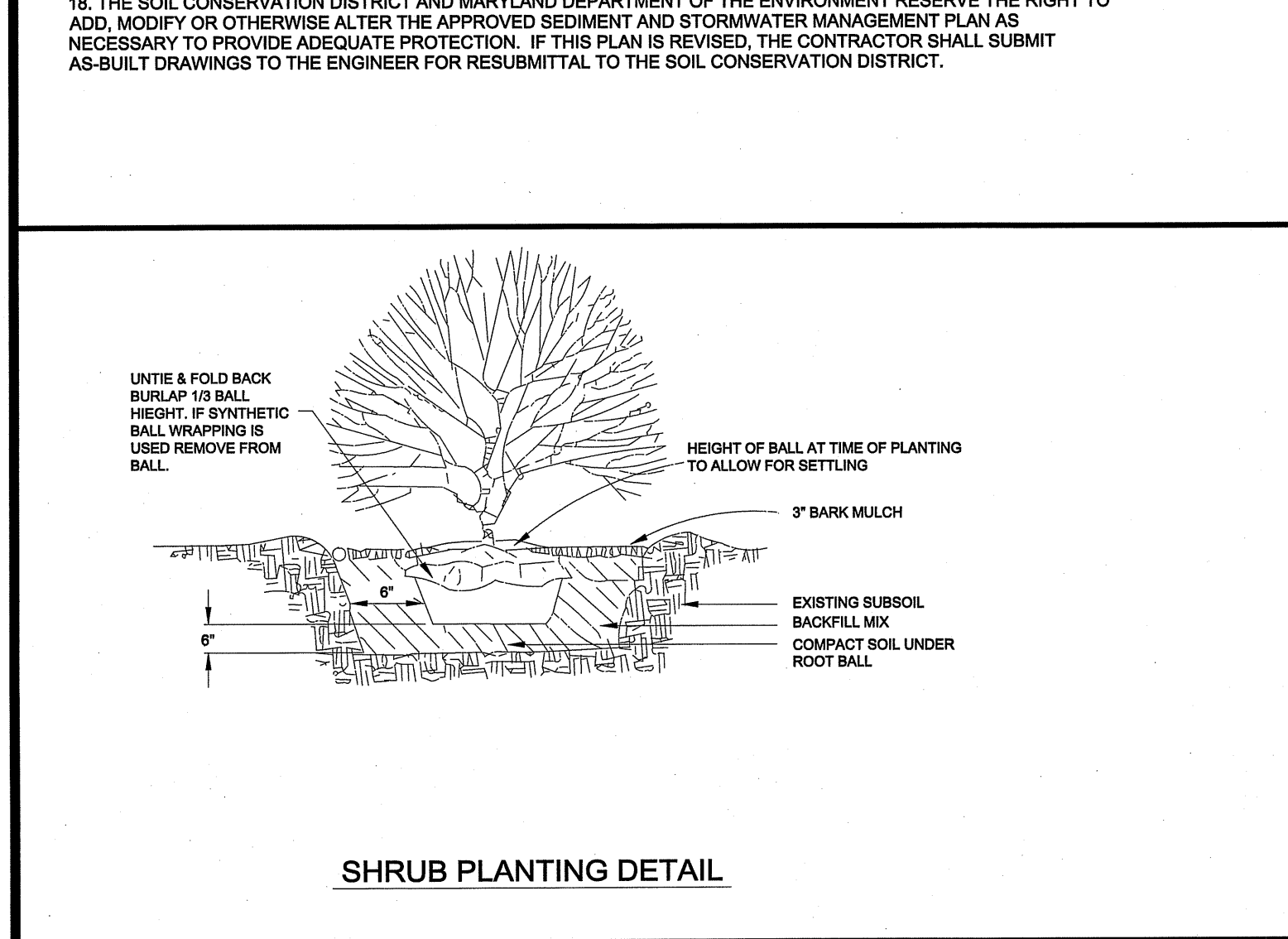
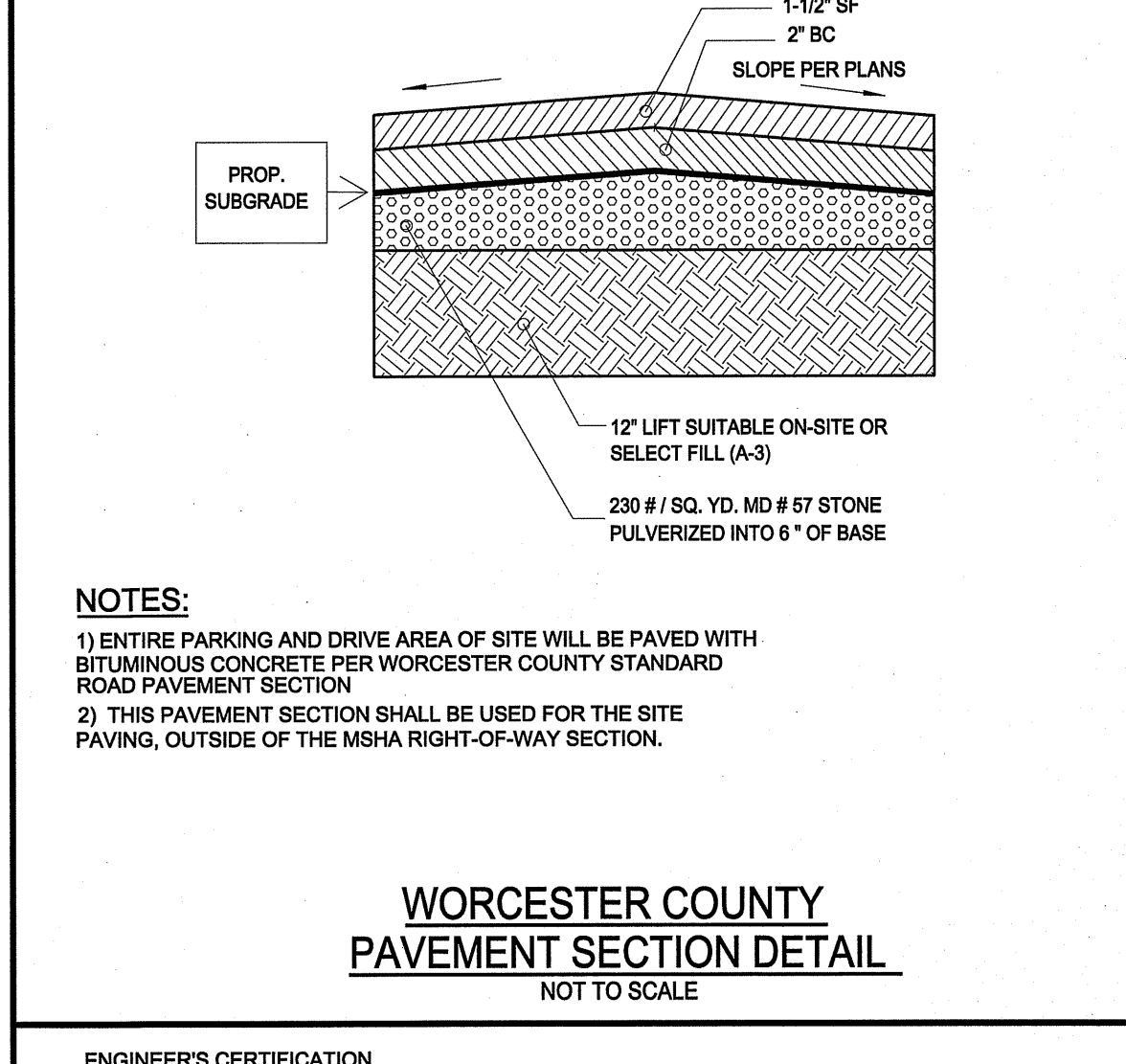
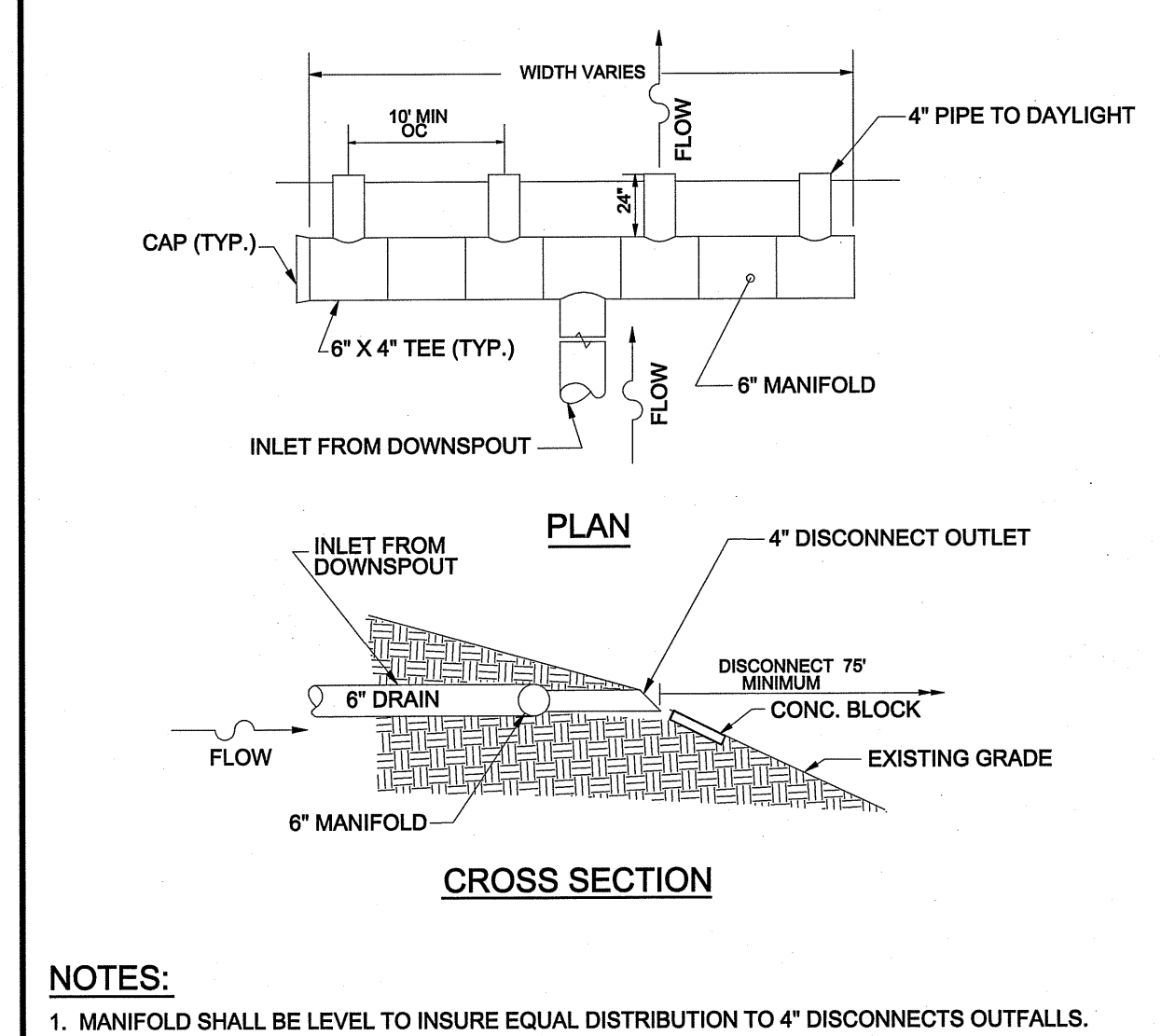
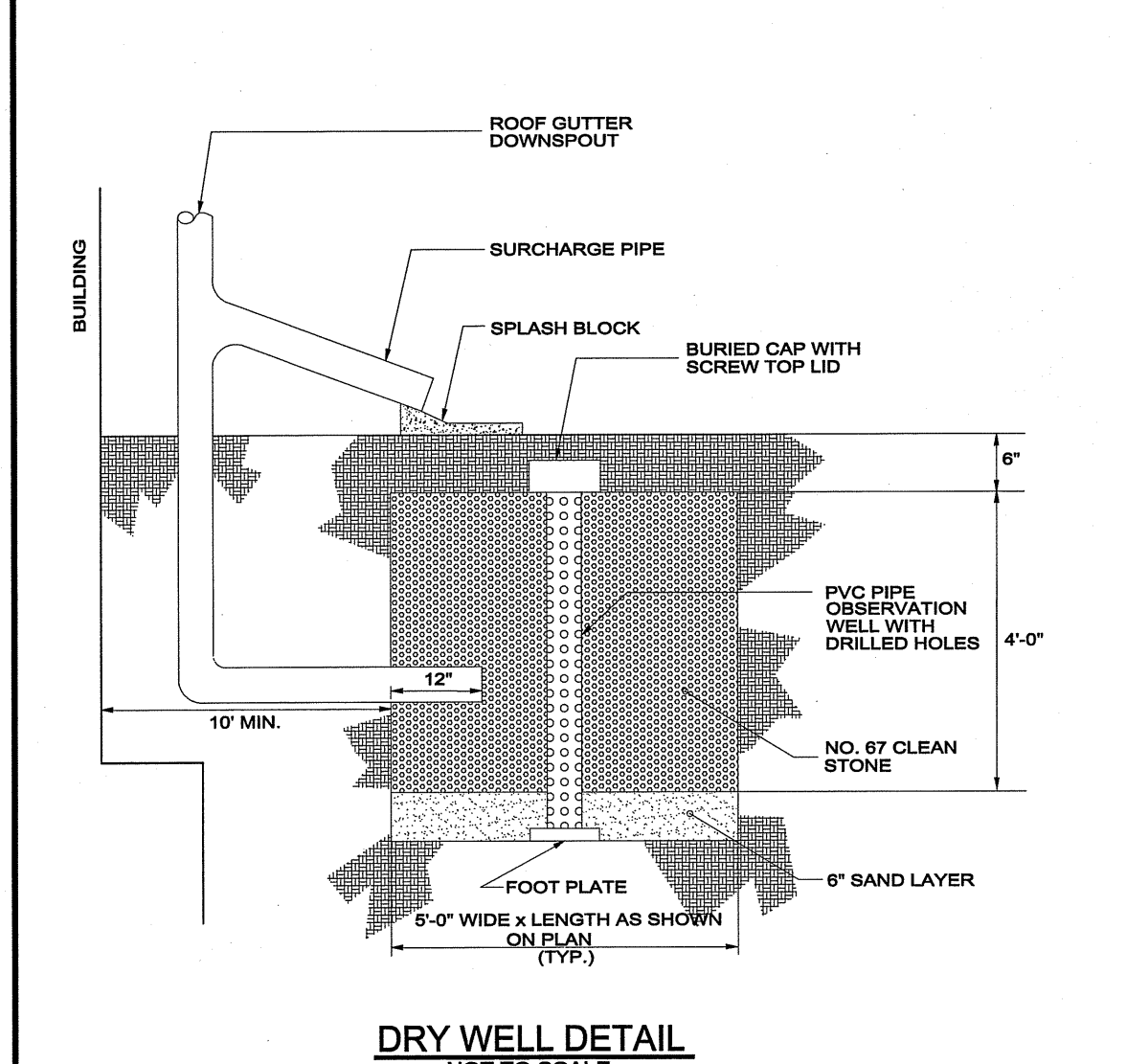
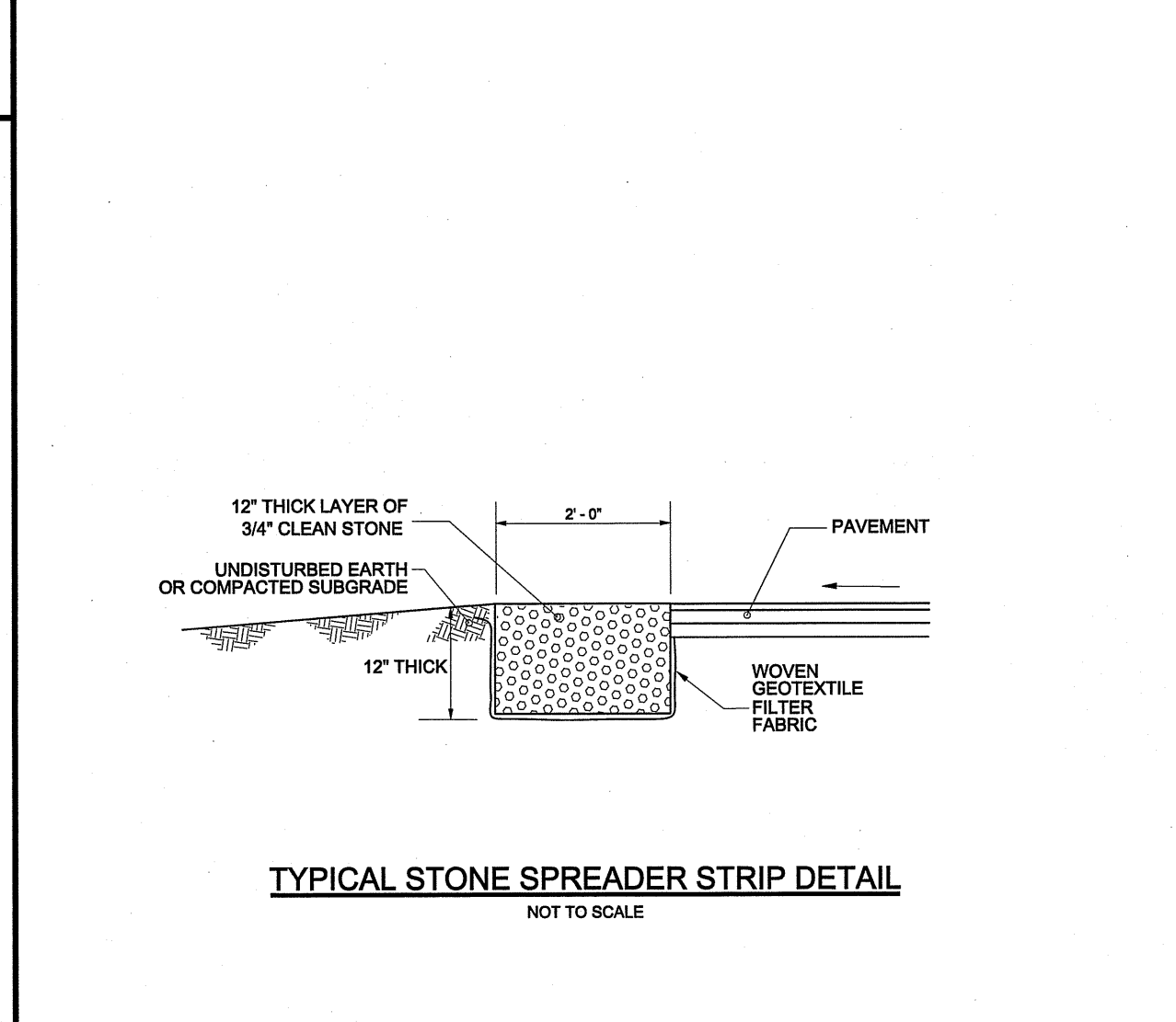


DESIGNED BY: JR	DRAWN BY: AMS	CHECKED BY: JWS3	SOIL EROSION AND SEDIMENT CONTROL (SESC) AND LANDSCAPING PLAN B & C BUSINESS PARK PARCEL 114, TAX MAP 15 <small>FIFTH TAX DISTRICT SHOWELL WORCESTER COUNTY MARYLAND</small> J. W. SALM ENGINEERING, INC. <small>P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811</small>
JOHN W. SALM, III REVISIONS:			
SCALE: 1" = 30' DATE: JAN. 2021 DRAWING No.: 199-03-005 SHEET No.: 5 of 6			



SOIL EROSION AND SEDIMENT CONTROL NOTES:

- LIMITS OF SOIL DISTURBANCE, GRADING, PAVING AND/OR SEEDING/STABILIZATION INCLUDE ALL CONSTRUCTION AREAS AND ADJACENT SITES WITHIN THE LIMITS AS SHOWN.
- THE CONTRACTOR SHALL CONTACT THE WORCESTER COUNTY DEVELOPMENT REVIEW AND PERMITTING AT 410-632-1220, AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO CONTACT WORCESTER COUNTY MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SEDIMENT CONTROL AND STORMWATER MANAGEMENT MEASURES ARE INSTALLED AS SPECIFIED HEREIN, PRIOR TO START OF ANY GRADING OF THE SITE OR ANY OTHER CONSTRUCTION ACTIVITIES.
- EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO GRADING. THEY SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS AND THE WORCESTER COUNTY REQUIREMENTS.
- STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SOIL EROSION CONTROL BASINS AND SILT FENCES OR OTHER CONTROL ITEMS WHICH MAY BE REQUIRED SHALL BE CONSTRUCTED AS DETAILED HEREIN.
- ALL SEDIMENT CONTROL DEVICES SHALL BE CLEANED PERIODICALLY DURING CONSTRUCTION TO INSURE THEIR INTEGRITY AND PROPER FUNCTION.
- EACH AREA SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED WHEN SITE DEVELOPMENT WORK, GRADING OR OTHER EARTH DISTURBANCE ACTIVITIES CEASE TO BE CONTINUOUS FOR MORE THAN 7 DAYS.
- ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN OPERATION UNTIL CONSTRUCTION PROJECT IS FULLY STABILIZED BY VEGETATION OR PAVING AND FREE FROM SEDIMENT.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES MUST BE PROVIDED TO INSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED.
- DURING THE LAYOUT OF SEDIMENT CONTROL DEVICES SHOWN ON PLANS, FIELD ADJUSTMENTS SHALL BE MADE TO INSURE THAT PROPER PLACEMENT HAS BEEN MADE TO ARREST AND CONTROL ANY SEDIMENT THAT COULD LEAVE THE CONSTRUCTION SITE.
- ALL OUTFALLS ARE TO BE PROTECTED FROM EROSION VELOCITIES.
- PUBLIC ROADS AND OTHER RIGHT-OF-WAYS SHALL BE KEPT FREE OF SEDIMENT DEPOSITS LEFT FROM HEAVY TRUCK TRAFFIC LEAVING THE CONSTRUCTION SITE.
- PERMANENT STABILIZATION OF ALL AREAS NOT TO BE SOODED OR PAVED SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THESE DRAWINGS.
- IMMEDIATELY AFTER FINAL GRADES ARE OBTAINED, ALL AREAS TO BE PAVED, SHALL BE PAVED.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY SITE STABILIZATION SHALL BE COMPLETED WITHIN:
 - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
 - SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL TEMPORARY STOCKPILES THAT ARE TO BE LEFT UNDISTURBED SHALL, IMMEDIATELY AFTER PILING, BE FERTILIZED, LIMED AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 1 LB. PER 1,000 SF. ALL TEMPORARY STABILIZATION SHALL BE AS FOLLOWS:
 - IF STOCKPILE SLOPES ARE GREATER THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT 3 DAYS OR LONGER.
 - IF SLOPES ARE LESS THAN 3:1, THEY MUST BE STABILIZED IF THEY ARE LEFT TO BE UNDISTURBED 7 DAYS OR LONGER.
 - PULVERIZED DOLOMITIC LIMESTONE APPLIED AT A RATE OF 2,000 LBS. PER ACRE OR 45 LBS. PER 1,000 SF.
 - FERTILIZER (5-5-5) APPLIED AT A RATE OF 500 POUNDS PER ACRE OR 11.5 LBS. PER 1,000 SF.
 - RYE GRASS APPLIED AT A RATE OF 40 LBS. PER ACRE AND MULCH WITH STRAW AT 1.5 TONS PER ACRE.
- ANYTIME AN EROSION OR SEDIMENT PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CORRECT IT.
- THE SOIL CONSERVATION DISTRICT AND MARYLAND DEPARTMENT OF THE ENVIRONMENT RESERVE THE RIGHT TO ADD, MODIFY OR OTHERWISE ALTER THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN AS NECESSARY TO PROVIDE ADEQUATE PROTECTION. IF THIS PLAN IS REVISED, THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEER FOR RESUBMITTAL TO THE SOIL CONSERVATION DISTRICT.



SITE DATA:

- TAX MAP 15, P. 114; ID# 04492/00301
- TOTAL TRACT: 3.66 +/- AC
- TOTAL DISTURBED AREA: 0.99 +/- AC
- ON-SITE SOILS CONSIST OF:
 - SaB - SASSFRASS SANDY LOAM
 - LO - LONGMARSH AND INDIANTOWN
 - HB - HAMBROOK SANDY LOAM
 - UW-B - URBAN LAND - UDORIENTS
- CONTACT WORCESTER COUNTY AT 410.632.1220, PRIOR TO PERFORMING ANY WORK ON THIS PROJECT IN ORDER TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE.
- AN NOI IS NOT REQUIRED DUE TO THE SITE HAVING LESS THAN 1.0 ACRES OF DISTURBED AREA.
- OWNER/APPLICATION DEVELOPER: CLARK H. BRUCE, 11730 GUM POINT ROAD, BERLIN, MD 21811, PHONE: 410-251-6751

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS.

JOHN W. SALM, III
MARYLAND PROFESSIONAL ENGINEER LICENSE NO.: 19731

1/20/21

ALL DEVELOPMENT AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE 1994 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. THE OWNER AUTHORIZES THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE WORCESTER SOIL CONSERVATION DISTRICT, MARYLAND DEPARTMENT OF THE ENVIRONMENT OR THEIR AUTHORIZED AGENTS. (1) ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN. (2) ALL RESPONSIBLE PERSONNEL (ONE MINIMUM) INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. (3) THE OWNER OR DEVELOPER SHALL CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ENFORCEMENT AUTHORITY AND/OR MDE.

Signature/Owner: *Boyd Clark*, *Boyd Clark*, *1/20/21*
Printed Name/Owner: BOYD CLARK, BOYD CLARK, DATE

ANYTIME A SOIL EROSION OR SEDIMENT CONTROL PROBLEM OCCURS, PROMPT AND NECESSARY MEASURES WILL BE TAKEN BY THE OWNER AND/OR CONTRACTOR TO CORRECT THE PROBLEM. ALL PHASES OF CONSTRUCTION WILL ADHERE TO ALL SEDIMENT AND EROSION CONTROL MEASURES AS SET FORTH IN THE APPROVED SEDIMENT AND EROSION CONTROL PLAN FOR THIS SITE.

Signature/Owner: *Boyd Clark*, *Boyd Clark*, *1/20/21*
Printed Name/Owner: BOYD CLARK, BOYD CLARK, DATE

NOTES AND DETAILS

B & C BUSINESS PARK
PARCEL 114, TAX MAP 15

FIFTH TAX DISTRICT, SHOWELL, WORCESTER COUNTY, MARYLAND

J. W. SALM ENGINEERING, INC.
P. O. BOX 397, 9842 MAIN STREET, SUITE 3
BERLIN, MD 21813

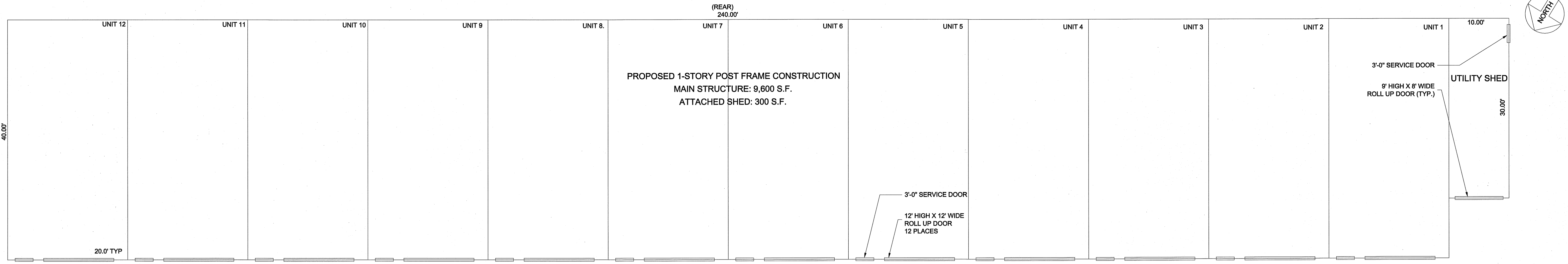
SCALE: AS SHOWN | DATE: JAN. 2021 | DRAWING No.: 199-03-006 | SHEET No.: 6 of 6

DESIGNED BY: JWS3 | DRAWN BY: AMS | CHECKED BY: JWS3

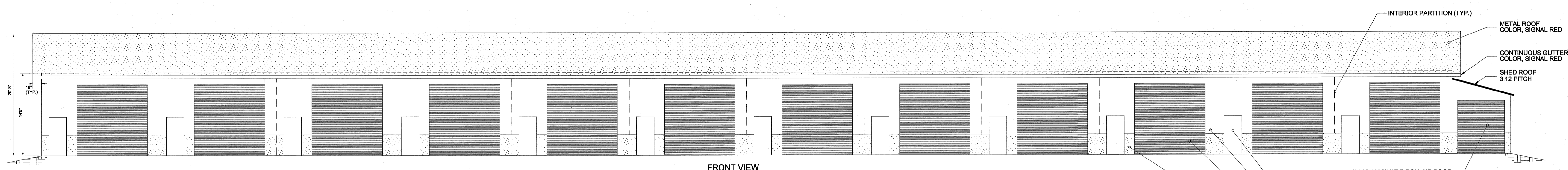
REVISIONS: 1

JOHN W. SALM, III
MARYLAND PROFESSIONAL ENGINEER LICENSE NO.: 19731

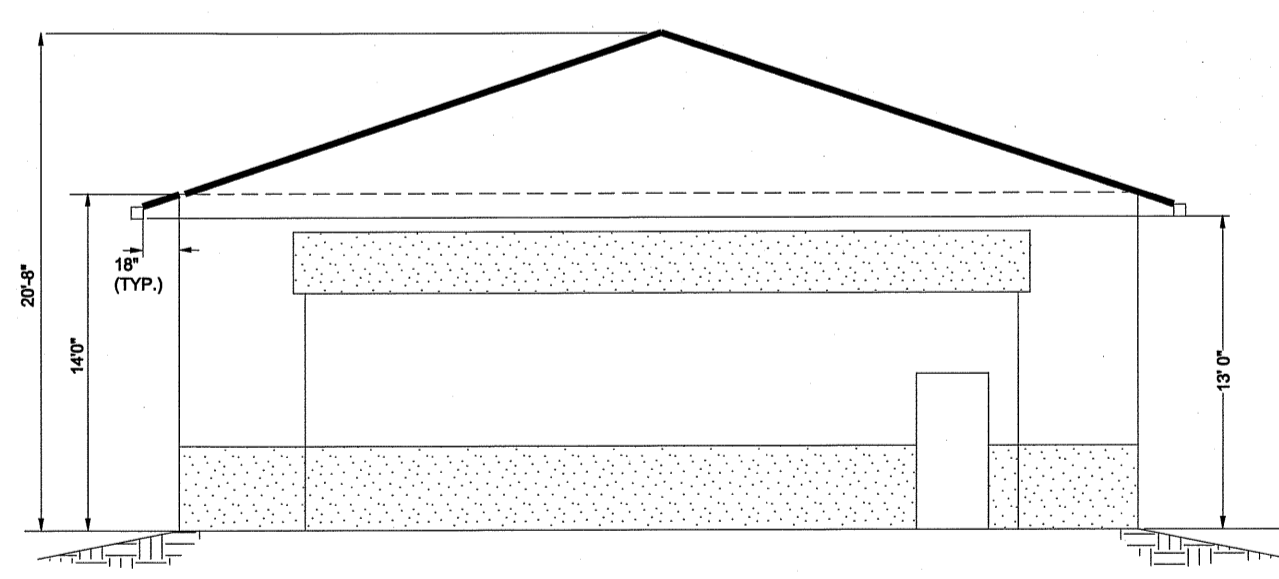
1/20/21



(FRONT)
CONCEPTUAL FLOOR PLAN
 NOT TO SCALE



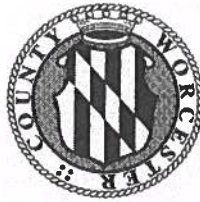
FRONT VIEW



SIDE VIEW
ILLUSTRATIVE ELEVATIONS
 NOT TO SCALE

EXTERIOR COLORS:
 WALLS - BEIGE
 ROOF - SIGNAL RED
 TRIM - SIGNAL RED
 DOORS - WHITE


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 1971, EXPIRATION DATE: 8/30/2022	DESIGNED BY:	DRAWN BY:	CHECKED BY:	FLOOR PLANS & ELEVATIONS B & C BUSINESS PARK PARCEL 114, TAX MAP 15 <small>FIFTH TAX DISTRICT, SHOWELL, WORCESTER COUNTY, MARYLAND</small> J. W. SALM ENGINEERING, INC. <small>P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811</small>	
	JWS3	JRB	JWS3		
	JOHN W. SALM, III				REVISIONS
SCALE: N.T.S. DATE: JAN. 2021 DRAWING No.: 199-03-101 SHEET No.: 1 OF 1					



Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner 

Subject: Forest Conservation & Stormwater Management Review

Date: January 29, 2021

Date of Meeting: February 10, 2021

Project: B & C Business Park – Contractor Shops

Location: 11640 Worcester Hwy; Tax Map: 15; Parcel: 114

Owner/Developer: Bruce & Cheryl Clark

Engineer: J.W. Salm Engineering, Inc.

This project is subject to the Worcester County Forest Conservation Law. This property is subject to Forest Conservation Plan #07-40. This property has met compliance with the Worcester County Forest Conservation Law through the establishment of an on-site Forest Conservation Easement. Forest Conservation Easement areas are to be kept as a natural habitat area, no clearing or grading within these Conservation Easement areas is permitted, and any new structures and improvements must not encroach into the Forest Conservation Easement. Furthermore, all Forest Conservation signs must be in place around the Conservation Easements.

This project is subject to the Worcester County Stormwater Ordinance. The project has obtained Stormwater Concept Plan approval. This project will need stormwater final plan approval prior to issuance of a Stormwater Management and Sediment Control Permit.

All projects with a limits of disturbance (LOD) over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Citizens and Government Working Together



DEPARTMENT OF
ENVIRONMENTAL PROGRAMS


Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS
FOREST CONSERVATION
COMMUNITY HYGIENE

MEMORANDUM

DATE: March 11, 2020
TO: Applicant
FROM: Jenelle Gerthoffer, Natural Resources Administrator 
SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

.....

Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Jenelle Gerthoffer, at (410) 632-1220, ext. 1147.

January 28, 2021

Ms. Kristen Tremblay, Zoning Administrator
Department of Developing, Review, and Planning
Worcester County Government Center
One West Market Street, Room 1201
Snow Hill MD 21863

Dear Ms. Tremblay:

Thank you for the opportunity to review the minor site plan for the proposed B & C Business Park development project, located approximately 50 feet east of the intersection of Pitts Road and MD 575B, in Worcester County. The Maryland Department of Transportation State Highway Administration (MDOT SHA) has reviewed the site plans, and we are pleased to respond.

This site plan proposes the construction of a contractor shop building, with attached shed. After a review of the current site plan, the proposed access on MD 575B fails to meet the State Standard corner clearance requirements, creating several safety concerns. The access needs to be shifted north as far from the intersection as the property frontage allows. The access needs to be constructed according to the Commercial Two-Way Access Standard reflected in the most recent version of the MDOT SHA Access Manual (please see attached for the Access Detail). As the project proposes the new construction of a commercial development, a Commercial Access Permit is required through the District 1 Office (please see the attached requirements for the initial Commercial Access Permit plan review submission, with accompanying plan submission checklist).

If you have any questions or require additional information please contact Mr. Daniel Wilson, District 1 Access Management Regional Engineer, at 410-677-4048, by using our toll-free number (in Maryland only) at 1-800-825-4742 (x4048), or via email at dwilson12@mdot.maryland.gov. He will be happy to assist you.

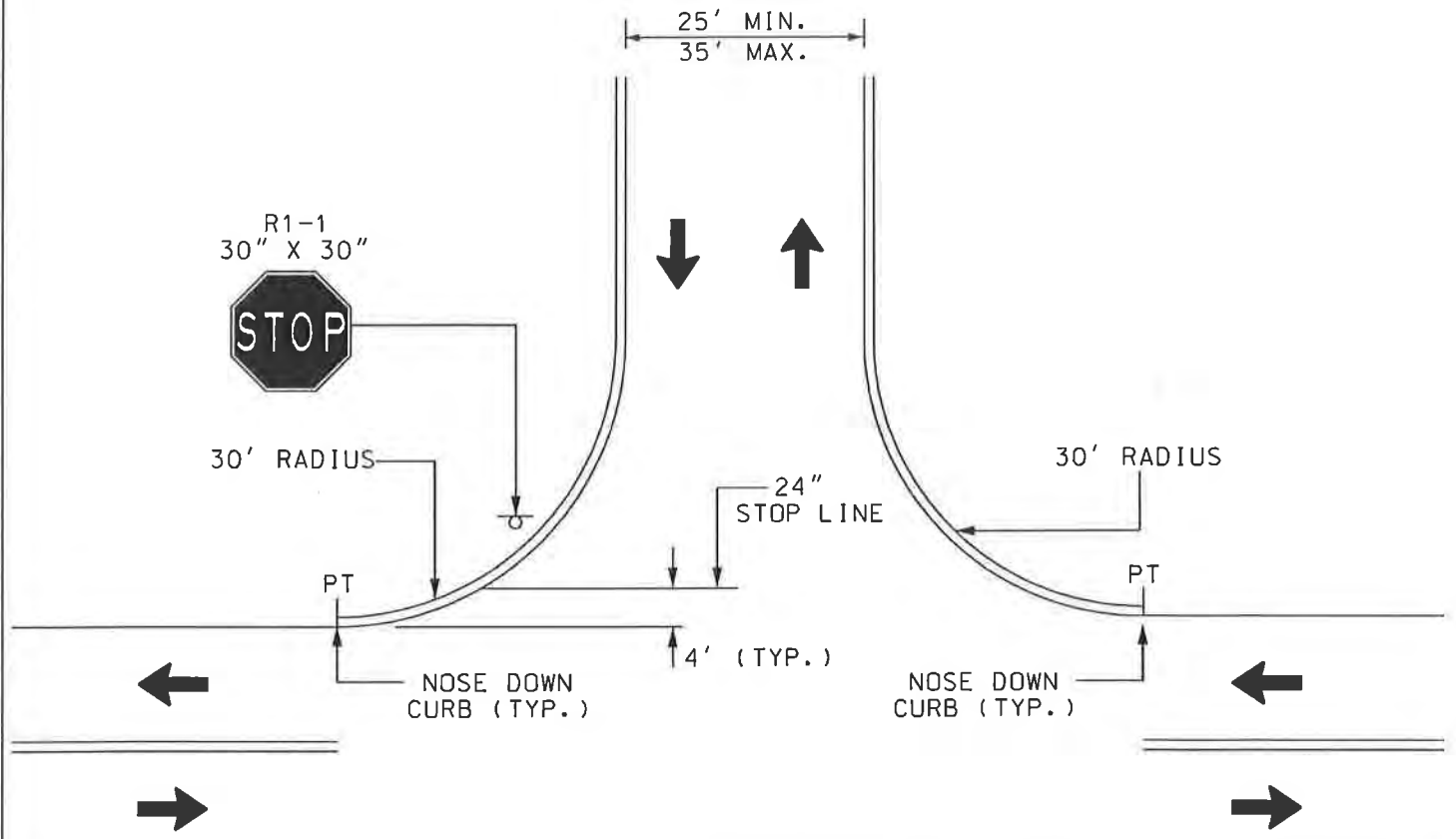
Sincerely,



James W. Meredith
District Engineer

Attachment

cc: Mr. Dallas Baker, D-1 Assistant District Engineer-Project Development, MDOT SHA
Mr. Jeff Fritts, D-1 Access Management Consultant Inspector, MDOT SHA
Mr. Rodney Hubble, Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA
Mr. Tony Turner, Assist. Resident Maintenance Engineer-Snow Hill Shop, MDOT SHA
Mr. Daniel Wilson, D-1 Access Management Regional Engineer, MDOT SHA



NOTES:

1. MINIMUM CHANNELIZATION IS SHOWN.
2. TURNING LANES ARE NOT SHOWN.
3. REFER TO 11.0 FOR ENTRANCE DESIGN STANDARDS.

COMMERCIAL
TWO-WAY ENTRANCE
ENGINEERING ACCESS PERMITS

Needed for Initial Plan Review Submittal

- Make sure all the requirements of the county/local jurisdiction have been fulfilled. Provide documentation of project approval from the county/local jurisdiction to the District 1 Access Management office.
- The initial submittal should contain: four sets of plans, two sets of the Stormwater Management Report, and a CD containing the plans and supporting documentation in PDF format; mailed directly to Mr. James W. Meredith at 660 West Road, Salisbury, MD 21801, attention of Mr. Daniel Wilson.
- If you are unable to make a hard copy submission or would prefer to submit electronically, you can make an electronic project submittal by logging into:
<https://mdotsha.force.com/accesspermit/login?ec=302&inst=1B&startURL=%2Faccesspermit>.
- The MDOT SHA Plan submittal should include a **Cover Sheet**, an **Existing Conditions/Sediment Control/Demolition Plan Sheet** (with a sequence of construction), a **Site/Utility/Landscape Plan Sheet** (with color coding of all utilities in plan-view, according to the Miss Utility color code and illustrations of all landscaping proposed in the MDOT SHA right of way), an **Entrance Plan Sheet**, a **Stormwater Management/Grading Plan Sheet**, a **Signing and Pavement Marking Sheet**, and a **Cross Sections Sheet**. The plan sheets are not required to be sequenced in this order, but the information generally provided on these sheets needs to be depicted in the plan set in some format.
- Please keep in mind that you can view the project status and identify who conducted the review process via the SHA Access Management web page
<http://www.roads.maryland.gov/pages/amd.aspx>.
- Please consult the MDOT SHA Access Manual for Entrance and Design specifications, at:
<https://www.roads.maryland.gov/Index.aspx?PageId=393>.
- If you have any questions, please contact Daniel Wilson, the District 1 Access Management Regional Engineer. See below for contact information.

Thanks,

Daniel Wilson
Maryland Department of Transportation
State Highway Administration
Regional Engineer
Access Management
District 1
660 West Road
Salisbury, MD 21801

Office: 410-677-4048
Cell: 410-251-9571
Email: dwilson12@mdot.maryland.gov

Access Management Plan Submission Checklist

- North Arrow
- Location Map of 1"=2000'
- Plan dimension of 22" x 34"
- Scale of Drawing:**
 - Between 1" = 10' to 1" = 50'
 - 1" = 30' (preferred)
- Plans sealed and signed by a Professional Engineer (With PE Certification Note) or Professional Land Surveyor (as their licensing permits). This information must be shown on each sheet.
- Legend on the plan to indicate all symbols
- All plan revisions noted in the revision block and plan view, with date and symbol
- Type of existing roadway:
- Posted speed limit:
- Show and label existing and proposed right of way line and easements, include right of way plat numbers. Provide access control data (Right of Way line of Through Highway or Denial of Vehicular Access) if applicable.
- Show centerline of existing highway
- Show dimension of property in bearings and distances
- Show location and dimension of existing and proposed buildings, as indicated on the approved site plan
- Identify limit of work on plans
- Show elevations/contours existing and proposed
- Provide dimensions on all proposed improvements whenever typical section changes
- Identify lane assignments and widths
- Show limit of disturbance / top of cut / toe of fill
- Typical sections provided on plan showing existing and proposed conditions.
- Show all existing and relocated utility locations
- Show all existing entrances, public or private streets on adjacent properties and on opposite side of the roadway (this includes medians, crossover location, and median break if applicable)
- Show all existing & proposed curb and gutter/edge of paving
- Show all existing and proposed storm drain structures
- Show all ditches with flow directional arrows
- Roadside safety grading is 4:1 or flatter for appropriate distance
- Grading for curb backing is per AASHTO Roadside Design Guidelines
- Show all traffic signs, signal equipment and street lighting
- Show all existing and proposed traffic barrier (reference appropriate end treatment)
- Show all existing and proposed landscaping
- Show all topography
- Provide ADA compliant pedestrian ramps and sidewalk (5 FT Minimum Width)
- Provide pedestrian & ADA mobility during construction
- Reference appropriate SHA standard numbers on plan
- Show SHA paving specifications
- Clearly identify full depth paving, saw cuts, milling, overlays and wedge/leveling on typical sections and plan view
- Provide shoulder slope transitions

- Provide pavement core analysis (if applicable)
- Provide cross sections every 25'
- Historical, cultural and Archeological impacts (**check if "Yes"**)

Traffic Impact Study

- Required
- Not Required
- Submitted

Traffic Signal

- Existing
- Proposed
- Not applicable

Roundabout Analysis

- Required
- Not Required
- Submitted

- Streetscape or landscaping proposed (**check if "Yes"**)
- Structures: retaining walls, structure fills, supporting slopes, etc.
- All retaining walls are located outside SHA right-of-way
- Sight distance profile (Required on all projects)

Type of commercial entrance:

- Radius type
- Depressed type
- Full movement
- Directional
- One-way
- Stabilized construction entrance
- Other:

Type of Street Connection:

- Public
- Private
- Monumental

Frontage improvement:

- Deceleration lane *Length:* *Width:*
- Acceleration lane *Length:* *Width:*
- Left turn lane *Length:* *Width:*
- By-pass lane *Length:* *Width:*
- Channelization type: A B C

Roadway improvement:

- Widening along a normal section
- Widening along super-elevated section
- Shifted centerline on travel lanes
- Typical closed section
- Typical open section



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1003

SNOW HILL, MARYLAND 21863-1194

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: B & C Business Park
LOCATION: Tax Map 15; Parcel 114
CONTACT: Bruce and Cheryl Clark
MEETING DATE: February 10, 2021

TRC #: 2021030

COMMENTS BY: Matthew Owens
Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project

The proposed construction of one contractor shop building with attached shed.

General Comments

1. A water supply for fire protection shall be identified indicating the following:
 - a. Water Source
 - b. Engineering study for reliability of water source
 - c. Size (in gallons) of water source
 - d. Replenishment of water supply
 - e. Diameter of in ground pipe
 - f. Number of hydrants
 - g. Location of hydrants
 - h. Roadway width and surface types
 - i. Distance from hydrant to roadway
2. If public water source, approved plans by the public works department.
3. Water source plans must be approved prior to recording of plat.

-
4. Fire hydrants shall be located within 3 ft. of curb line. Placement of fire hydrants shall be coordinated with this office prior to installation.
 5. Obstructions shall not be placed or kept near fire hydrants, fire department inlet connections, or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately visible and accessible.
 6. All underground water mains and hydrants **shall be installed, completed, and in service** prior to construction work or as soon as combustible material accumulates, which ever comes first. A stop work order will be issued if fire hydrants are not in service prior to construction work start.
 7. Fire Lanes shall be provided at the start of a project and shall be maintained throughout construction. Fire lanes shall be not less than 20 ft. in unobstructed width, able to withstand live loads of fire apparatus, and have a minimum of 13 ft. 6 in. of vertical clearance. Fire lane access roadways must be established prior to construction start of any structure in the project. Failure to maintain roadways throughout the project will be grounds to issue stop work orders until the roadway access is corrected.
 8. Coordinate 9-1-1 addressing with Worcester County Department of Emergency Services (410) 632-1311.

Specific Comments

1. Complete set of building plans shall be submitted and approved prior to start of construction.
2. Location and marking of fire lanes shall be coordinated with our office.
3. If there is a gated entrance, fire department access shall be provided for the gated entrance through the use of an approved device or system.
4. The appropriate fire rated separation shall be provided between the proposed contractor shops and storage units.
5. No further comments at this time.

**WORCESTER COUNTY
DEPARTMENT OF PUBLIC WORKS
WATER & WASTEWATER DIVISION
INTEROFFICE MEMORANDUM**

TO: Kristen M. Tremblay, Zoning Administrator
Development Review and Permitting

FROM: John S. Ross, P.E., Deputy Director of Public Works

DATE: February 1, 2021

SUBJECT: TRC Meeting – February 10, 2021



Site Plan Review

A. EJF Real Estate - Office Building

Construction of one (1) 5000 sf building with two (2) office spaces. Each office space will be 2500 sf. Located at 10135 Worcester Highway, approximately 150 feet northwest of the intersection of Pitts Road and Old Worcester Highway, Tax Map 15, Parcel 177, Tax District 3, C-1 Neighborhood Commercial District, EJF Real Estate, LLC, owner; Vista Design, Inc., Engineer

1. No Comment Well and Septic

B. Bishopville Materials, LLC - Storage Areas

Construction of two (2) gravel storage areas, 36,799 sf and 21,398 sf, 58,197 sf total, and associated site improvements. Located at 11935 Worcester Highway, approximately 1100 feet northwest of the intersection of Peerless Road and Worcester Highway, Tax Map 15, Parcel 79, Tax District 5, I-1 Light Industrial District, Schuster Concrete, owner; Lane Engineering, LLC, Engineer

1. No Comment Well and Septic

C. Main Street Storage - Self-Storage

Construction of three (3) self-storage buildings (buildings L, M, & N), 2400 sf each, 7200 sf total. Located at 9842 Main Street, Berlin, approximately 1300 feet northeast of the intersection of Old Ocean City Blvd. and N. Main Street, Tax Map 25, Parcel 54, Tax District 3, C-2 General Commercial District, Arden Center, LLC, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

D. B & C Business Park – Contractor Shops

Construction of one (1) 9600 sf contractor shop building with 300 sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer

1. No Comment Well and Septic

cc: John H. Tustin, P.E. Director



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

MEMORANDUM

TO: Kristen Tremblay, Zoning Administrator
FROM: Frank J. Adkins, Roads Superintendent (FA)
DATE: January 27, 2021
SUBJECT: TRC Meeting – February 10, 2021

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
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MANAGEMENT**
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**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

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Section 1-325 Site Plan Review

A. EJF Real Estate – Office Building

1. Will require commercial entrance permit and posting of a \$5,000.00 bond prior to permit signature.

B. Bishopville Materials, LLC – Storage Area

1. This projects borders State Highway and does not require a County commercial entrance permit.

C. Main Street Storage – Self Storage

1. No comments at this time.

D. B & C Business Park – Contractor Shops

1. No comments at this time.

cc: John H. Tustin, P.E.

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Worcester County

Department of Environmental Programs
Environmental Programs Division

Memorandum

To: Technical Review Committee (TRC) for February 10, 2021 Meeting

From: Environmental Programs Staff

Subject: **Minor Site Plan: B & C Business Park – TM 15 P 114**

Date: February 1, 2021

Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs requires a \$100 fee for any Technical Review Committee projects submitted on private well & septic. This fee will need to be submitted prior to Signature Approval being given on this project.
2. Please provide a flow chart for this proposal. The calculation for this use is 0.03 gpd per square foot. The calculation would be $0.03 \times 9,600$ square feet = 288 gallons per day.
3. A sewage reserve area should be designated for this property. You will need to meet Eddie Lawson on-site to designate this area.
4. There is no proposed well shown. A well needs to be shown meeting the required setbacks from septic, the building, shed, property lines, etc.
5. Commercial plumbing plans and permits are needed. A commercial plumbing plan review will need to be completed on the property. The fee associated with the commercial plumbing plans is \$225.
6. Plumbing Code is the 2018 International Plumbing Code (IPC).
7. The Gas Code is the International Fuel Gas Code, 2018 Edition.

Citizens and Government Working Together



Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Worcester County Technical Review Committee

From: Joy S. Birch, Natural Resources Specialist III 

Subject: February 10, 2021 - Technical Review Committee Meeting

Date: January 26, 2021

- **B&C Business Park** – Proposed construction of one (1) 9600 sf contractor shop with 300sf attached shed, 9900 sf total. Located at 11640 Worcester Highway, approximately 50 feet east of the intersection of Pitts Road and Worcester Highway, Tax Map 15, Parcel 114, Tax District 3, C-2 General Commercial District, Bruce & Cheryl Clark, owner; J.W. Salm Engineering, Inc., Engineer. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**

Citizens and Government Working Together